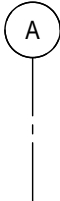
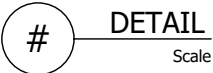
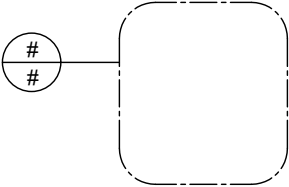
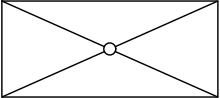


GENERAL NOTES	
1.	DRAWINGS ARE NOT TO BE SCALED.
2.	ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3.	CONTRACTOR TO COMPLY TO ALL CURRENT ALBERTA BUILDING CODE RULES PLUS ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
4.	IT IS THE CONTRACTORS RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
5.	ANY PATCHING, REPAIR, REFINISHING, RECONSTRUCTION & REPAINTING WORK REQUIRED AS A RESULT OF PERFORMANCE OF WORK OF THIS CONTRACT SHALL INCORPORATE AND BE PREFORMED WITH MATERIALS TO MATCH SAME AND SHALL REQUIRE FIRE RATINGS.
6.	WHERE "TYPE X" GYPSUM WALL BOARD IS NOTED ON DRAWINGS, PROVIDE FIRE-RATED GYPSUM WALL BOARD WITH U.L.C. LABEL.
7.	PRE-DRILLED INSERTS ARE TO BE USED WHEN ATTACHING OR FASTENING MATERIALS OR FITMENTS TO MASONRY OR CONCRETE WALLS, FLOORS, SLABS OR CEILING ASSEMBLIES.
8.	REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR REINFORCING AND CORE FILLING OF MASONRY WALLS AT WALL OPENINGS, CORNERS & TERMINATIONS UNLESS NOTED OTHERWISE.
9.	PROVIDE SOLID BLOCKING (2"x6") IN STUD PARTITIONS BEHIND ALL RECESSED OR FLUSH MOUNTED EQUIPMENT & ACCESSORIES AT ALL ANCHOR POINTS.
10.	IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE HIS OWN FORCES & HIS SUB TRADES TO ENSURE THAT HOLES CUT FOR PENETRATIONS THROUGH THE EXTERIOR WALL SYSTEMS ARE NOT OVERSIZED. AFTER INSTALLATION OF ANY PENETRATIONS, THE VOIDS BETWEEN THE PENETRATION OPENING AND THE PENETRATION MATERIALS SHALL BE COMPLETELY SEALED TO ENSURE THE INTEGRITY OF THE AIR/VAPOR BARRIER.
11.	WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL INSTALLATIONS PENETRATE WALL AND/OR FLOOR ASSEMBLIES SEAL ANY SUCH PENETRATIONS WITH FIRE RATED ACOUSTIC SEALANT & MAINTAIN REQUIRED FIRE RATING & ACOUSTIC MINIMUMS.
12.	THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S LETTER, NOTES AND SHOP DRAWINGS AS WELL AS MECHANICAL & ELECTRICAL DRAWINGS & ROOF TRUSS/ JOIST SUPPLIER/ MANUFACTURER'S DRAWINGS.
13.	ENSURE THAT ALL PRE-FINISHED METAL CAPPING TO THE WOOD FASCIAS, DECK TRIMS AND BAND BOARDS ARE COMPLETE WITH POSITIVE DRAINAGE.
14.	ANY LARGE MECHANICAL GRILLE OPENINGS ON THE ELEVATIONS SHALL BE PREPARED & FINISHED IN THE SAME MANNER AS THE WINDOW ASSEMBLIES.
15.	ALL GEODETIC ELEVATIONS PROVIDED TO AMAYA DESIGN INC. ARE ASSUMED TO BE ACCURATE AND REFLECT ACTUAL SITE CONDITIONS. AMAYA DESIGN INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND THE PROVIDED TOPOGRAPHIC SURVEY.

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ISSUED FOR DEVELOPMENT PERMIT May 7, 2026

ARCHITECTURAL SYMBOLS	
	<u>EXISTING GEODETIC GRADE AS PER SITE PLAN</u> <u>PROPOSED GEODETIC GRADE AS PER SITE PLAN</u>
	GRID NUMBERS
	<u>SECTION</u> DRAWING NUMBER WHERE THE SECTION APPEARS
	ROOM / ROOM SIZE
	EXTERIOR FINISHES TAG NUMBER
	DETAIL TAG
	WINDOW TAG
	EXTERIOR DOOR & GARAGE DOOR TAGS
	<u>DRAWING OR DETAIL REFERENCE</u> SCALE
	<u>DETAIL CALL- OUT PAGE</u> DETAIL NUMBER
	WINDOW WELL AS REQ'D

LIST OF DRAWINGS		
PAGE	DRAWING NAME	STATUS
C.0	COVER PAGE	ISSUED
A.1	FRONT ELEVATION	ISSUED
A.2	LEFT ELEVATION	ISSUED
A.3	RIGHT ELEVATION	ISSUED
A.4	REAR ELEVATION	ISSUED
4.5	MAIN FLOOR	ISSUED
4.6	UPPER FLOOR	ISSUED
4.7	SECONDARY SUITE	ISSUED
W.1	WINDOW SCHEDULE	-
S.1	CROSS SECTION	ISSUED
S.2	CROSS SECTION	-
S.3	CROSS SECTION	-
D.1	DETAILS	-
D.2	DETAILS	-
D.3	DETAILS	-
D.4	DETAILS	-
D.5	DETAILS	-
D.6	DETAILS	-
D.7	DETAILS	-
D.8	DETAILS	-
D.9	DETAILS	-
E.1	MAIN FLOOR ELECTRICAL PLAN	-
E.2	UPPER FLOOR ELECTRICAL PLAN	-
E.3	LOWER LEVEL ELECTRICAL PLAN	-
G.1	DETACHED GARAGE ELEVATIONS	ISSUED
G.2	DETACHED GARAGE ELEVATIONS	ISSUED
G.3	DETACHED GARAGE FLOOR PLAN	ISSUED
G.4	DETACHED GARAGE FOUNDATION PLAN	ISSUED
G.5	DETACHED GARAGE SECTION	ISSUED

