




Description of Property
 Civic Addresses: 1325 10 Avenue SE, Calgary, Alberta
 Legal Addresses: Lot 25, Block 5, Plan A3
 Property is in the Floor Fringe
 Flood Design Level as per Alberta Government = 1040.1M

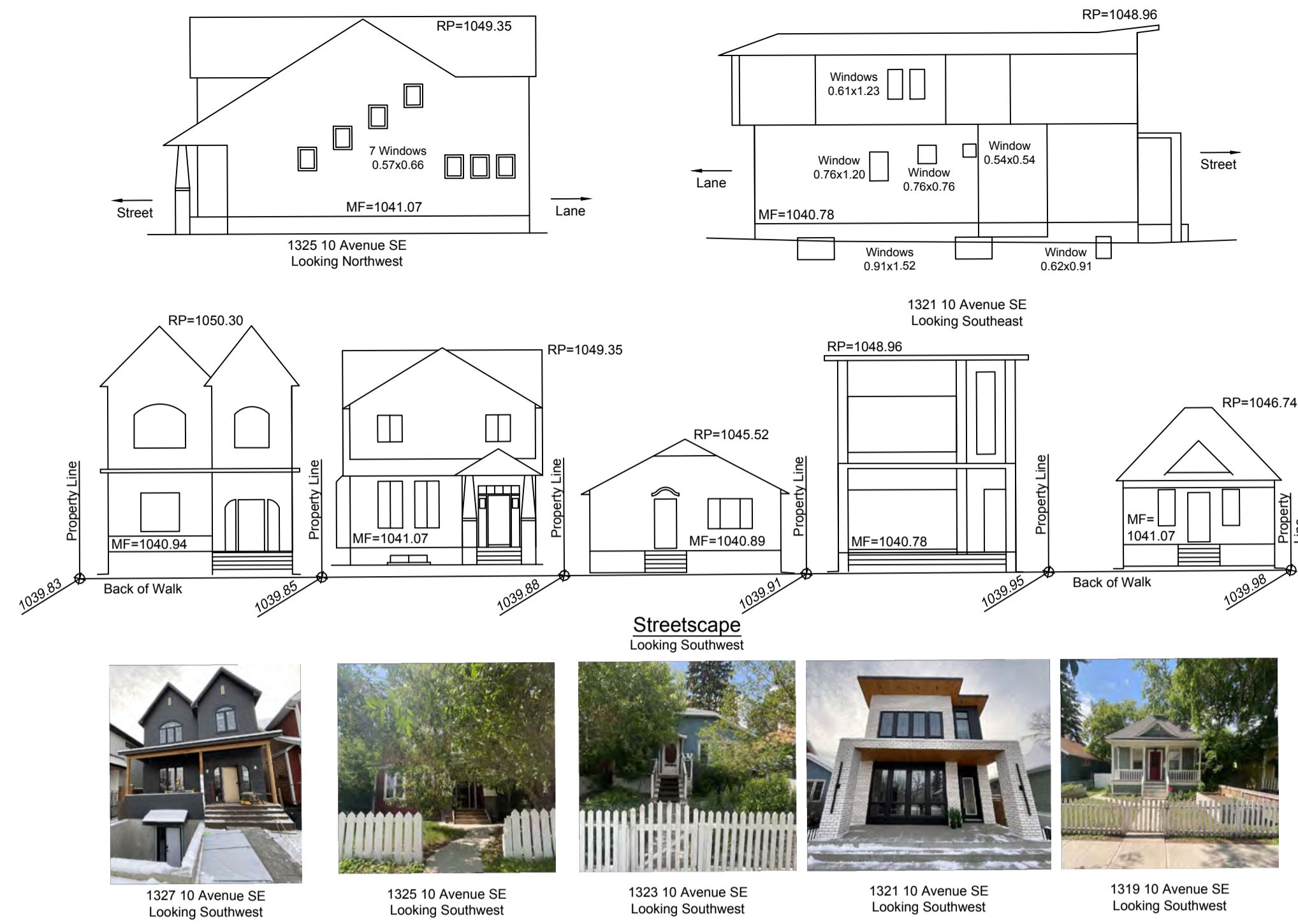
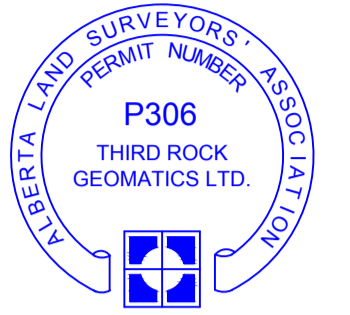
Date	Revision
Notes: - DO NOT SCALE DRAWINGS - DRAWINGS ARE THE COPYRIGHT OF PATRICK MOSKWA AND CAN NOT BE USED OR REPRODUCED WITH CONSENT - ALL PLANS ARE DRAWN TO IMPERIAL SCALE UNLESS OTHERWISE NOTED - ALL WORK TO CONFORM TO APPLICABLE BUILDING CODE AT TIME OF CONSTRUCTION - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS OR OMISSIONS TO THE GC AND DESIGNER PRIOR TO COMMENCING WORK.	
Project Municipal Address: 1323/1325 10 Avenue SE, Calgary AB	
Project Legal Address: Lot 24 and 25, Block 5, Plan A3	
SUNSET HOMES 202-2136 33 Ave SW Calgary AB 403-607-6166 	
NoFunDesign 403-397-7030	
A0	
Title Page	
Date: May 07, 2026	Note:
Scale: As Noted	DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE BEFORE ANY MANUFACTURE OR CONSTRUCTION.
Proposed Use: Residential Occupancy Class C	

