

GENERAL NOTES

- 1) The following notes are to be included with and become part of the attached drawings.
- 2) All work carried out shall conform to National building code(AB) latest edition
- 3) Contractor and sub-contractors shall verify all dimentions, lines, existing services and other information prior to commencing work and report any discrepancies to the architect.
- 4) Do not scale drawings
- 5) Contractor shall ensure that all work carried out conforms to manufacturer's specifications and instructions, and is performed with care and dilligence according tot good building practices.
- 6) Where alternate products, materials or methods are proposed; complete and appropriate details, literature and samples shall be submitted to the architect for review and approval prior to ordering or fabrication.
- 7) Contractor shall be responsible for all permits, insurance and wcb payment.
- 8) Opening sizes for manufactured components are nominal sizes only. verify with supplier or manufacturer.
- 9) Contractor shall provide and pay for 'x-ray' or other tests which are necessary to determine existing embedded and hidden building components prior to cutting through walls and floors. contractor to be responsible for any damage arising from cutting and for the cost of repairs.
- 10) Contractor to inform building superintendent of the work and to obtain owner's approval as required prior to the start of construction.
- 11) Work to be carried out with minimal disruptions to normal building operations and to other tenants.
- 12) Any work requiring connections to existing building system shall be co-ordinated with the building superintendent.
- 13) All work and procedures to be performed in accordance with the 'lease agreement'.
- 14) Contractor shall provide, maintain, and pay for insurance coverages for 'general liability and property' as set forth by the landlord and tenant unless otherwise stipulated but not restricted to the above.
- 15) Report any discrepancies in drawings to the architect.
- 16) Report any discrepancies and inconsistencies between drawings and site conditions to the architect.
- 17) Document all changes to drawings and provide 'as-built' drawings to the tenant at completion of construction.

STANDARD NOTES

- 1) ONE SET OF LANDLORD APPROVED DRAWINGS TO BE KEPT ON SITE AND AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION.
- 2) ALL MATERIALS TO MEET FLAME SPREAD RATING REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- 3) DEMISING WALLS ARE NOT DESIGNED TO ACCOMMODATE LOADING. ALL FIXTURES MUST BE FLOOR SUPPORTED.
- 4) ALL QUARRY TILE FLOORS MUST HAVE CONTROL JOINTS ALIGNING WITH BASE BUILDING FLOOR JOINTS.
- 5) DRYWALL CEILING MUST HAVE ACCESS PANELS TO ALLOW ACCESS FOR BUT NOT LIMITED TO REHEAT COILS, V.A.V. BOXES, ELECTRICAL JUNCTIN BOXES OR PLUMBING CLEAN OUTS. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS.
- 6) MALL FLOOR FINISH TO BE EXTENDED TO CLOSURE LINE, BY TENANT. ALL JOINTS IN THE TENANT'S FLOORING PATTERN MUST BE CONSISTENT WITH THE LANDLORD'S FLOORING PATTERN.
- 7) TENANT CONTRACTOR MUST APPLY FOR AND PICK UP BUILDING PERMIT FROM CITY AUTHORITIES AND PAY FOR SAME PRIOR TO COMMENCING WORK.
- 8) PRIOR TO CUTTING OR CORING CONCRETE FLOORING, THE TENANT'S CONTRACTOR MUST CHECK FLOOR FOR ANY ELECTRICAL, MECHANICAL OR EQUIPMENT LOCATIONS. ANY PENETRATION THROUGH FLOOR MUST BE WATERTIGHT.
- 9) TENANT CONTRACTOR MUST CHECK WITH TENANT COORDINATOR AND PICK UP RULES AND REGULATIONS PRIOR TO ANY CONSTRUCTION.
- 10) TENANT CONTRACTOR SHALL OBTAIN ALL REQUIRED BUILDING PERMITS (BUILDING, ELECTRICAL, PLUMBING, HVAC) PRIOR TO COMMENCEMENT OF WORK AND PROVIDE PROOF TO TENANT COORDINATOR. CONTRACTOR SHALL ALSO FURNISH TO TENANT COORDINATOR FOR APPROVAL PRIOR TO CONSTRUCTION THE FOLLOWING:
 - CONSTRUCTION SCHEDULES
 - LIST OF ALL SUB-CONTRACTORS
 - CERTIFICATE OF INSURANCE

BUILDING CODE ANALYSIS

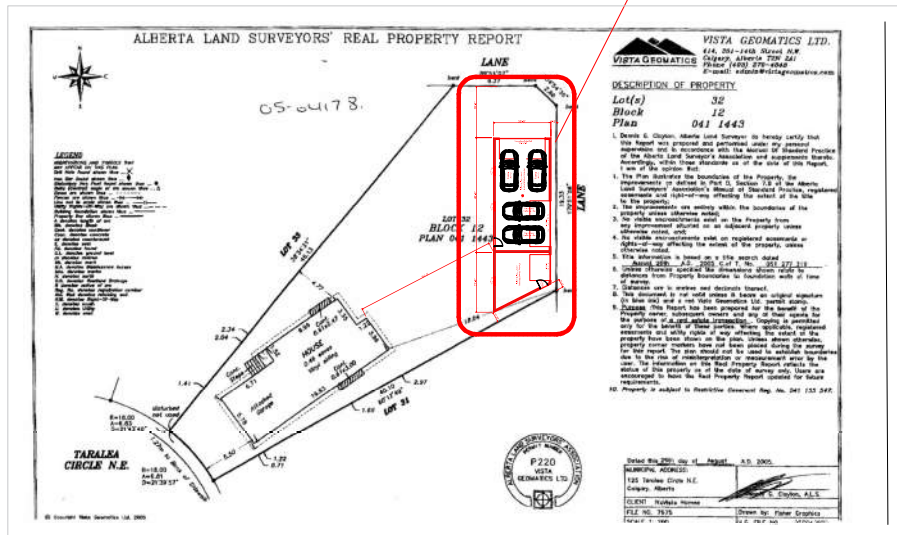
SITE ADDRESS:	125 TARALEA CIRCLE NE CALGARY A PLAN 0411443, BLOCK 12, LOT 32
BUILDING CODE:	NATIONAL BUILDING CODE 2023 (AB EDITION)
PROJECT DESCRIPTION:	BACKYARD SECONDARY SUITE
LOT AREA :	8540.00 SQFT (793.39 SQM)
MAIN HOUSE FOOTPRINT AREA:	1270.00 SQFT. (117.98QM)
NUMBER OF STOREY:	02 STORES (EXISTING GARAGE+SECOND FLOOR)
NUMBER OF STREETS:	03
SPRINKLER SYSTEM:	NO
STANDPIPE SYSTEM:	NO
HIGH BUILDING:	NO
CONSTRUCTION TYPE:	COMBUSTIBLE OR NON-COMBUSTIBLE