MATERIAL LEGEND	
TAG #	MATERIAL
1	ARCHITECTURAL ASPHALT SHINGLES
2	10" ALUMINUM FASCIA
3	LIGHT COLORED STUCCO SIDING
4	DARK COLORED STUCCO SIDING
5	BLACK ALUMINUM WINDOWS
6	6" ALUMINUM FASCIA
7	16" SMARTBOARD PANEL C/W 2" SMARTBOARD TRIM ABOVE AND BELOW
8	4" SMARTBOARD TRIM AROUND WINDOWS AND DOORS - FRONT ELEVATION ONLY
9	ALUMINUM PICKET RAILING
10	CONCRETE STEPS
11	PRESSURE TREATED WOOD STEPS AND LANDING



PLEASE NOTE THAT THIS IS AN ARTISTIC RENDERING FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL COLORS MAY VARY UPON COMPLETION OF CONSTRUCTION.



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CALGARY, AB
T2H 2L9
WWW.AMAYADESIGN.CA

REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

DRAWN BY: CA	
DRAWN BY: CR	
LOT: 96	BLOCK: 9
PLAN: 741 0438	
SCALE: 3/16"=1'-0"	

ISSUE DATE:	
May 7, 2026	
ADDRESS: 4655 WHITEHORN DR NE CALGARY, AB (WHITEHORN)	

FLOOR AREA UNIT 1 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

FLOOR AREA UNIT 2 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

COVER
PAGE

PAGE
C.0
PROJECT NO. SD583



NORTH - UNIT 1A

NORTH - UNIT 2A



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REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

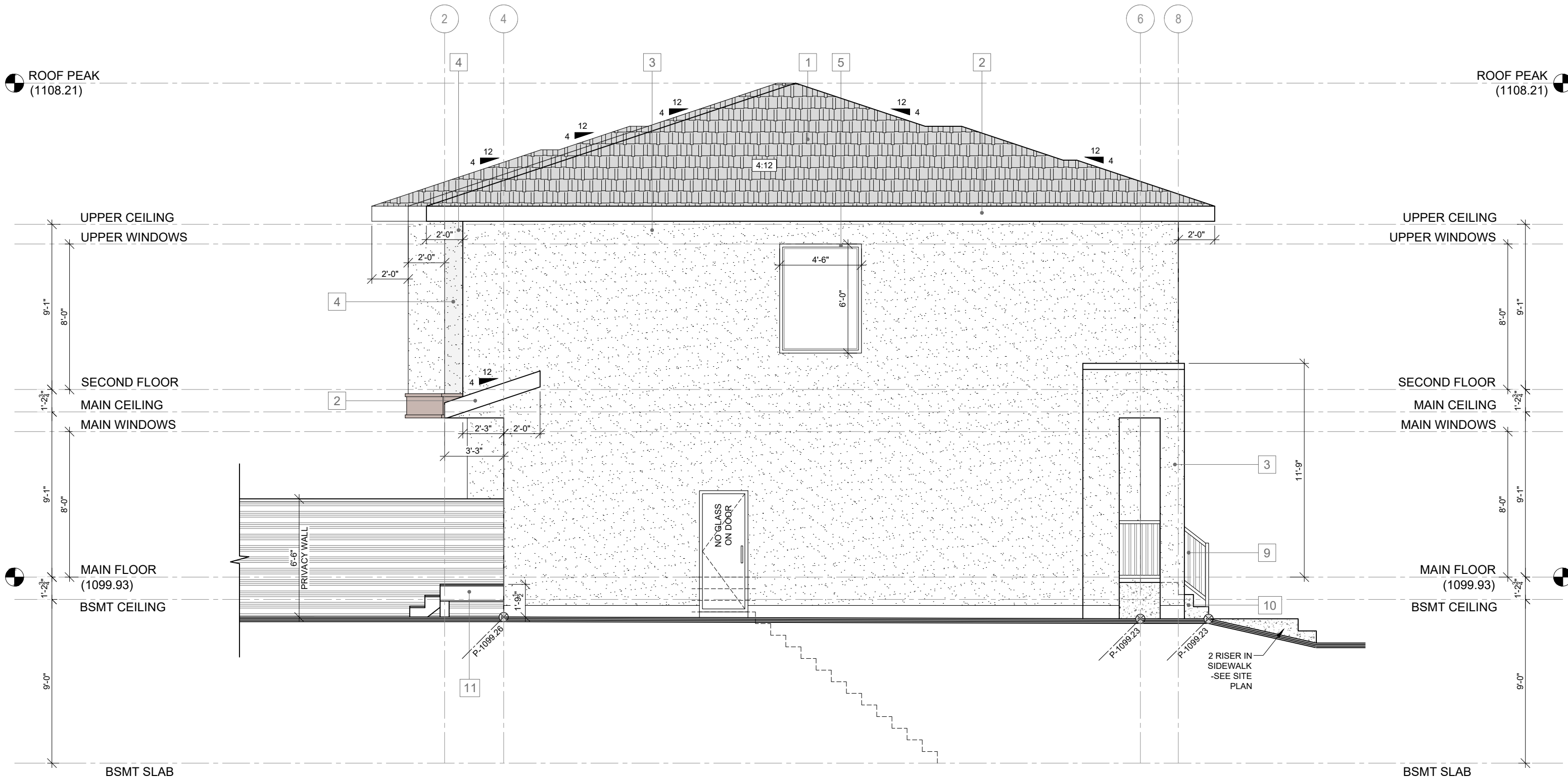
DRAWN BY: CA
DRAWN BY: CR
LOT: 96 BLOCK: 9
PLAN: 741 0438
SCALE: 3/16"=1'-0"

ISSUE DATE:
May 7, 2026
ADDRESS: 4655 WHITEHORN DR NE
CALGARY, AB
(WHITEHORN)

FLOOR AREA UNIT 1 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

FLOOR AREA UNIT 2 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

**FRONT
ELEVATION**



EAST - UNIT 1A



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REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