SITE PLAN SHOWING EXISTING FEATURES

Description of Property
 Civic Address: 1323 10 Avenue SE, Calgary, Alberta
 Legal Address: Lot 24, Block 5, Plan A3

Date of Survey: Nov 27, 2018 to November 27, 2025

Mark A. Sutter
 Mark A. Sutter, A.L.S., P. Surv. (Copyright reserved)
 Dated at the City of Calgary, Alberta, November 28, 2025



Area Table (m²)

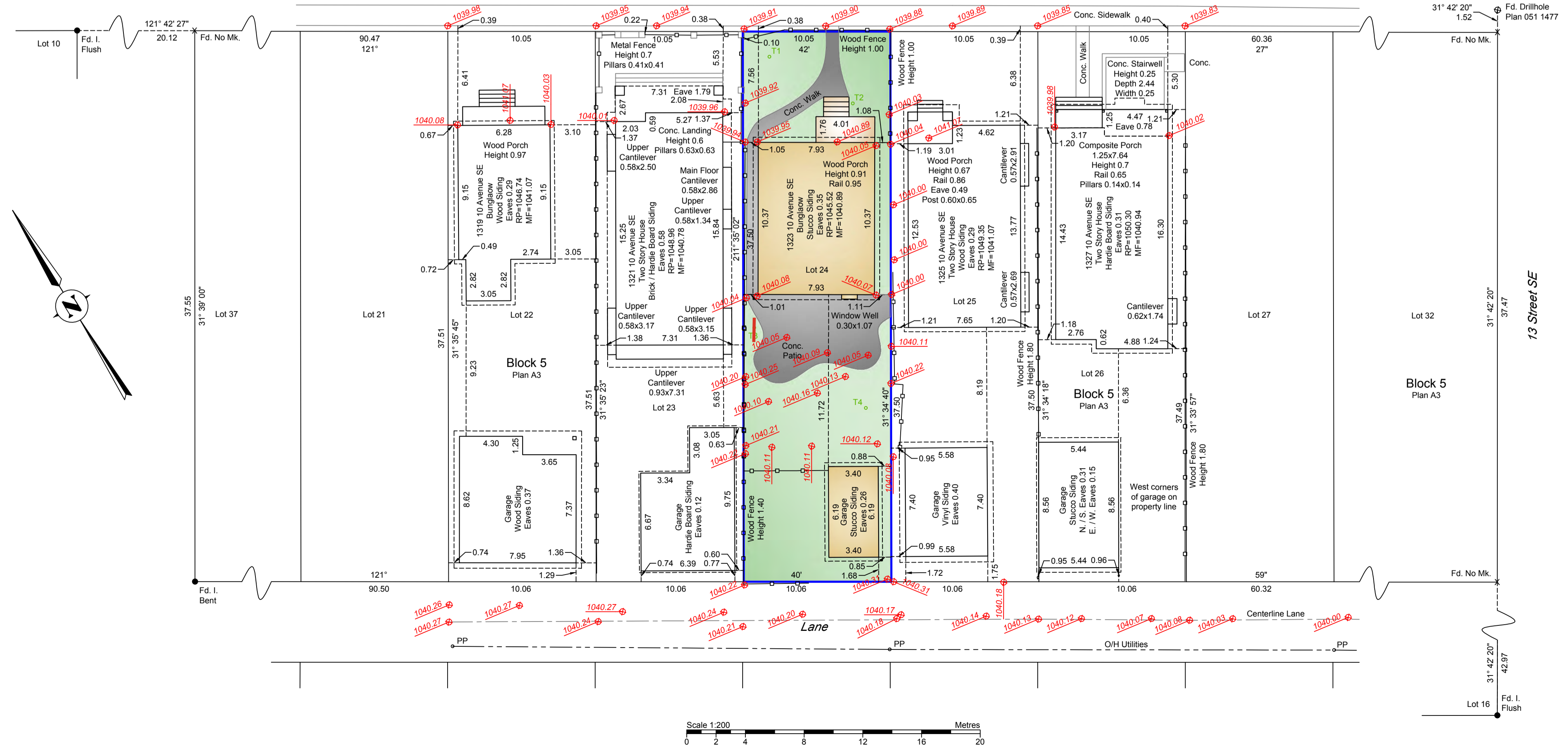
Parcel	House	Garage	Coverage
1319 10 Avenue SE	377.1	66.1	64.0 34.5%
1321 10 Avenue SE	377.1	129.0	52.0 48.0%
1323 10 Avenue SE	377.0	82.2	21.0 27.4%
1325 10 Avenue SE	377.0	105.4	41.3 38.9%
1327 10 Avenue SE	377.0	120.0	46.6 44.2%