ARCHITECTURAL FLOOR PLAN

SCHEDULE OF AREA		
Main Floor Area	Existing Garage & Store	1120.00 Sq.Ft
Sec. Floor Area	Proposed Secondary Suite	1224.00 Sq.Ft
Balcony	Proposed Balcony	66.00 Sq.Ft
Total Area		2344.00 Sq.Ft



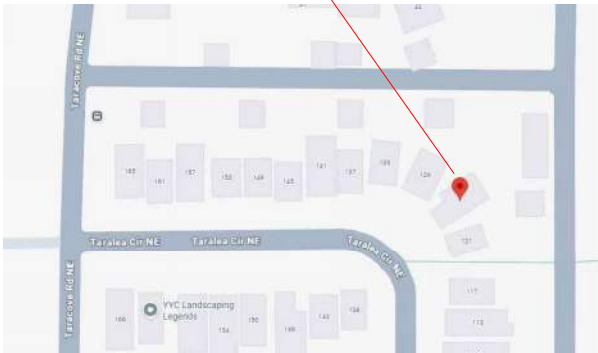
Proposed Front Elevation



Location



Project Location



Project Location

KEY PLAN: Application For DP/BP Drawings	GENERAL NOTES: ANY CONTRACTOR OR PERSON USING THIS DRAWING SHOULD VERIFY ALL DIMENSIONS QUOTATIONS AND SPECIFICATIONS AND INFORM THIS DESIGNER OF ANY ERRORS AND / OR OMISSIONS BEFORE IMPLEMENTATIONS. INFORMATION CONTAINED SHALL BE TREATED AS CONFIDENTIAL NO REPRODUCTION OF THIS DRAWINGS OR ANY PART OF THIS DRAWING SHALL BE MADE WITHOUT WRITTEN CONSENT. CONTRACTORS ARE TO VISIT SITE VERIFY DETAILS INFORMATION PRIOR TO SUBMITTING TENDER. NO PRICE IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES / COS ETC. SHALL BE AT CONTRACTORS COST. ALL ROUGHING PIPE ETC. FOLLOW NATIONAL BUILDING CODE - 2024 ALBERTA EDITION , NBC-2024 STANDARD AND BASE BUILDING SPECS. & SCHEDULE. CONTRACTOR MUST FOLLOW ALL DESIGN AND CONSTRUCTION STANDARDS & CODES.	REV. DESCRIPTION REV. DATE	MUNICIPAL ADDRESS: 125 Taralea Circle NE Calgary AB T3J 5G9	PROJECT: Backyard Secondary Suite	CLINT: Clint/Construction Contractor	ORIGINAL DRAWING SHEET SIZE: A3 DRAWN BY: YM SCALE: NTS DATE: 07-05-2026 CHECKED BY: AK DESIGN STAGE: DP / BP / CONS ISSUE DATE: - PROJ CODE: DRAWING NO. A1.00 REVISIONS: 04	DRAWING TITLE: Code Analysis & General Notes
---	---	----------------------------	--	--	---	--	--

05-04178.

OBSERVATIONS AND SYMBOLS THAT MAY APPEAR ON THIS PLAN.
 On Hole found shown thus ...
 Iron Bar found shown thus ...
 Shuttering Ben Post found shown thus ...
 Dimple (Centrop) angle of arc shown thus ...
 Corros are shown thus ...
 Fences are shown thus ...
 Line not to scale shown thus ...
 Utility Rights-Of-Way are shown thus ...
 Building foundation shown thus ...
 Property line shown thus ...
 A denotes length of arc
 B.C. denotes block
 C.M. denotes center
 Conc. denotes concrete
 C. denotes counter sunk
 E. denotes steel
 F.d. denotes found
 G.L. denotes ground level
 M. denotes mat
 M.A. denotes Maintenance Access
 M.R. denotes marks
 N. denotes north
 O.B. denotes Overland Drainage
 R denotes radius of arc
 Reg. No. denotes registration number
 R.O. denotes retaining wall
 R.W. denotes Right-Of-Way
 S. denotes south
 U. denotes Utility
 W. denotes wall



R=18.00
A=6.81
D=21'39'57"

GENERAL NOTES:	
ANY CONTRACTOR OR PERSON USING THIS DRAWING SHOULD VERIFY ALL DIMENSIONS, QUOTATIONS AND SPECIFICATIONS AND INFORM THIS DESIGNER OF ANY ERRORS AND / OR OMISSIONS BEFORE IMPLEMENTATION. INFORMATION CONTAINED SHALL BE TREATED AS CONFIDENTIAL. NO REPRODUCTION OF THIS DRAWINGS OR ANY PART OF THIS DRAWING SHALL BE MADE WITHOUT WRITTEN CONSENT. THE USER OF THIS DRAWING MUST VERIFY DETAILS/INFORMATION PRIOR TO SUBMITTING TENDER/ BID PRICE. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES / COST EST. SHALL BE AT CONTRACTORS COST. ALL ROUGHING PIPE ETC. FOLLOW NATIONAL BUILDING CODE – 2024 ALBERTA EDITION , NBC-2024 / CANADIAN STANDARDS BUILDING SPEC. & SCHEDULE. CONTRACTOR MUST FOLLOW ALL DESIGN AND CONSTRUCTION STANDARDS & CODES.	