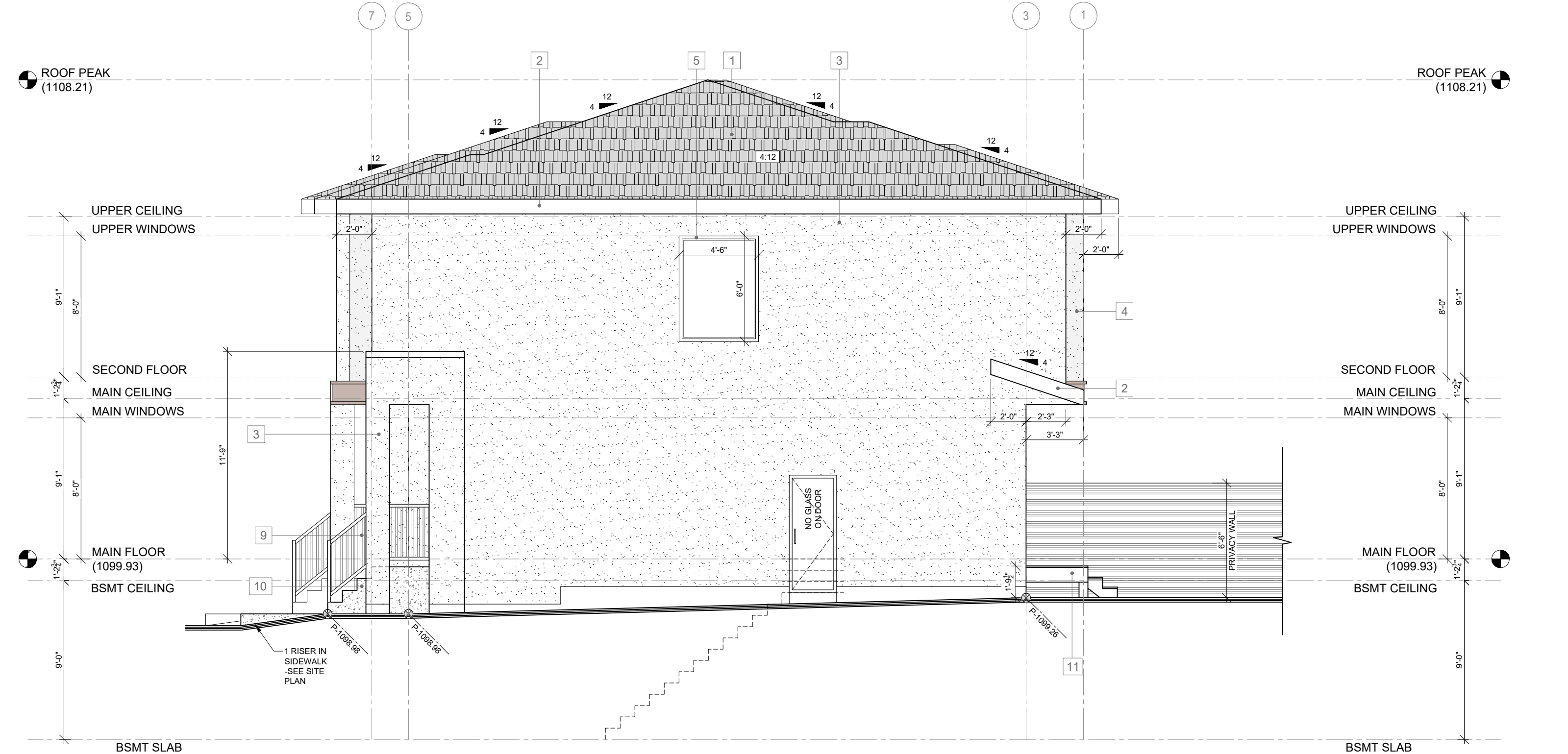
DRAWN BY: CA
DRAWN BY: CR
LOT: 96 BLOCK: 9
PLAN: 741 0438
SCALE: 3/16"=1'-0"

ISSUE DATE:
May 7, 2026
ADDRESS: 4655 WHITEHORN DR NE
CALGARY, AB
(WHITEHORN)

FLOOR AREA UNIT 1 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

FLOOR AREA UNIT 2 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

LEFT
ELEVATION



WEST - UNIT 2A



SOUTH - UNIT 2A

SOUTH - UNIT 1A



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REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

DRAWN BY: CA
DRAWN BY: CR
LOT: 96 BLOCK: 9
PLAN: 741 0438
SCALE: 3/16"=1'-0"