Tree Table (m)

Trunk Ø	Drip Ø	Height	Species
T1	0.25	6.0	4.0 Deciduous
T2	0.10	2.0	2.0 Deciduous
T3	0.40	6.0	16.0 Deciduous
T4	2.50	6.0	15.0 Deciduous

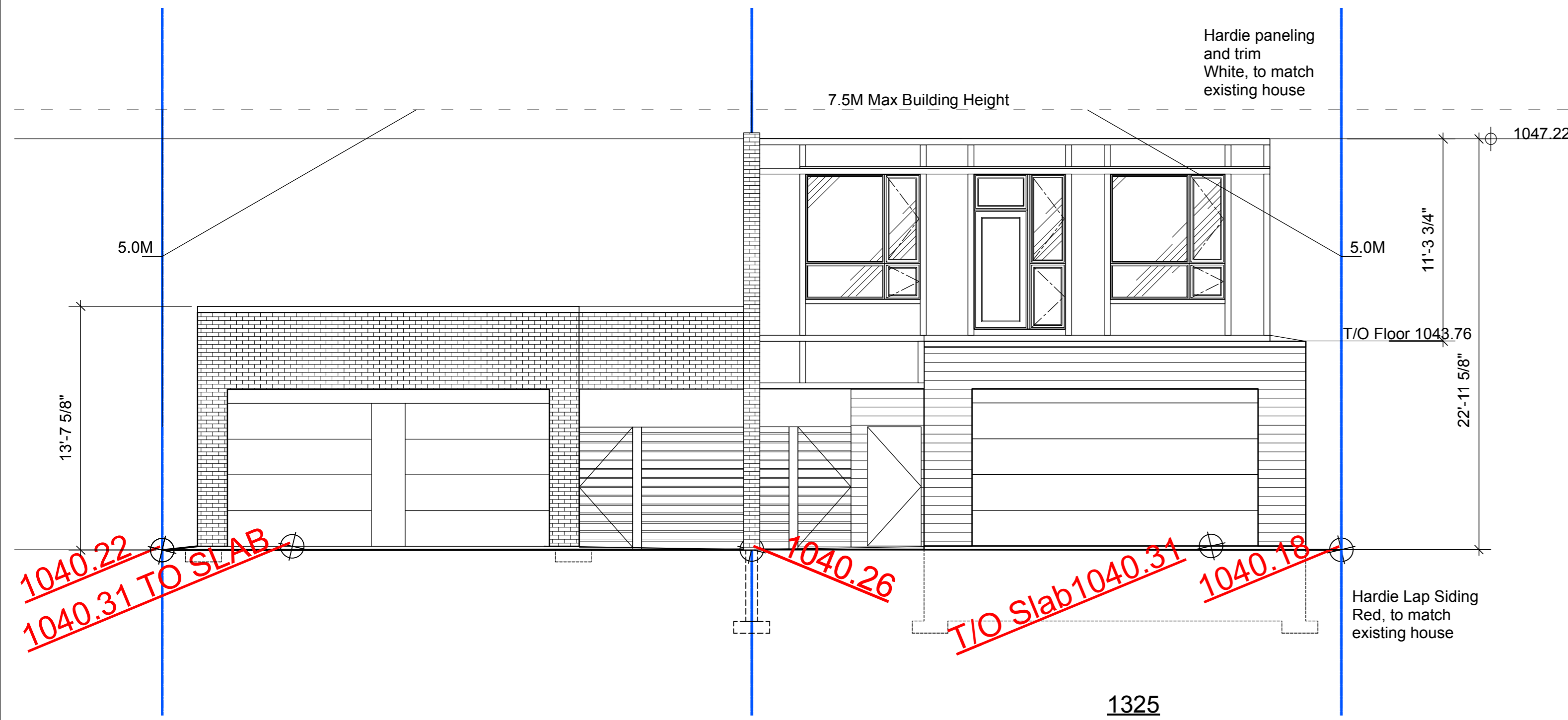
Notes
 Distances are in metres and decimals thereof.
 Bearings are 3TM, derived from GNSS observations, and confirmed with ASCM 250027 and ASCM 70789.
 Elevations are geodetic, derived from ASCM 250027 Elev. = 1039.21
 All ties are perpendicular to property line.
 Side yard and setback distances are measured to concrete walls.
 Title Boundary shown thus
 Wood Fence shown thus
 O/H Powerline & Telephone
 Sewer
 Fd. - Found, Mk. - Mark, C.S. - Countersunk
 AGL - Above ground level, Conc. - Concrete
 Δ - Central angle of curve, R - Radius, A - Arc Length
 Calculated Position shown thus X
 Statutory Iron Post found shown thus ● Fd. I.
 Drillhole found shown thus ⊗ Fd. Drillhole
 Roof Peak - RP
 Main Floor - MF
 Utility Pole - ○ PP
 Light Standard - ○ LS
 Elevation Point - ○ LS

All buried utility information shown or omitted is subject to verification.
 Buried utilities drawn from City of Calgary Block Profiles.