[illegible]

125 Taralea Circle NE
Calgary AB
T3J 5G9

Backyard Secondary Suite

Clint/Construction Contractor

ORIGINAL DRAWING SHEET SIZE:		A3	
DRAWN BY	YM	SCALE	NTS
		DATE	07-05-2026
CHECKED BY	AK	DESIGN STAGE	DP / BP / CONS
		ISSUE DATE	-
PROJ CODE	DRAWING NO.		REVISIONS
	A1.01		04

SITE PLAN



VISTA GEOMATICS

VISTA GEOMATICS LTD.
414, 301-14th Street N.W.
Calgary, Alberta T2N 2A1
Phone (403) 270-4048
E-mail: admin@vistageomatics.com

Lot(s) 32
Block 12
Plan 041 1443

1. Dennis G. Clayton, Alberta Land Surveyor do hereby certify that this Report was prepared and performed under my personal supervision and in accordance with the Manual Of Standard Practice of the Alberta Land Surveyor's Association and supplements thereto. Accordingly, within those standards as of the date of this Report, I am of the opinion that:
1. The Plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 7.8 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and right-of-way affecting the extent of the title to the property;
 2. The improvements are entirely within the boundaries of the property unless otherwise noted;
 3. No visible encroachments exist on the Property from any improvement situated on an adjacent property unless otherwise noted, and;
 4. No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property, unless otherwise noted.
 5. Title information is based on a title search dated August 26th A.D. 2005 C of T. No. 051 277 319
 6. Unless otherwise specified the dimensions shown relate to distances from Property boundaries to foundation walls at time of survey.
 7. Distances are in metres and decimals thereof.
 8. This document is not valid unless it bears an original signature (in blue ink) and a rad Vista Geomatics Ltd. permit stamp.
 9. Purpose :This Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.
 10. *Property is subject to Restrictive Covenant Reg. No. 041 155 547.*

Dated this 29th day of August A.D. 2005.

MUNICIPAL ADDRESS:

125 Taralea Circle N.E.
Calgary, Alberta

CLIENT	NuVista Homes
--------	---------------

FILE NO. 7975

CCAF 1-200

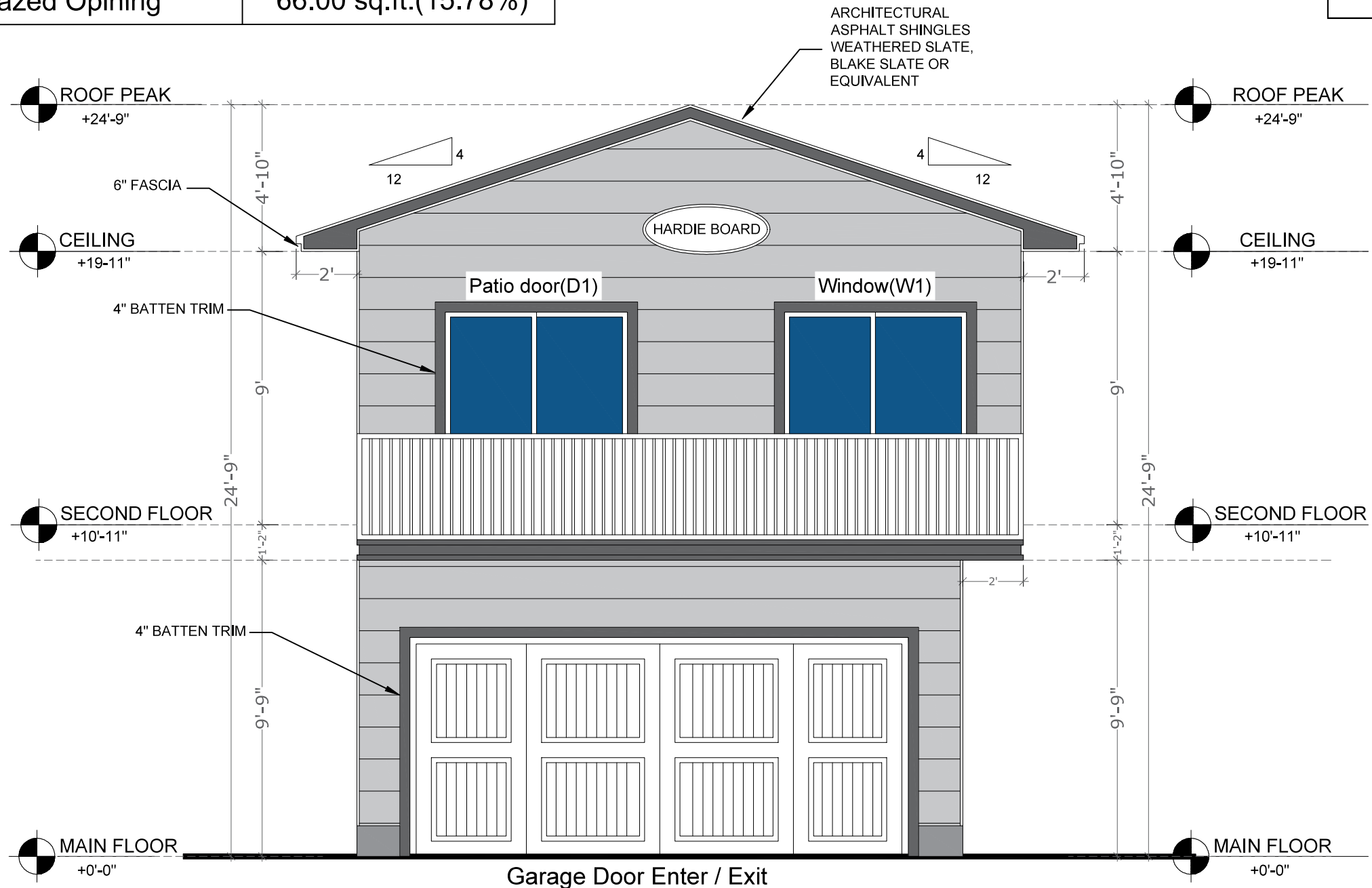
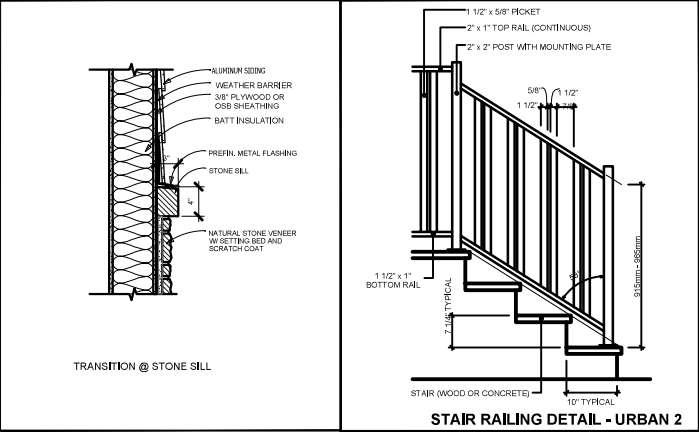
Donald G. Clayton, A.L.S.