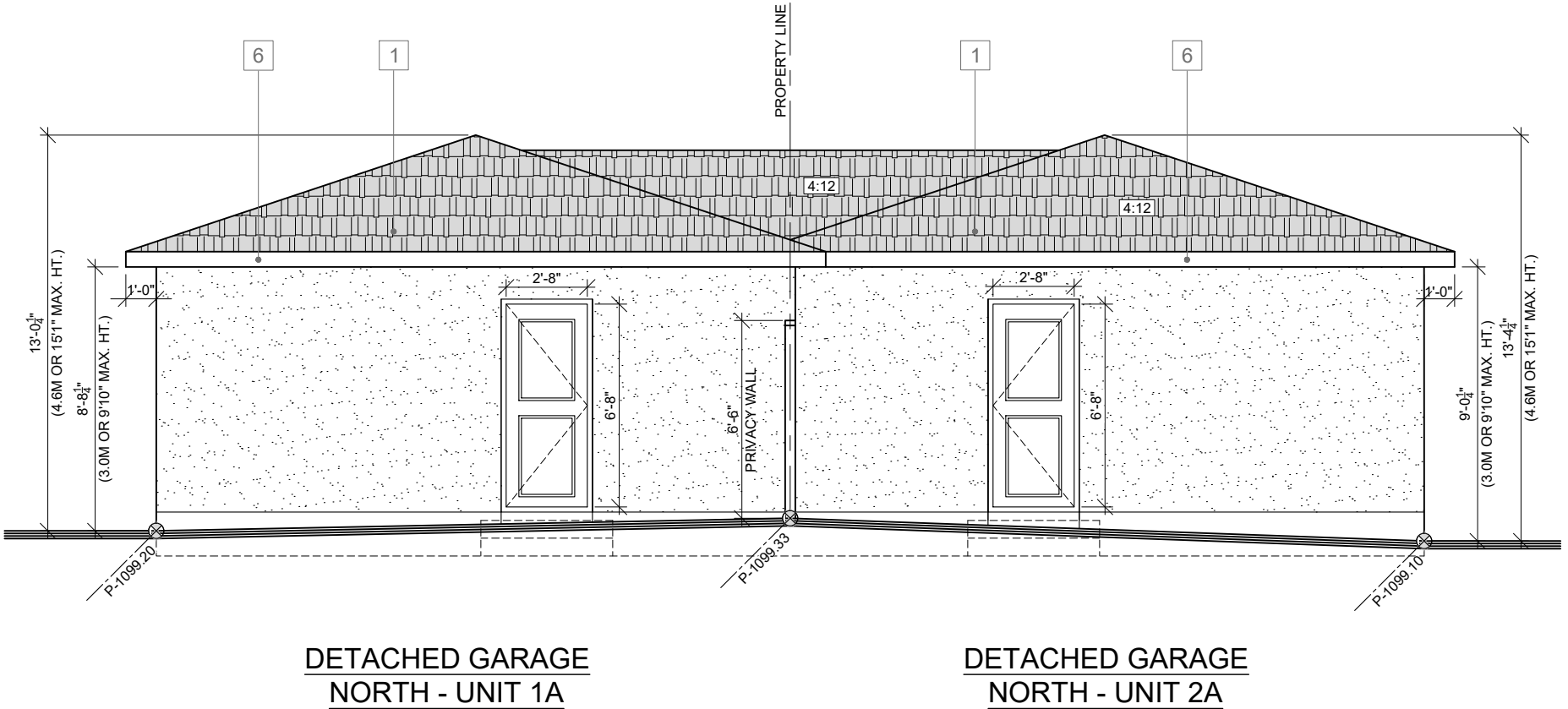
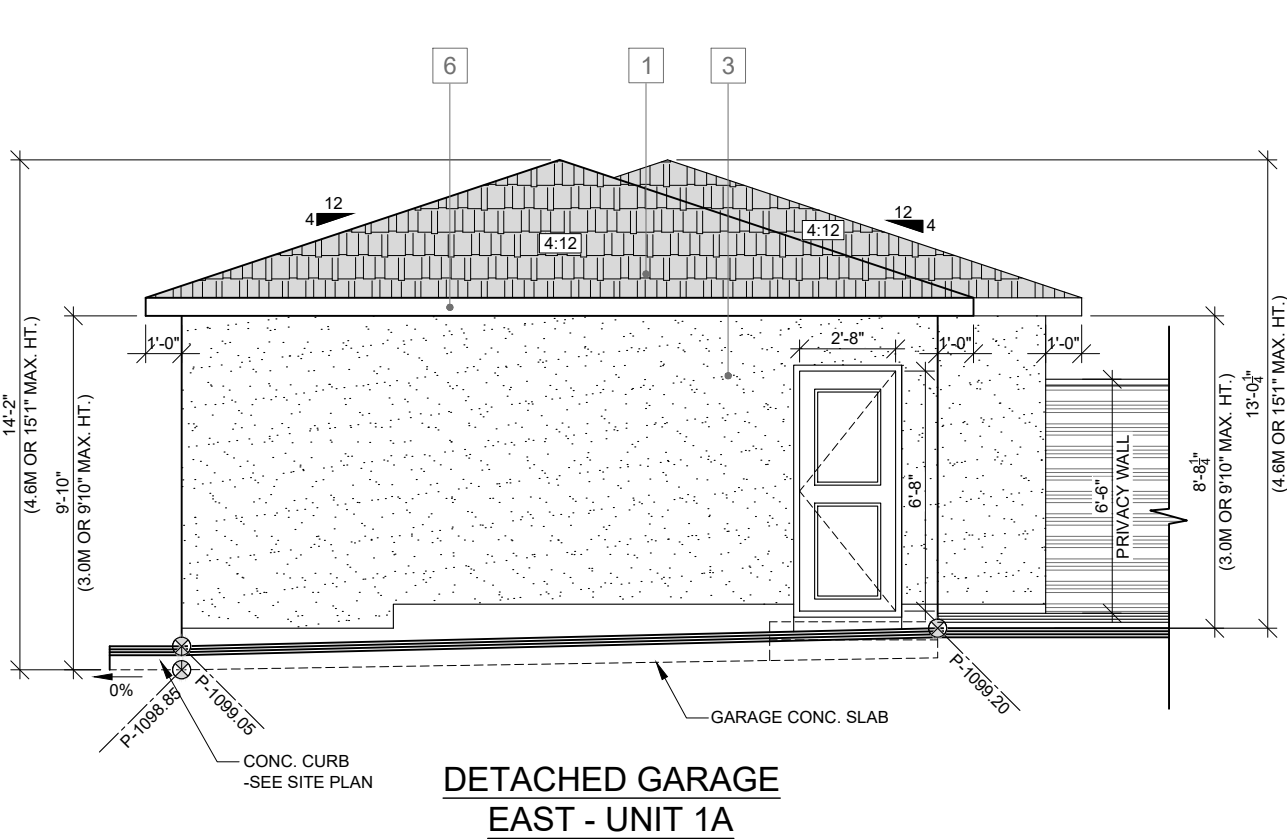
ISSUE DATE:
May 7, 2026
ADDRESS: 4655 WHITEHORN DR NE
CALGARY, AB
(WHITEHORN)

FLOOR AREA UNIT 1 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

FLOOR AREA UNIT 2 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

REAR
ELEVATION

MATERIAL LEGEND	
TAG #	MATERIAL
1	ARCHITECTURAL ASPHALT SHINGLES
2	10" ALUMINUM FASCIA
3	LIGHT COLORED STUCCO SIDING
4	DARK COLORED STUCCO SIDING
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10	CONCRETE STEPS
11	PRESSURE TREATED WOOD STEPS AND LANDING



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REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

DRAWN BY: CA	
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LOT: 96	BLOCK: 9
PLAN: 741 0438	
SCALE: 3/16"=1'-0"	