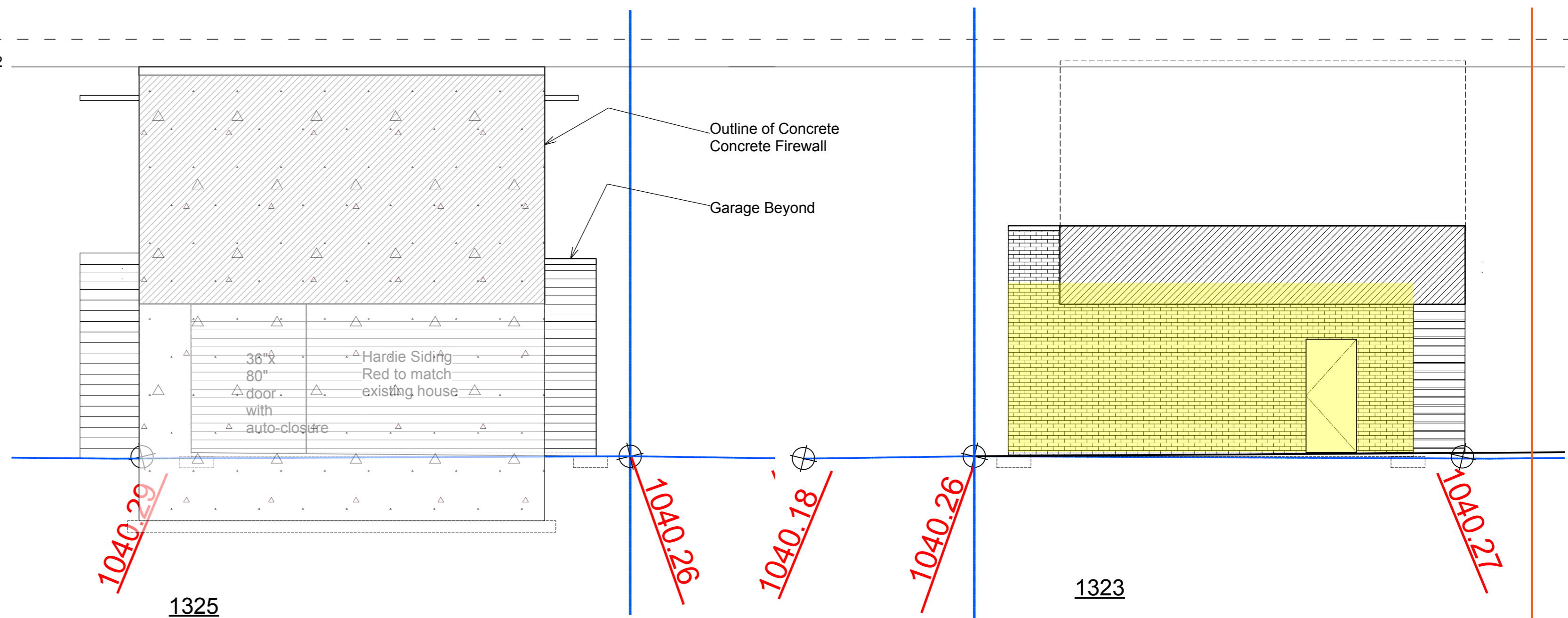


Disclaimer
 This Drawing, prepared by Third Rock Geomatics Ltd., and all information contained herein is provided for the purpose of a Development Permit Application for:
 1323 10 Avenue SE, Calgary, Alberta, Lot 24, Block 5, Plan A3
 The information contained in the drawing is the property of Third Rock Geomatics Ltd. and any reproduction is prohibited without written consent. Errors or omissions must be reported to Third Rock Geomatics Ltd. immediately upon identification. This survey is not authorized for use in establishing boundaries. Third Rock Geomatics Ltd. takes no responsibility for any unauthorized use of its products.

UTILITY SAFETY PARTNERS
 UtilitySafety.ca 1-800-242-3447
 This plan represents information as of the date of survey. Third Rock Geomatics Ltd. and their employees take no responsibility for the location of any underground facilities whether shown on or omitted from this plan. All underground facilities should be located by the respective authorities prior to construction.