Drawn by: Fisher Graphics

V G FILE NO 05004 70701

Glazed Opening Schedule (Front/North Elevation)		
Exposing Building Face = 418.00 Sq.Ft		
Limiting Distance (LD)	5.48M(18'-0")	
Patio Door (D1)	6'0"x7'0"	42.00 sq.ft.
Window(W1)	6'0"x4'0"	24.00 sq.ft.
Total Glazed Opening	66.00 sq.ft.(15.78%)	

- ELEVATION NOTES:
1. WINDOW AND DOOR SIZES SHOWN DO NOT INCLUDE ROUGH OPENING DIMENSIONS. WINDOW SUPPLIER TO PROVIDE EXACT ROUGH OPENINGS PRIOR TO FRAMING.
 2. WINDOWS AND DOORS TO ILLUSTRATE DIRECTION OF OPERATION, OBSCURE GLASS, ETC. SUPPLIER TO CONFIRM WINDOWS MEET EGRESS WHERE REQUIRED.
 3. TYPICAL MOUNTING HEIGHTS DIMENSIONED. ADJUST MOUNTING HEIGHT TO MATCH R.O. OF AN ADJACENT DOOR WHEN THEY ARE WITHIN THE SAME ROOM.
 4. SEE FRONT ELEVATIONS FOR EXTERIOR FINISHES & DETAILS. ONLY UNIQUE FINISHES & DETAILS WILL BE NOTED ON REMAINING ELEVATIONS.



1 FRONT ELEVATION
Scale: 1/4"=1'-0"

KEY PLAN:
Application For DP/BP Drawings

GENERAL NOTES:
ANY CONTRACTOR OR PERSON USING THIS DRAWING SHOULD VERIFY ALL DIMENSIONS, QUOTATIONS AND SPECIFICATIONS AND INFORM THIS DESIGNER OF ANY ERRORS AND / OR OMISSIONS BEFORE IMPLEMENTATIONS.
INFORMATION CONTAINED SHALL BE TREATED AS CONFIDENTIAL. NO REPRODUCTION OF THIS DRAWINGS OR ANY PART OF THIS DRAWING SHALL BE MADE WITHOUT WRITTEN CONSENT.
CONTRACTORS ARE TO VISIT SITE VERIFY DETAILS INFORMATION PRIOR TO SUBMITTING TENDER. BID PRICE IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES / COST ETC. SHALL BE AT CONTRACTORS COST.
ALL ROUGHING PIPE ETC. FOLLOW NATIONAL BUILDING CODE - 2024 ALBERTA EDITION / NBC-2024 STANDARD AND BASE BUILDING SPECS. & SCHEDULE.
CONTRACTOR MUST FOLLOW ALL DESIGN AND CONSTRUCTION STANDARDS & CODES.

REV.	DESCRIPTION	REV. DATE

MUNICIPAL ADDRESS:
125 Taralea Circle NE
Calgary AB
T3J 5G9

PROJECT:
Backyard Secondary Suite

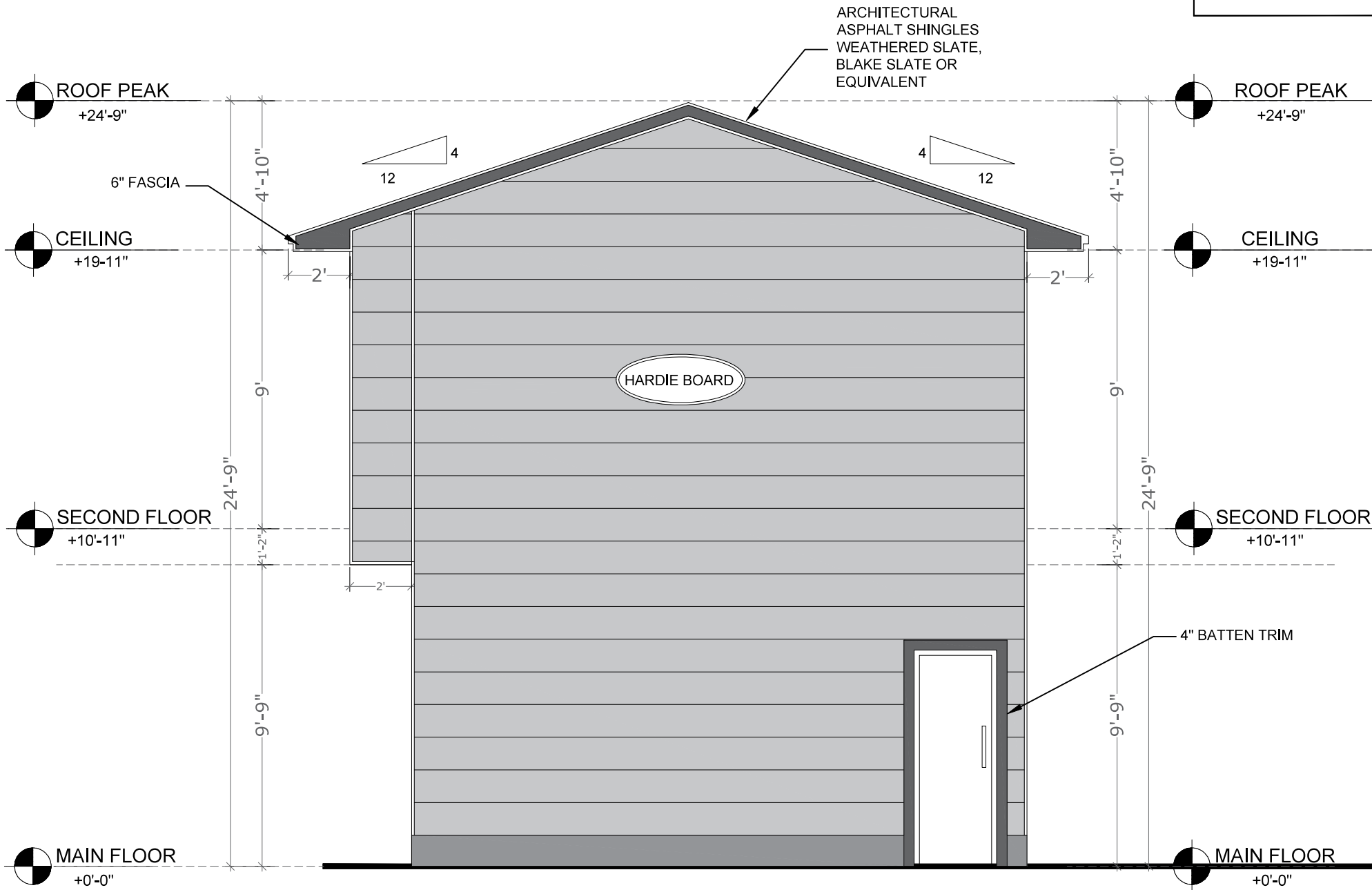
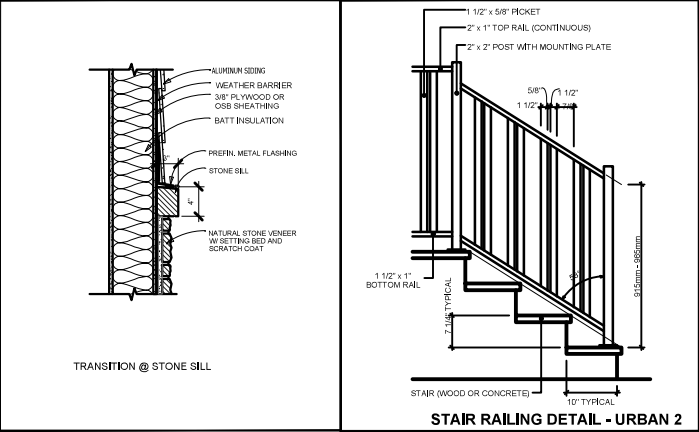
CLINT:
Clint/Construction Contractor