ISSUE DATE:	
May 7, 2026	
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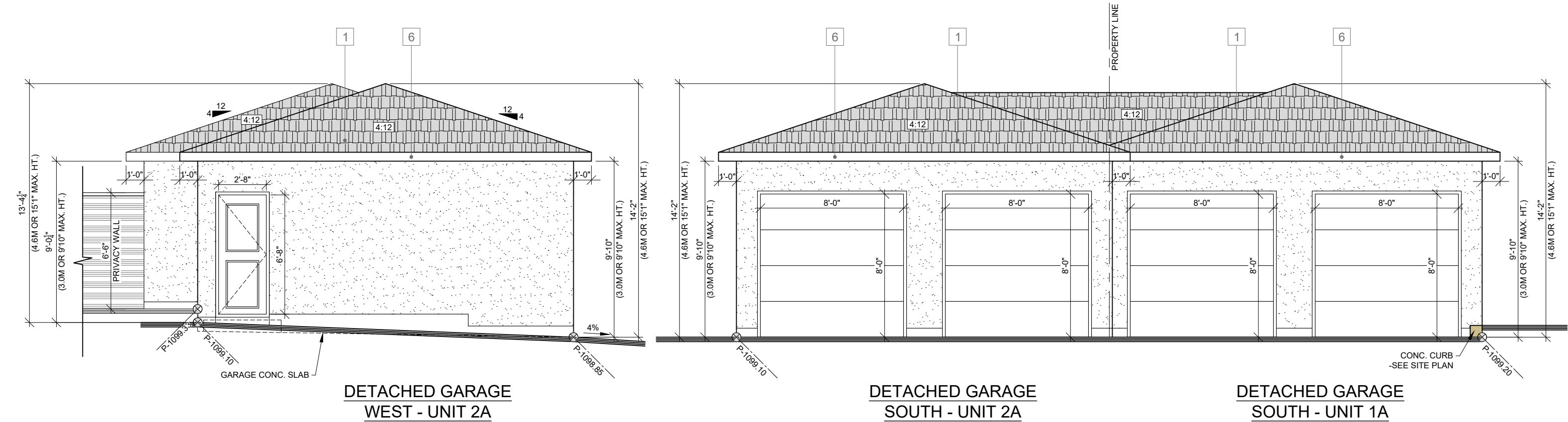
FLOOR AREA UNIT 1 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

FLOOR AREA UNIT 2 (SQ.FT)	
MAIN FLOOR	763
UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

**DETACHED
GARAGE
ELEVATIONS**

PAGE
G.1
PROJECT NO. SD583

MATERIAL LEGEND	
TAG #	MATERIAL
1	ARCHITECTURAL ASPHALT SHINGLES
2	10" ALUMINUM FASCIA
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4	DARK COLORED STUCCO SIDING
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10	CONCRETE STEPS
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REVISION SCHEDULE			
REV.	DESCRIPTION	REV.	DESCRIPTION

DRAWN BY: CA	
DRAWN BY: CR	
LOT: 96	BLOCK: 9
PLAN: 741 0438	
SCALE: 3/16"=1'-0"	

ISSUE DATE:	
May 7, 2026	
ADDRESS: 4655 WHITEHORN DR NE CALGARY, AB (WHITEHORN)	

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SECONDARY SUITE	0

FLOOR AREA UNIT 2 (SQ.FT)	
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UPPER FLOOR	872
	0
TOTAL	1635
SECONDARY SUITE	0

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ARCHITECTURAL SYMBOLS

UW	UPPER WINDOW
MW	MAIN WINDOW
BW	BASEMENT WINDOW
	EXISTING GRADE
	PROPOSED GRADE
BOW	BOTTOM OF RETAINING WALL
TOW	TOP OF RETAINING WALL
	DENOTES MAIN CANTILEVER
	DENOTES UPPER CANTILEVER
	DENOTES WINDOW WELL
	SECTION PAGE
	SECTION NUMBER
	DRAWING OR DETAIL REFERENCE
	SCALE
---	PROPERTY LINE
- - - - -	OUT LINE OF FOUNDATION WALL BELOW GRADE
	BUILDING FOOTPRINT ABOVE GRADE
	LANDSCAPE RETAINING WALL
— DH — DH —	OVERHEAD LINES
— G — G —	UNDERGROUND GAS LINE
— S — S —	SEWER LINE
— W — W —	WATER LINE
— ST — ST —	STORM LINE
-X-X-X-X-X-	FENCE
	STREET LIGHT
	POWER POLE
	EXISTITNG TREES TO REMAIN

ISSUED FOR DEVELOPMENT PERMIT

May 7, 2026

4655 WHITEHORN DRIVE NE
CALGARY, ALBERTA



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LIST OF DRAWINGS

PAGE	DRAWING NAME
S.0	COVER PAGE
S.1	SITE PLAN
S.2	EXISTING & NEW LANDSCAPE PLAN
S.3	STREETSCAPE



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WWW.AMAYADESIGN.CA

REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

ISSUE DATE:

May 7, 2026

ADDRESS: 4655 WHITEHORN DRIVE NE
CALGARY, AB

DESIGN BY: CA

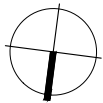
DRAWN BY: CR

LOT: 96

BLOCK: 9

PLAN: 741 0438

COVER PAGE



SCALE: N.T.S.