1 South Elevation
Scale: 3/16" = 1'-0"



2 Carport West Elevation
Scale: 3/16" = 1'-0"

3 Carport East Elevation
Scale: 3/16" = 1'-0"

Spatial Separation Calculation
 22.18SQM total
 1.86SQM opening
 = 0.08%
 @2.8M setback from Property Line
 14% Allowable

Date	Revision
July 22	-Spatial Separation Calculations Construction and Cladding types.
Apr 25	Spatial Separation Calculations Notes on Sprinklering req.

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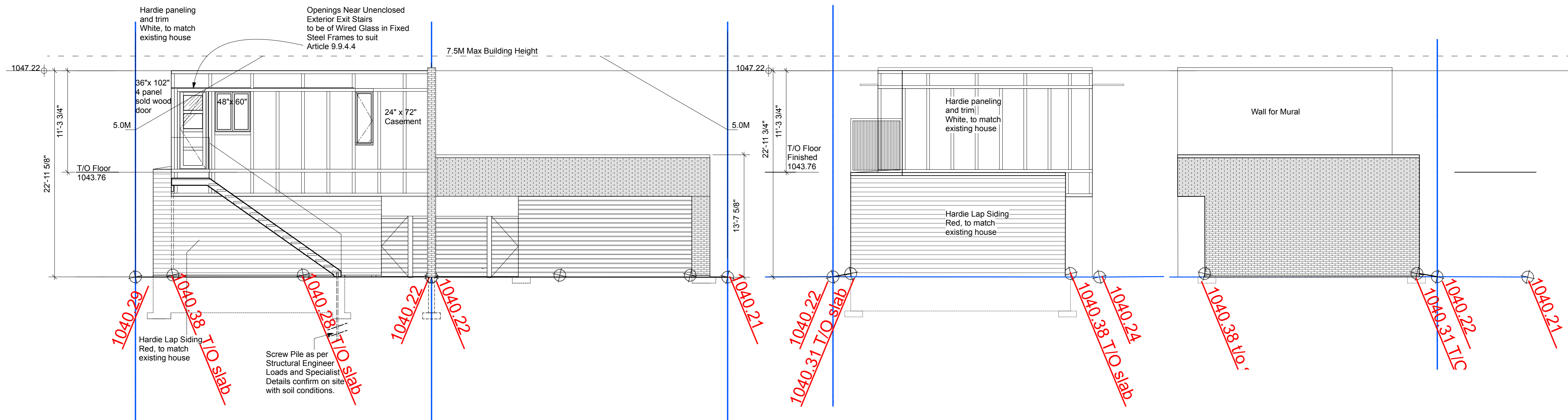
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 Lot 24 and 25, Block 5, Plan A3

SUNSET HOMES
 202-2136 33 Ave SW
 Calgary AB
 403-607-6166

HF NoFun Design
 403-397-7030

A6.1 Proposed Back Yard Suite Elevations

Date: May 07, 2026	Note: DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE BEFORE ANY MANUFACTURE OR CONSTRUCTION.
Scale: As Noted	
Proposed Use: Residential Occupancy Class C	



1325
 1 North Elevation
 Scale: 3/16" = 1'-0"

1323
 1325
 2 East Elevation
 Scale: 3/16" = 1'-0"

1323
 3 West Elevation
 Scale: 3/16" = 1'-0"

Date	Revision
July 22	-Spatial Separation Calculations Construction and Cladding types.
Apr 25	Spatial Separation Calculations Notes on Sprinklering req.