ORIGINAL DRAWING SHEET SIZE: A3		
DRAWN BY	YM	SCALE 1/4"=1'-0"
CHECKED BY	AK	DATE 07-05-2026
PROJ CODE	DRAWING NO.	DESIGN STAGE DP / BP / CONS
	A1.05	ISSUE DATE -
		REVISIONS D4

DRAWING TITLE:
FRONT ELEVATION

Glazed Opining Schedule (Rear/South Elevation)	
Exposing Building Face = 418.00 Sq.Ft	
Limiting Distance (LD)	0.91M(3'-0")
Total Glazed Opining	00.00 sq.ft.(00%)

- ELEVATION NOTES:
1. WINDOW AND DOOR SIZES SHOWN DO NOT INCLUDE ROUGH OPENING DIMENSIONS. WINDOW SUPPLIER TO PROVIDE EXACT ROUGH OPENINGS PRIOR TO FRAMING.
 2. WINDOWS AND DOORS TO ILLUSTRATE DIRECTION OF OPERATION, OBSCURE GLASS, ETC. SUPPLIER TO CONFIRM WINDOWS MEET EGRESS WHERE REQUIRED.
 3. TYPICAL MOUNTING HEIGHTS DIMENSIONED. ADJUST MOUNTING HEIGHT TO MATCH R.O. OF AN ADJACENT DOOR WHEN THEY ARE WITHIN THE SAME ROOM.
 4. SEE FRONT ELEVATIONS FOR EXTERIOR FINISHES & DETAILS. ONLY UNIQUE FINISHES & DETAILS WILL BE NOTED ON REMAINING ELEVATIONS.



1 REAR ELEVATION
Scale: 1/4"=1'-0"

KEY PLAN:
Application For DP/BP Drawings

GENERAL NOTES:
ANY CONTRACTOR OR PERSON USING THIS DRAWING SHOULD VERIFY ALL DIMENSIONS, QUOTATIONS AND SPECIFICATIONS AND INFORM THIS DESIGNER OF ANY ERRORS AND / OR OMISSIONS BEFORE IMPLEMENTATIONS.
INFORMATION CONTAINED SHALL BE TREATED AS CONFIDENTIAL. NO REPRODUCTION OF THIS DRAWINGS OR ANY PART OF THIS DRAWING SHALL BE MADE WITHOUT WRITTEN CONSENT.
CONTRACTORS ARE TO VISIT SITE VERIFY DETAILS INFORMATION PRIOR TO SUBMITTING TENDER. BID PRICE. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES / COST ETC. SHALL BE AT CONTRACTORS COST.
ALL ROUGHING PIPE ETC. FOLLOW NATIONAL BUILDING CODE - 2024 ALBERTA EDITION / NBC-2024 STANDARD AND BASE BUILDING SPECS. & SCHEDULE.
CONTRACTOR MUST FOLLOW ALL DESIGN AND CONSTRUCTION STANDARDS & CODES.