LOT COVERAGE (SQ.M.)	
LOT	501.97
HOUSE	142.47
DETACHED GARAGE	81.39
TOTAL	223.86
COVERAGE (45% MAX.)	44.60%

PAGE

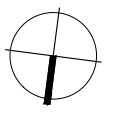
S.0

PROJECT NO.
SD583

REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

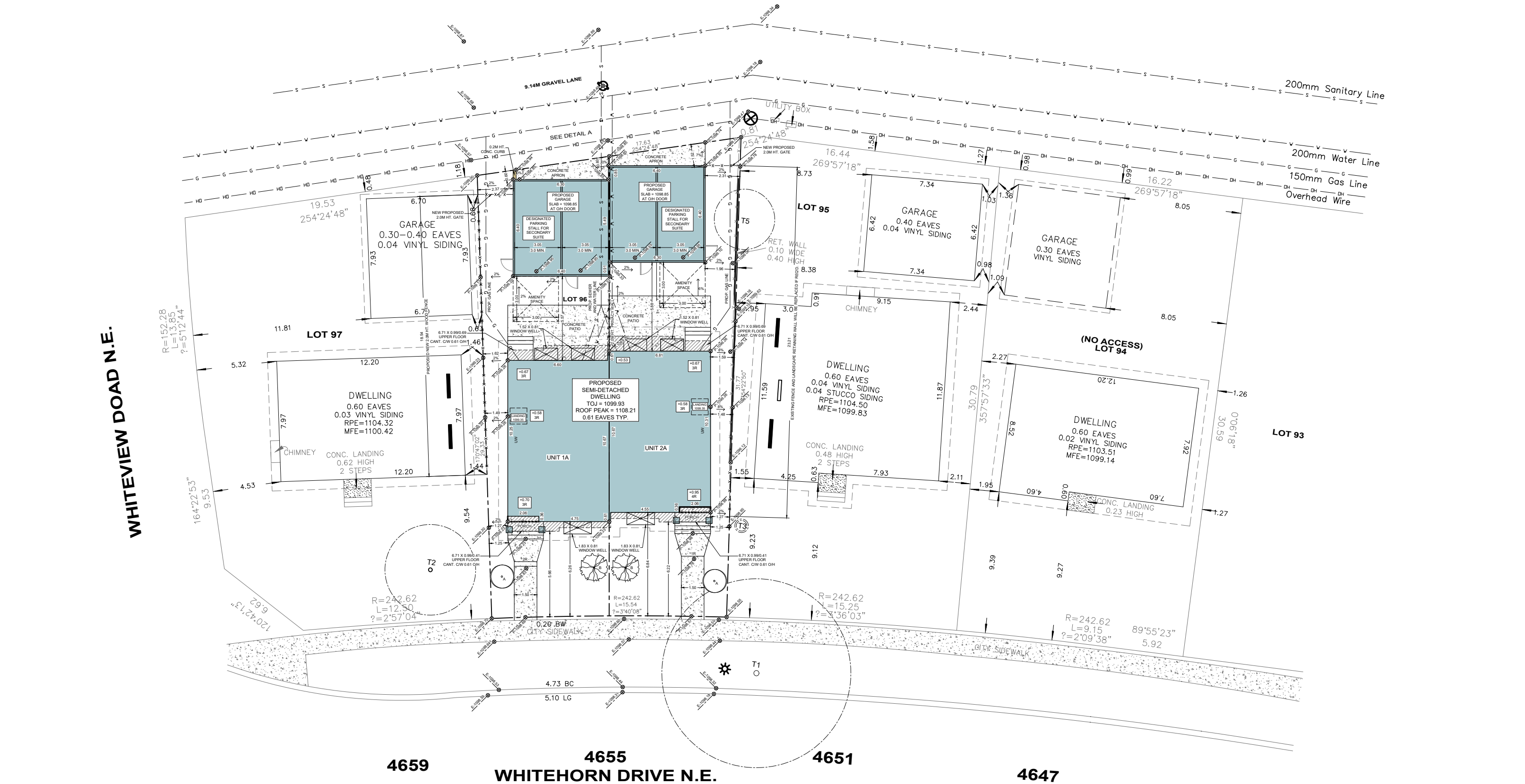
ISSUE DATE:
May 7, 2026
ADDRESS: 4655 WHITEHORN DRIVE NE CALGARY, AB

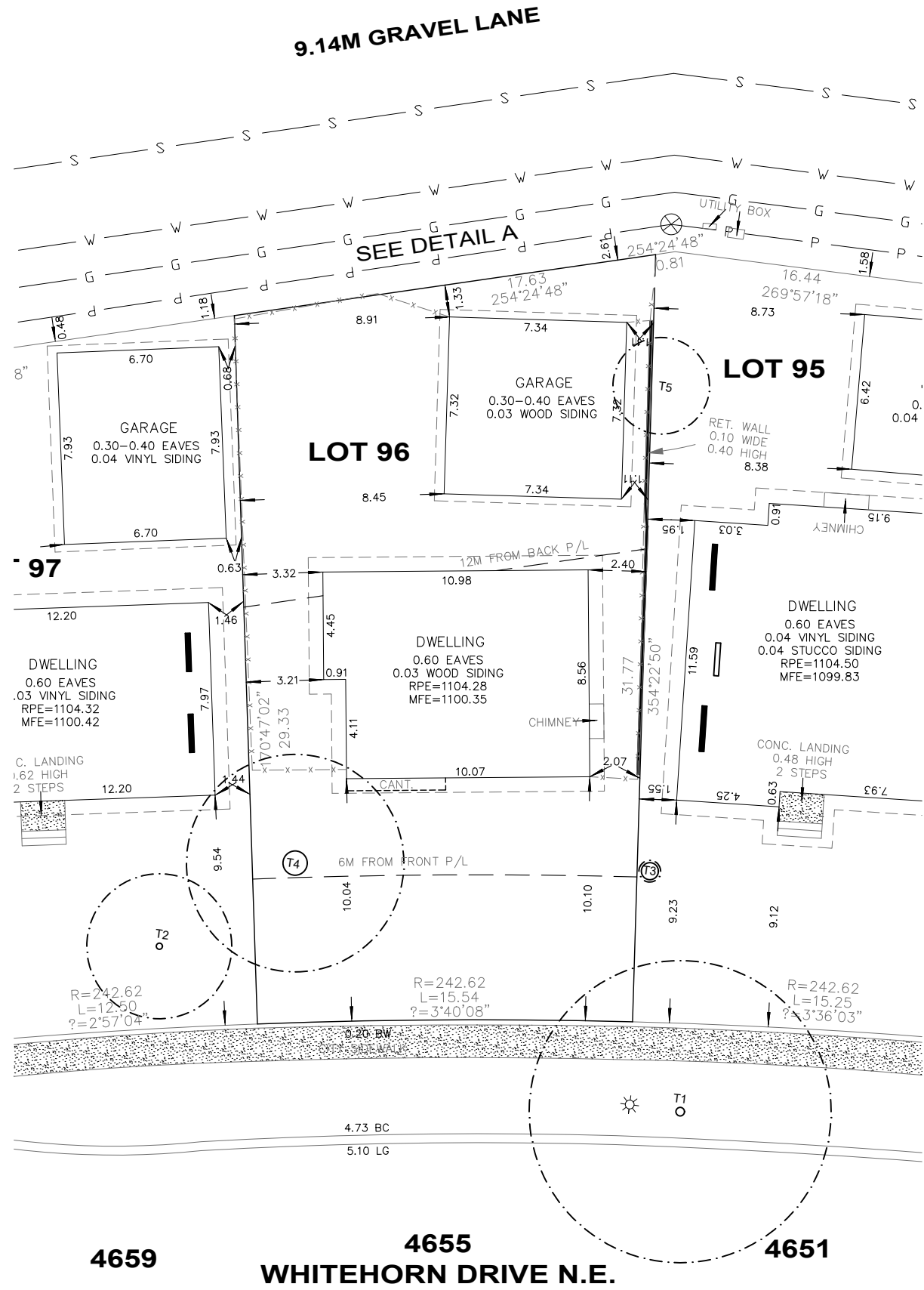
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LOT: 96	BLOCK: 9	PLAN: 741 0438	
SITE PLAN			