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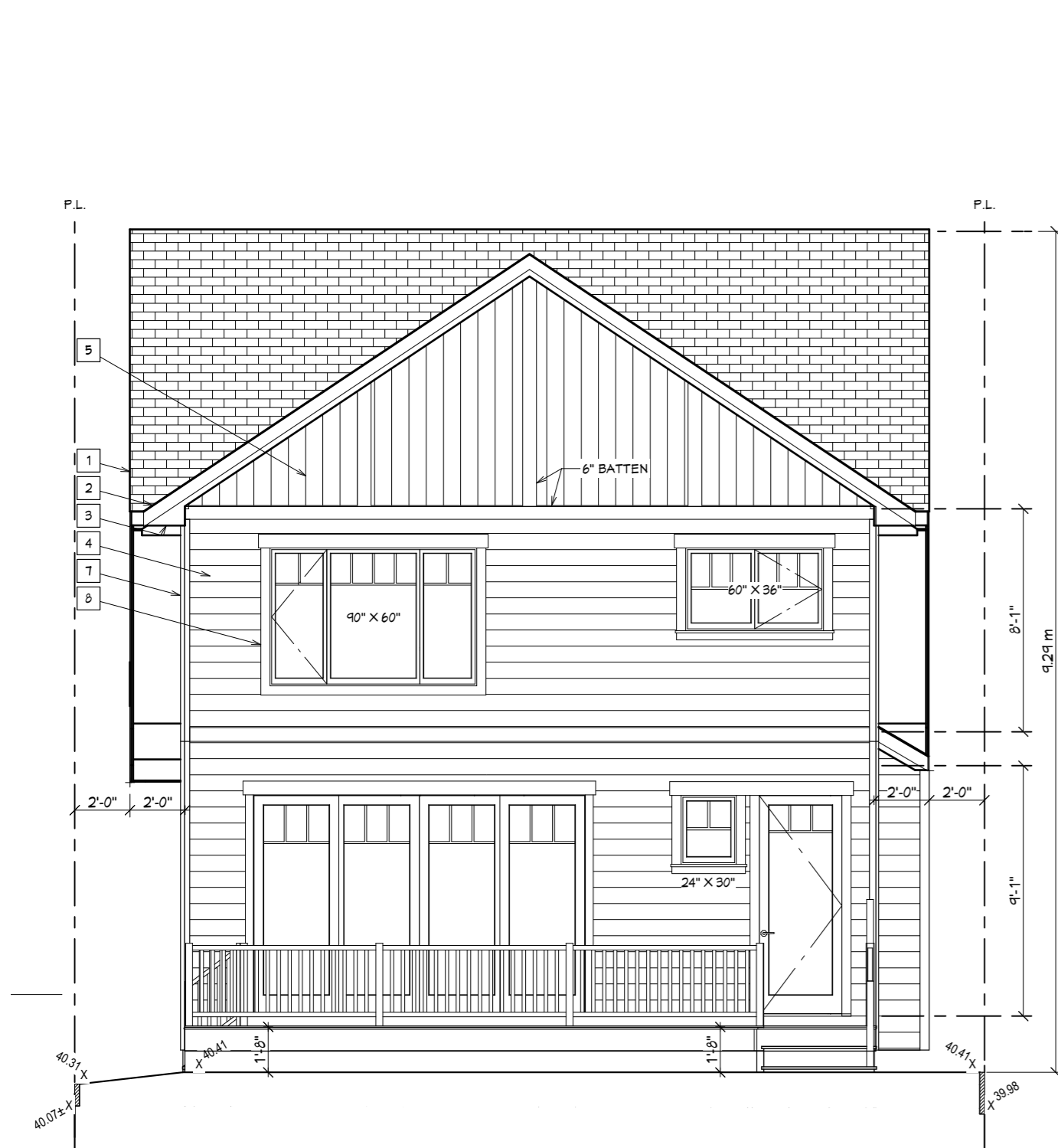
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A6.2 Proposed Back Yard Suite Elevations

Date: May 07, 2026	Note:
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Proposed Use: Residential Occupancy Class C	



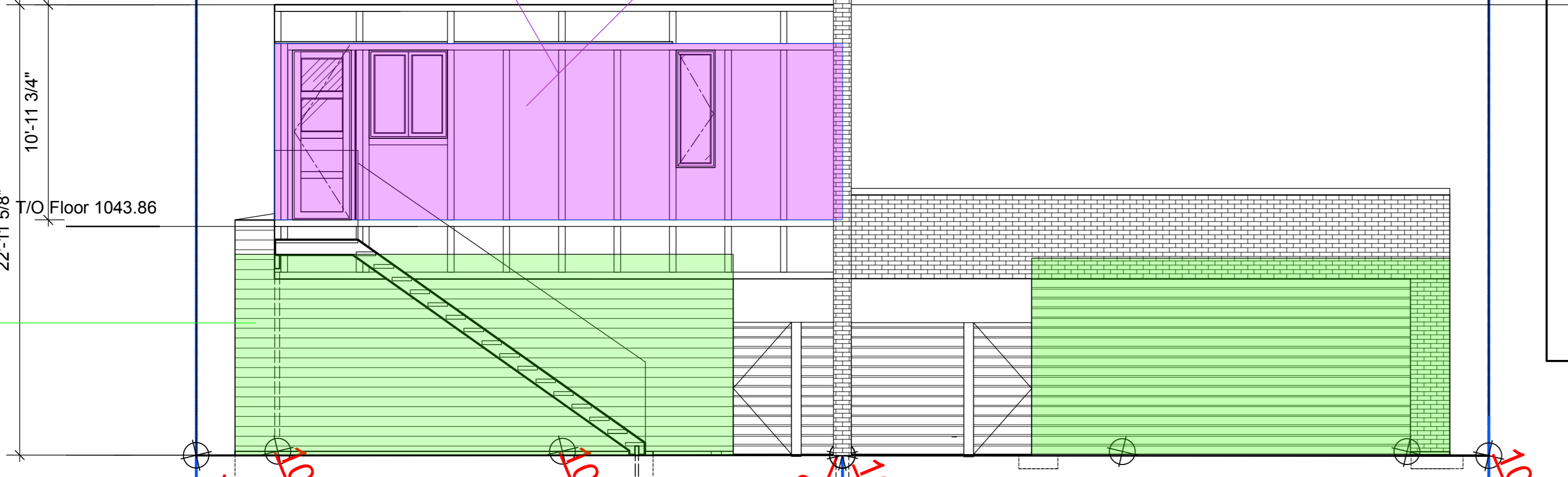
1 1325 South Elevation
Scale: 3/16" = 1'-0"

Spatial Separation note:
The Suite is required to be sprinklered to NFPA 13D as per the City of Calgary Fire Department. As such the spatial separation calculations have taken this into account.