REV.	DESCRIPTION	REV. DATE

MUNICIPAL ADDRESS:
125 Taralea Circle NE
Calgary AB
T3J 5G9

PROJECT:
Backyard Secondary Suite

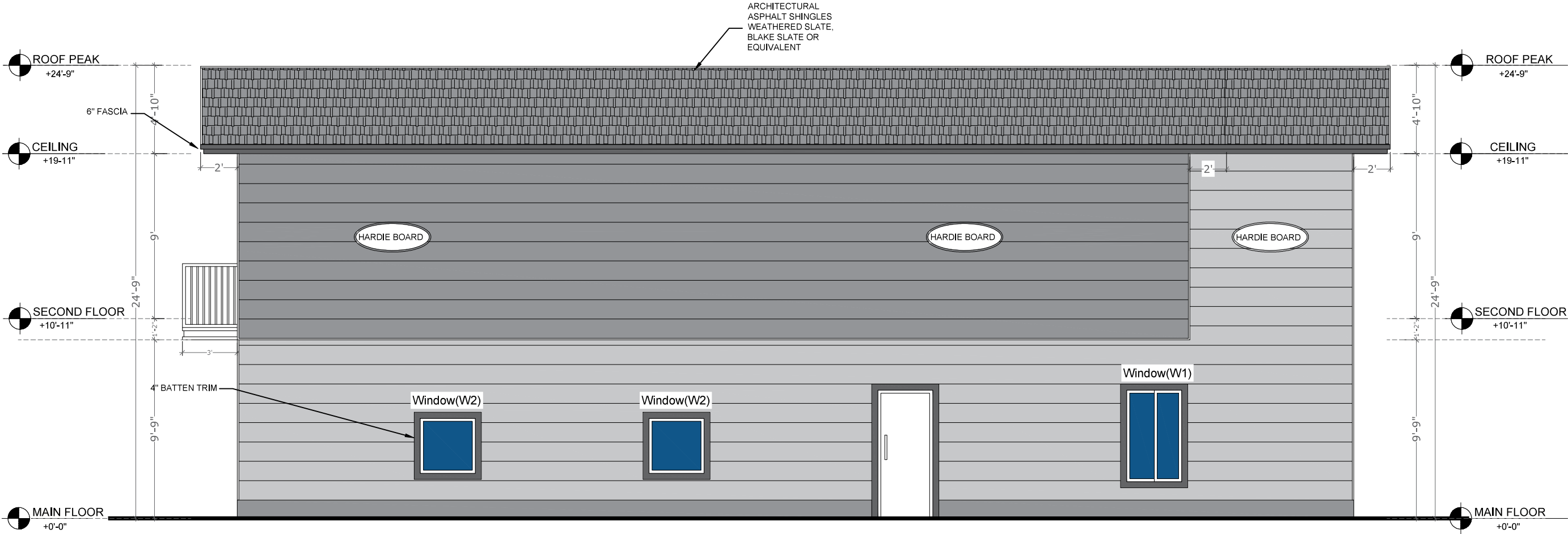
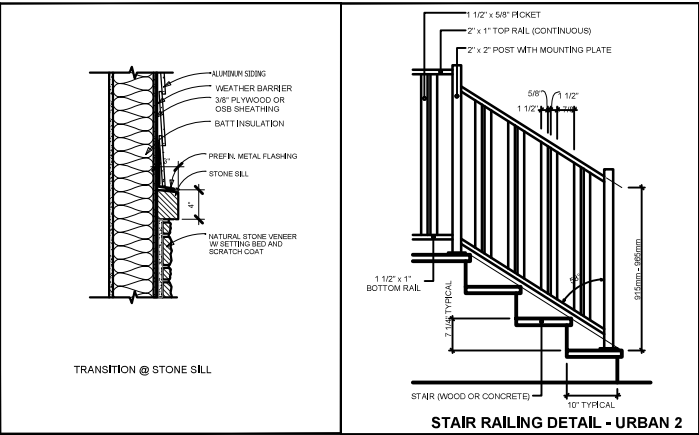
CLINT:
Clint/Construction Contractor

ORIGINAL DRAWING SHEET SIZE: A3		
DRAWN BY	YM	SCALE 1/4"=1'-0"
CHECKED BY	AK	DATE 07-05-2026
PROJ CODE	DRAWING NO.	DESIGN STAGE DP / BP / CONS
	A1.06	ISSUE DATE -
		REVISIONS D4

DRAWING TITLE:
REAR ELEVATION

Glazed Opening Schedule (Right/West Elevation)		
Exposing Building Face = 1215.00 Sq.Ft		
Limiting Distance (LD)	5.33M(17'-6")	
Window(W1)	3'0"x4'0"	12.00 sq.ft.
Window(W2)	2(3'0"x3'0")	18.00 sq.ft.
Total Glazed Opening	30.00 sq.ft.(2.46%)	

- ELEVATION NOTES:
1. WINDOW AND DOOR SIZES SHOWN DO NOT INCLUDE ROUGH OPENING DIMENSIONS. WINDOW SUPPLIER TO PROVIDE EXACT ROUGH OPENINGS PRIOR TO FRAMING.
 2. WINDOWS AND DOORS TO ILLUSTRATE DIRECTION OF OPERATION, OBSCURE GLASS, ETC. SUPPLIER TO CONFIRM WINDOWS MEET EGRESS WHERE REQUIRED.
 3. TYPICAL MOUNTING HEIGHTS DIMENSIONED. ADJUST MOUNTING HEIGHT TO MATCH R.O. OF AN ADJACENT DOOR WHEN THEY ARE WITHIN THE SAME ROOM.
 4. SEE FRONT ELEVATIONS FOR EXTERIOR FINISHES & DETAILS. ONLY UNIQUE FINISHES & DETAILS WILL BE NOTED ON REMAINING ELEVATIONS.



1 RIGHT ELEVATION
Scale: 3/16"=1'-0"

KEY PLAN:
Application For DP/BP Drawings

GENERAL NOTES:
ANY CONTRACTOR OR PERSON USING THIS DRAWING SHOULD VERIFY ALL DIMENSIONS, QUOTATIONS AND SPECIFICATIONS AND INFORM THIS DESIGNER OF ANY ERRORS AND / OR OMISSIONS BEFORE IMPLEMENTATIONS.
INFORMATION CONTAINED SHALL BE TREATED AS CONFIDENTIAL. NO REPRODUCTION OF THIS DRAWINGS OR ANY PART OF THIS DRAWING SHALL BE MADE WITHOUT WRITTEN CONSENT.
CONTRACTORS ARE TO VISIT SITE VERIFY DETAILS INFORMATION PRIOR TO SUBMITTING TENDER. NO PRICE. IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES / COST ETC. SHALL BE AT CONTRACTORS COST.
ALL ROUGHING PIPE ETC. FOLLOW NATIONAL BUILDING CODE - 2024 ALBERTA EDITION, NBC-2024 STANDARD AND BASE BUILDING SPECS. & SCHEDULE.
CONTRACTOR MUST FOLLOW ALL DESIGN AND CONSTRUCTION STANDARDS & CODES.