SCALE: 1:6000

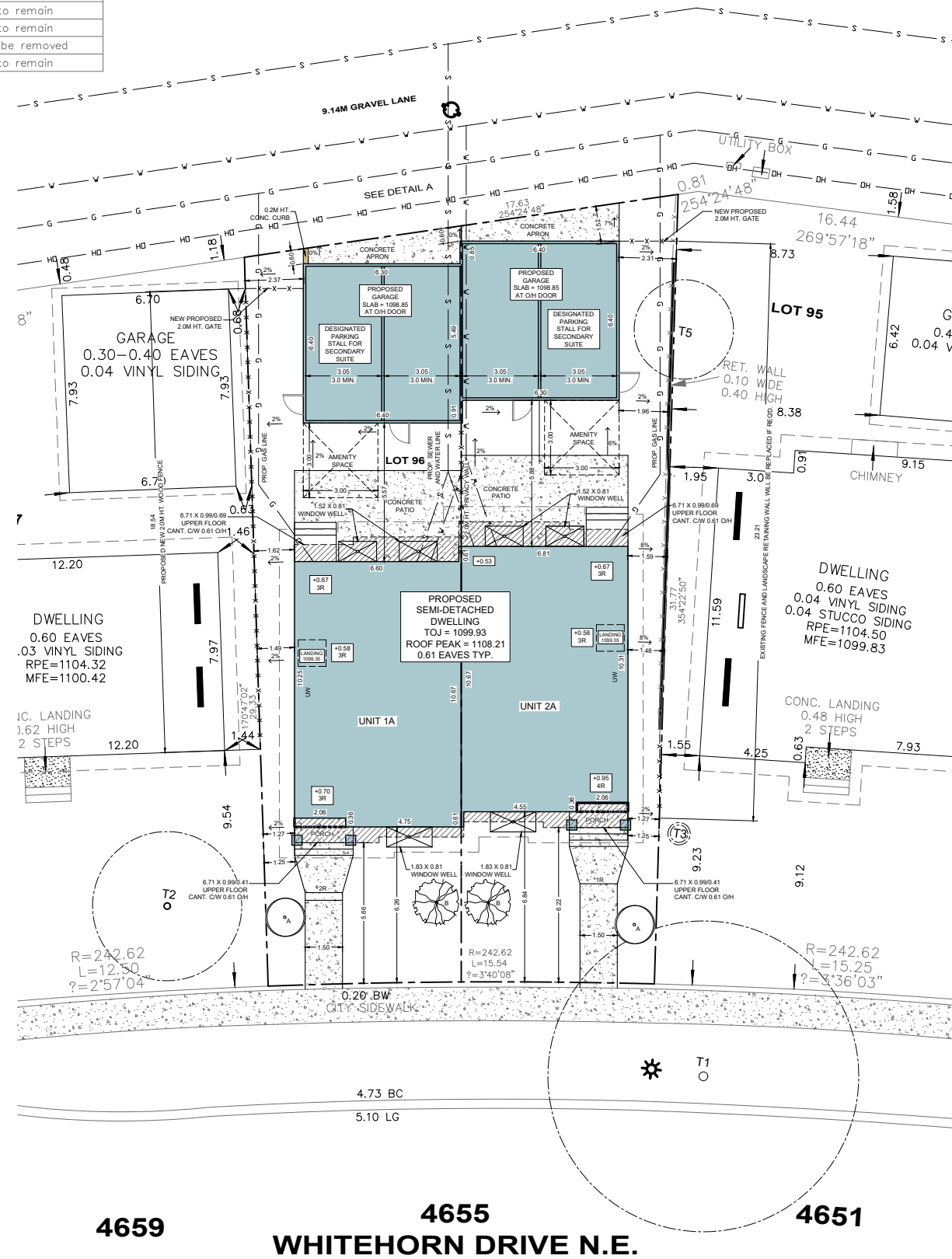
LOT COVERAGE (SQ.M.)	
LOT	501.97
HOUSE	142.47
DETACHED GARAGE	81.39
TOTAL	223.86
COVERAGE (45% MAX.)	44.60%

PAGE
S.1
PROJECT NO. SD583





TREE SCHEDULE:					
Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location
T1	Deciduous	0.35	12.50	8.00	In City Property
T2	Deciduous	0.25	6.00	5.00	In Adjacent Property
T3	Coniferous	0.70	0.90	15.00	In Adjacent Property
T4	Coniferous	1.00	9.00	15.00	In Subject Property
T5	Bush	—	4.00	4.00	In Adjacent Property



1 EXISTING LANDSCAPE PLAN
Scale: 1:6000

2 NEW LANDSCAPE PLAN
Scale: 1:6000



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CALGARY, AB T2H 2L9
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REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