Spatial Separation at 6M to imagined line
46.02M2 total surface to U/S of ceiling
16.38m2 unprotected openings
35.6%, 57% allowable @6M

exposing building face 24.23sqm
5.23 sqm unprotected opening @ 2M Limiting Distance 21.5%
12% allowable
24% allowable with sprinklering

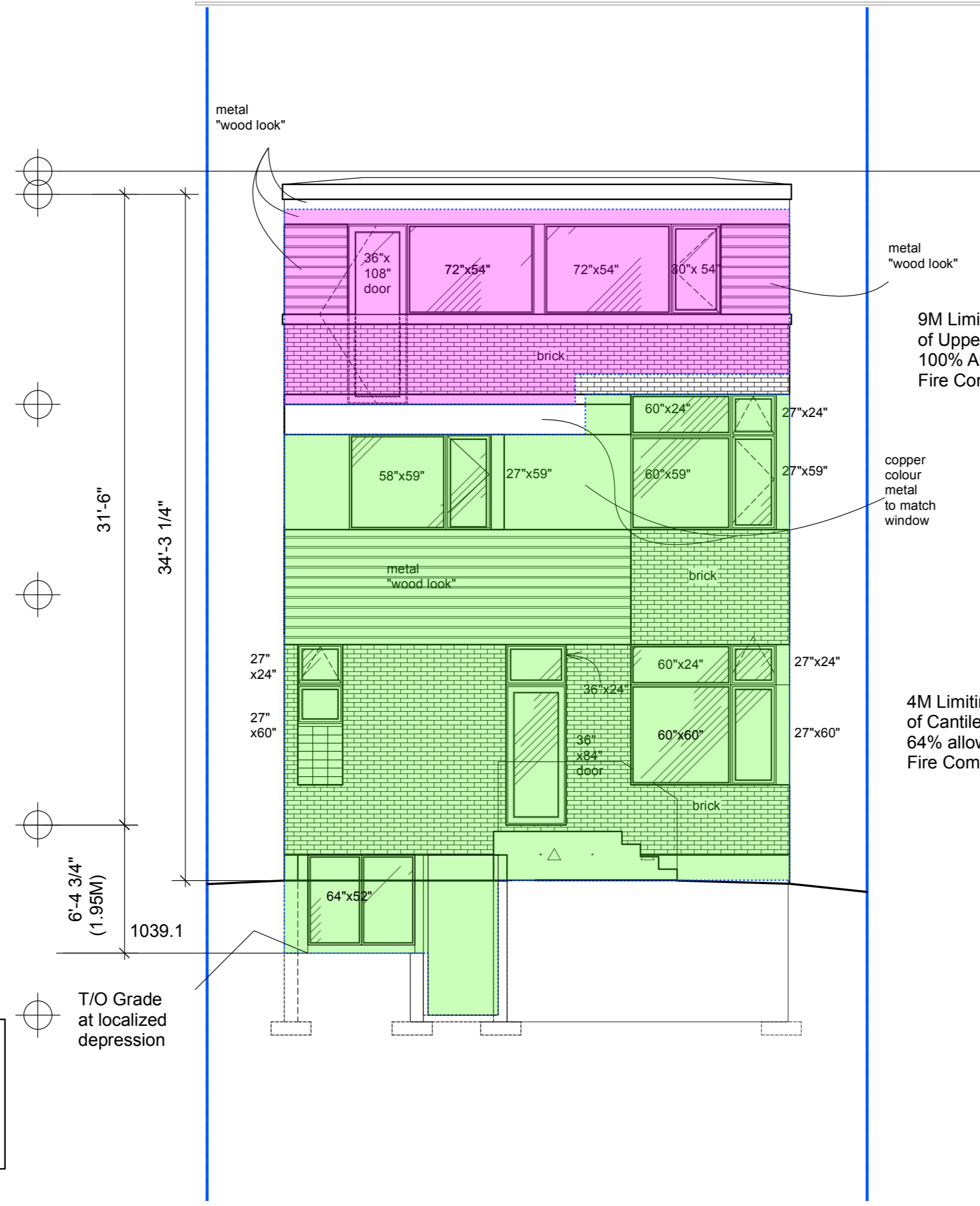
For all walls facing the primary building provide 1H FRR
Non-combustible Construction with Non-combustible cladding of Cement board