REV.	DESCRIPTION	REV. DATE

MUNICIPAL ADDRESS:
125 Taralea Circle NE
Calgary AB
T3J 5G9

PROJECT:
Backyard Secondary Suite

CLINT:
Clint/Construction Contractor

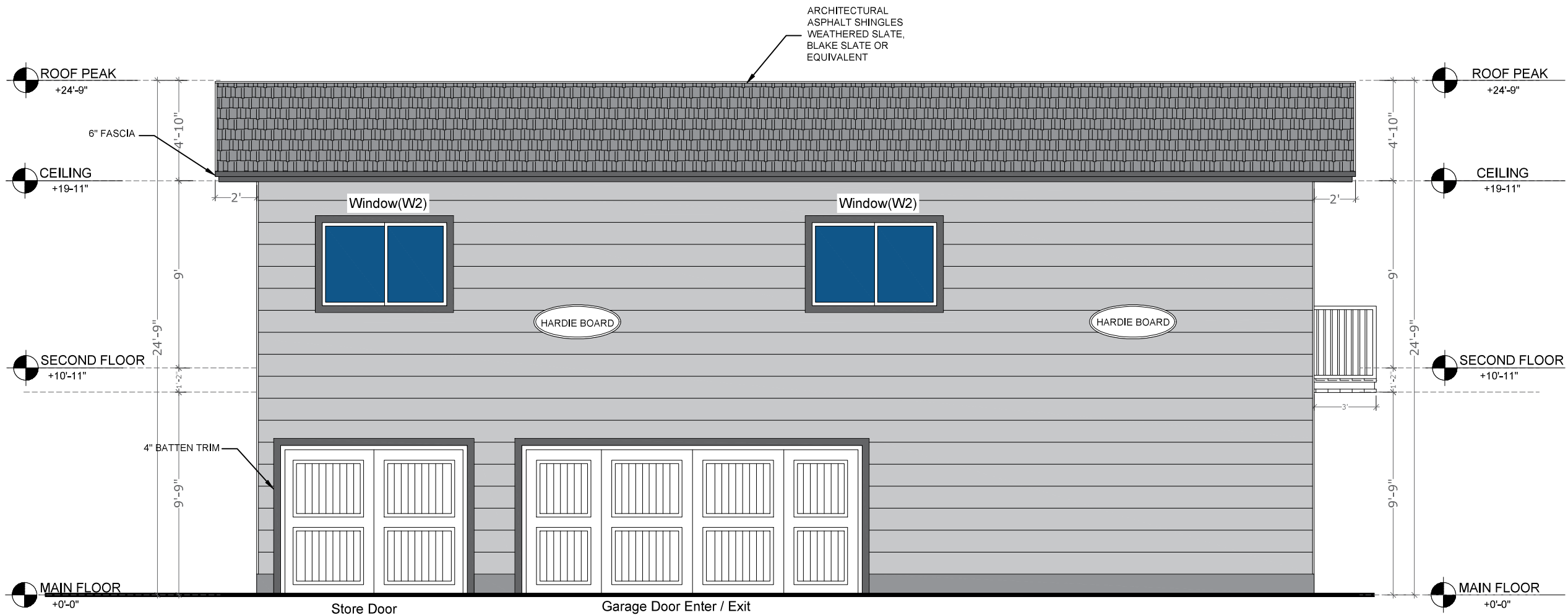
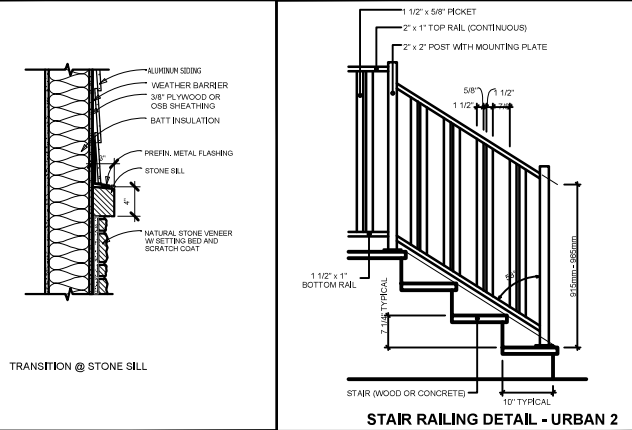
ORIGINAL DRAWING SHEET SIZE: A3		
DRAWN BY	YM	SCALE 3/16"=1'-0"
CHECKED BY	AK	DATE 07-05-2026
PROJ CODE	DRAWING NO.	DESIGN STAGE DP / BP / CONS
	A1.07	ISSUE DATE -
		REVISIONS 04

DRAWING TITLE:
RIGHT ELEVATION

Glazed Opening Schedule (Left/East Elevation)		
Exposing Building Face = 1015.92.00 Sq.Ft		
Limiting Distance (LD)	0.60M(2'-0")	
Window(W1)	2(6'0"x4'0")	48.00 sq.ft.
Total Glazed Opening	48.00 sq.ft.(4.72%)	

ELEVATION NOTES:

1. WINDOW AND DOOR SIZES SHOWN DO NOT INCLUDE ROUGH OPENING DIMENSIONS. WINDOW SUPPLIER TO PROVIDE EXACT ROUGH OPENINGS PRIOR TO FRAMING.
2. WINDOWS AND DOORS TO ILLUSTRATE DIRECTION OF OPERATION, OBSCURE GLASS, ETC. SUPPLIER TO CONFIRM WINDOWS MEET EGRESS WHERE REQUIRED.
3. TYPICAL MOUNTING HEIGHTS DIMENSIONED. ADJUST MOUNTING HEIGHT TO MATCH R.O. OF AN ADJACENT DOOR WHEN THEY ARE WITHIN THE SAME ROOM.
4. SEE FRONT ELEVATIONS FOR EXTERIOR FINISHES & DETAILS. ONLY UNIQUE FINISHES & DETAILS WILL BE NOTED ON REMAINING ELEVATIONS.



1 LEFT ELEVATION
Scale: 3/16"=1'-0"

KEY PLAN:
Application For DP/BP Drawings

GENERAL NOTES:
ANY CONTRACTOR OR PERSON USING THIS DRAWING SHOULD VERIFY ALL DIMENSIONS, QUOTATIONS AND SPECIFICATIONS AND INFORM THIS DESIGNER OF ANY ERRORS AND / OR OMISSIONS BEFORE IMPLEMENTATIONS.
INFORMATION CONTAINED SHALL BE TREATED AS CONFIDENTIAL. NO REPRODUCTION OF THIS DRAWING OR ANY PART OF THIS DRAWING SHALL BE MADE WITHOUT WRITTEN CONSENT.
CONTRACTORS ARE TO VISIT SITE VERIFY DETAILS INFORMATION PRIOR TO SUBMITTING TENDER/ BID. PRICE IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES / COST ETC. SHALL BE AT CONTRACTORS COST.
ALL ROUGHING PIPE ETC. FOLLOW NATIONAL BUILDING CODE - 2024 ALBERTA EDITION | NBC-2024 STANDARD AND BASE BUILDING SPECS. & SCHEDULE.
CONTRACTOR MUST FOLLOW ALL DESIGN AND CONSTRUCTION STANDARDS & CODES.