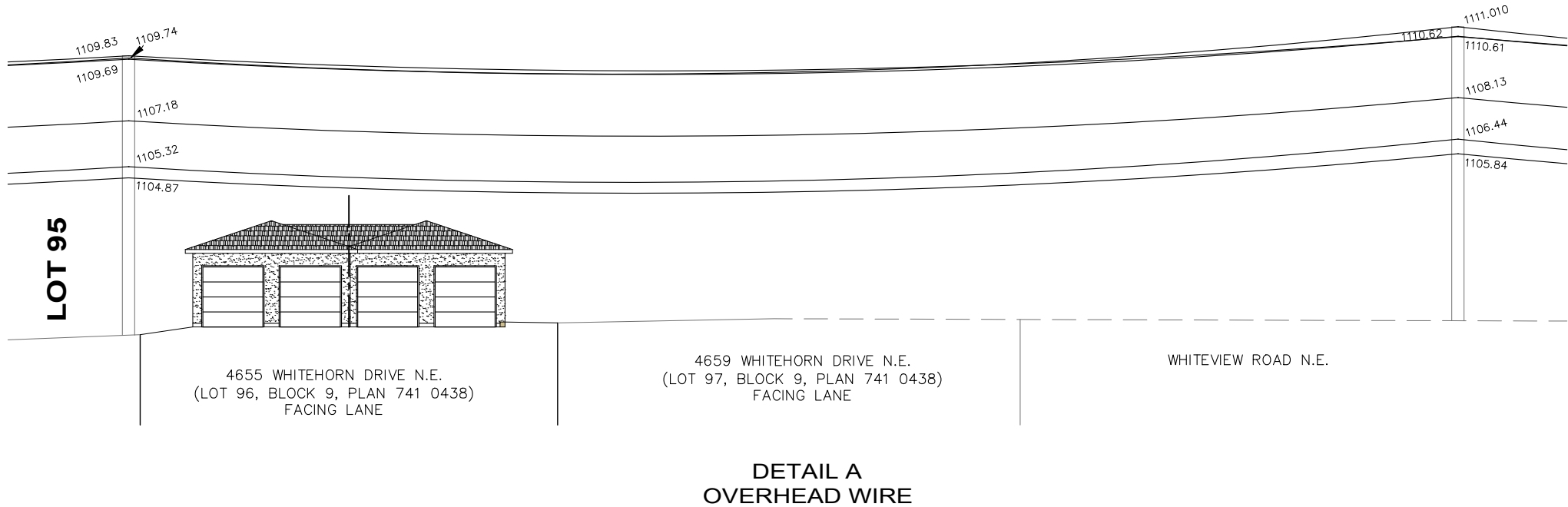
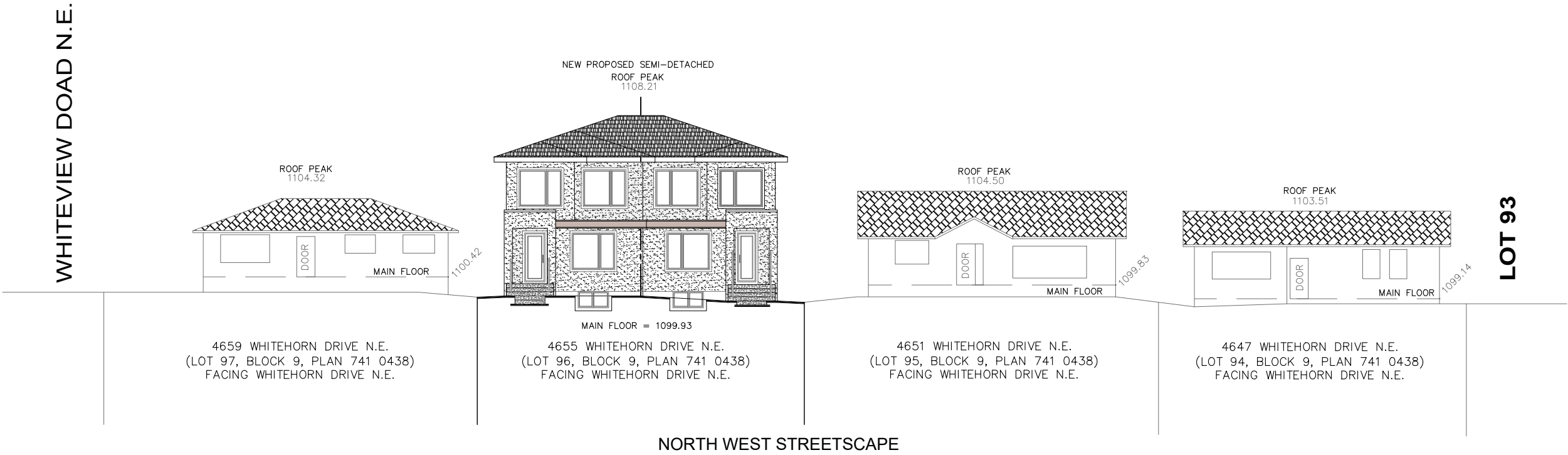
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May 7, 2026	
ADDRESS: 4655 WHITEHORN DRIVE NE CALGARY, AB	

DESIGN BY: CA	DRAWN BY: CR
LOT: 96	BLOCK: 9
PLAN: 741 0438	
LANDSCAPE PLAN	



LOT COVERAGE (SQ.M.)	
LOT	501.97
HOUSE	142.47
DETACHED GARAGE	81.39
TOTAL	223.86
COVERAGE (45% MAX.)	44.60%

PAGE
S.2
PROJECT NO.
SD583



REVISION SCHEDULE			
DATE	DESCRIPTION	DATE	DESCRIPTION

ISSUE DATE:
May 7, 2026
ADDRESS: 4655 WHITEHORN DRIVE NE CALGARY, AB

DESIGN BY: CA		DRAWN BY: CR	
LOT: 96	BLOCK: 9	PLAN: 741 0438	
STREETSCAPE			


SCALE: 1:6000

LOT COVERAGE (SQ.M.)	
LOT	501.97
HOUSE	142.47
DETACHED GARAGE	81.39
TOTAL	223.86
COVERAGE (45% MAX.)	44.60%

PAGE
S.3
PROJECT NO. SD583