REV.	DESCRIPTION	REV. DATE

MUNICIPAL ADDRESS:
125 Taralea Circle NE
Calgary AB
T3J 5G9

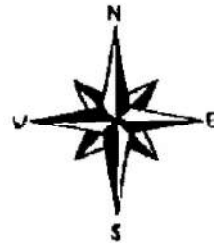
PROJECT:
Backyard Secondary Suite

CLINT:
Clint/Construction Contractor

ORIGINAL DRAWING SHEET SIZE: A3		
DRAWN BY	YM	SCALE 3/16"=1'-0"
		DATE 07-05-2026
CHECKED BY	AK	DESIGN STAGE DP / BP / CONS
		ISSUE DATE -
PROJ CODE	DRAWING NO. A1.08	
	REVISIONS 04	

DRAWING TITLE:
LEFT ELEVATION

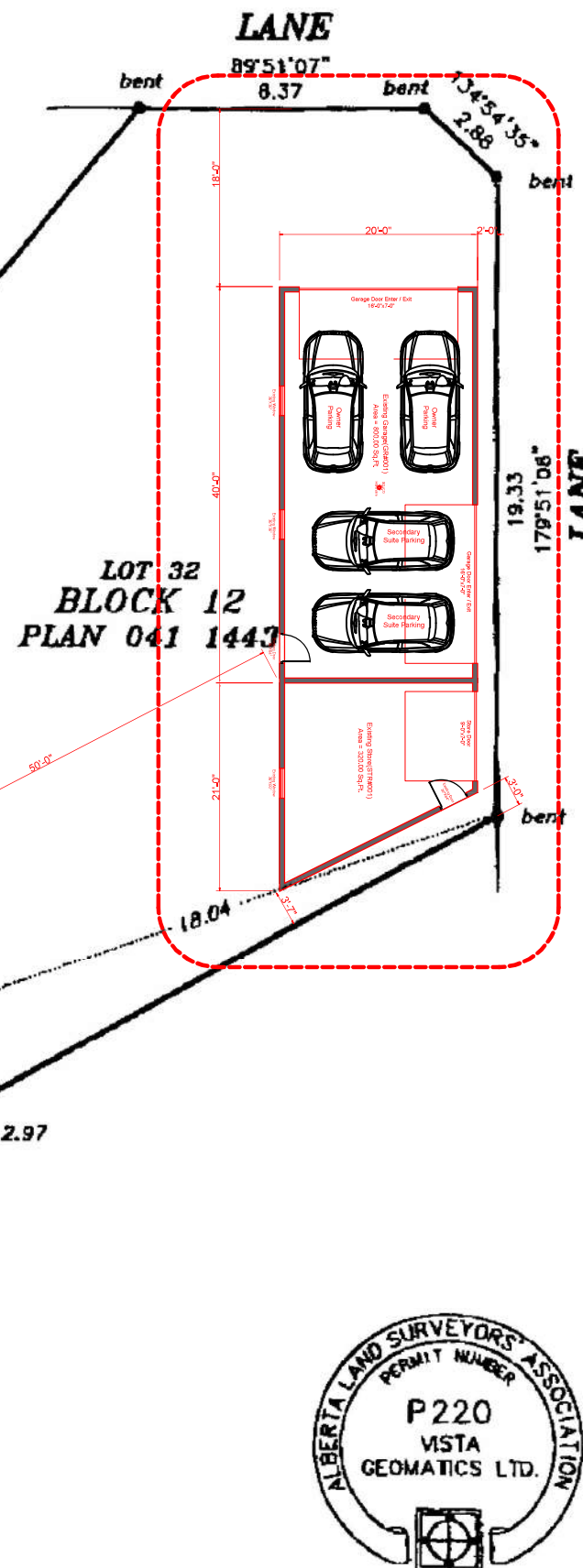
ALBERTA LAND SURVEYORS' REAL PROPERTY REPORT



05-04178.

LEGEND

ABBREVIATIONS AND SYMBOLS THAT MAY APPEAR ON THIS PLAN:
 Ditch (Central) angle of arc shown thus ...
 Eaves are shown thus ...
 Fences are shown thus ...
 Line not to scale shown thus ...
 Utility Rights-Of-Way are shown thus ...
 Building foundation shown thus ...
 Property line shown thus ...
 A denotes length of arc
 B.C. denotes block
 Cont. denotes contour
 Conc. denotes concrete
 C.C. denotes counter-sunk
 E. denotes east
 Fd. denotes found
 G.L. denotes ground level
 m denotes metres
 M.A. denotes mark
 M.A. denotes Maintenance Access
 M.R. denotes mark
 N. denotes north
 O.B. denotes Overland Drainage
 R denotes radius of arc
 Reg. No. denotes registration number
 R.M. denotes retaining wall
 R.O.W. denotes Right-Of-Way
 S. denotes south
 U. denotes utility
 W. denotes west



TARALEA
CIRCLE N.E.

R=18.00
A=6.81
D=21°39'57"



VISTA GEOMATICS LTD.
 414, 301-14th Street N.W.
 Calgary, Alberta T2N 2A1
 Phone (403) 270-4048
 E-mail: admin@vistageomatics.com

DESCRIPTION OF PROPERTY

Lot(s) 32
 Block 12
 Plan 041 1443

- Dennis G. Clayton, Alberta Land Surveyor do hereby certify that this Report was prepared and performed under my personal supervision and in accordance with the Manual Of Standard Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly, within those standards as of the date of this Report, I am of the opinion that:
- The Plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 7.8 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and right-of-way affecting the extent of the title to the property;
- The improvements are entirely within the boundaries of the property unless otherwise noted;
- No visible encroachments exist on the Property from any improvement situated on an adjacent property unless otherwise noted, and;
- No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property, unless otherwise noted.
- Title information is based on a title search dated August 26th A.D. 2005 C.of T. No. 051 277 319.
- Unless otherwise specified the dimensions shown relate to distances from Property boundaries to foundation walls at time of survey.
- Distances are in metres and decimals thereof.
- This document is not valid unless it bears an original signature (in blue ink) and a red Vista Geomatics Ltd. permit stamp.
- Purpose: This Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.
- Property is subject to Restrictive Covenant Reg. No. 041 155 547.

Dated this 29th day of August A.D. 2005.

MUNICIPAL ADDRESS:

125 Taralea Circle N.E.
 Calgary, Alberta

CLIENT NuVista Homes

FILE NO. 7975

SCALE 1:200

Dennis G. Clayton, A.L.S.

Drawn by: Fisher Graphics

V.G. FILE NO. 05104 7975