3 North Elevation
Scale: 3/16" = 1'-0"

exposing building face 24.16sqm
0 sqm unprotected opening

For all walls facing the primary building provide 1H FRR
Non-combustible Construction with Non-combustible cladding of Cement board



4 1323 South Elevation
Scale: 3/16" = 1'-0"

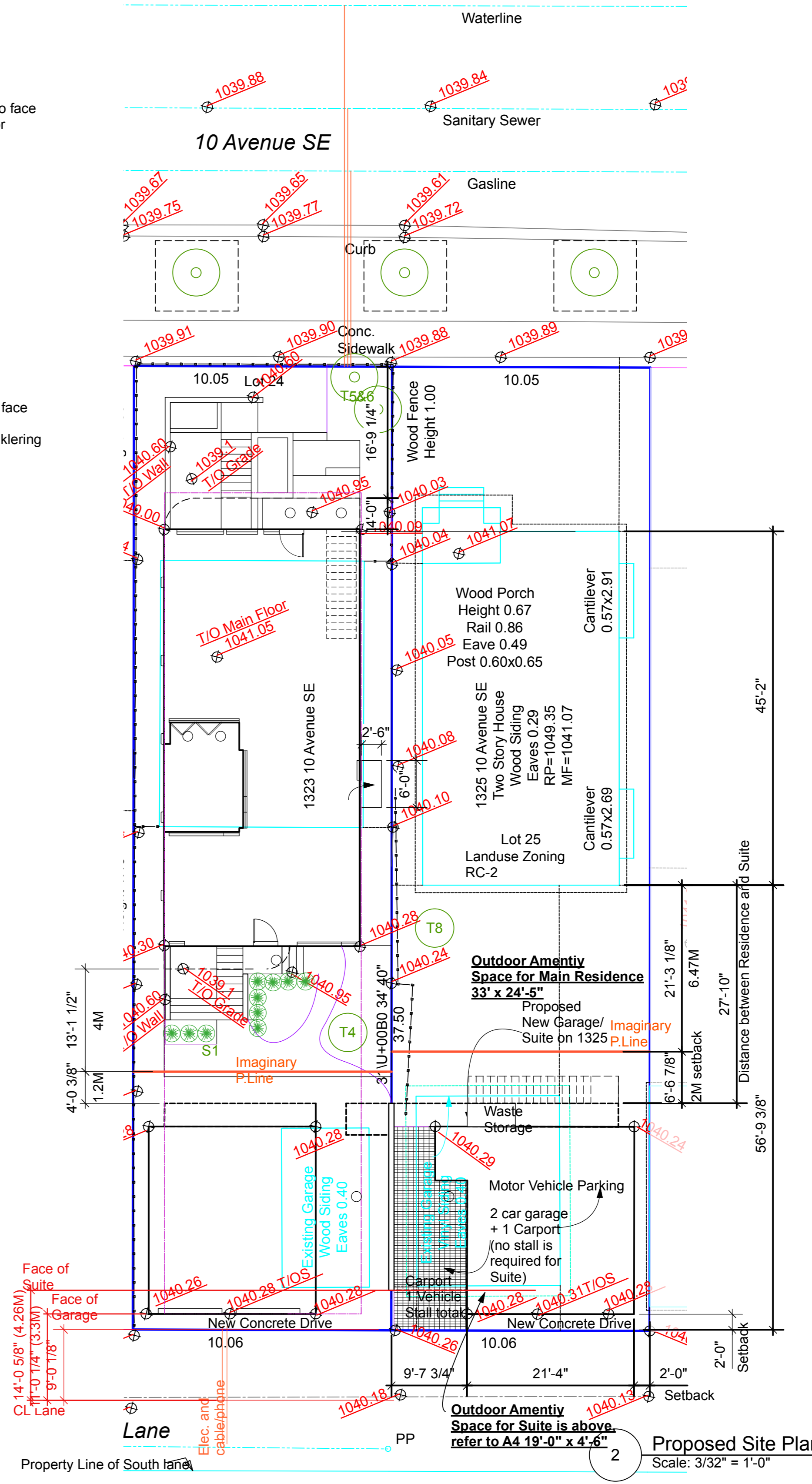
Spatial Separation:
4M at face of cantilever Unit 1
58.74M2 total
21.20M2 openings = 36.09M2 (up to 64% allowable Due to Sprinklering as per 9.10.14.4 (7))

5M at Face of Upper Floor Unit 2
50M2 total
12.24 openings = 24% (28% allowable)

4M at Garage
19.1M2 total
0 openings

9M Limiting Distance to face of Upper Unit third floor
100% Allowable
Fire Compartment 2

4M Limiting Distance to face of Cantilever
64% allowable with sprinklering
Fire Compartment 1



2 Proposed Site Plan
Scale: 3/32" = 1'-0"

NOTE:
Each exposing building face, South Elevation of Principle Building AND north Elevation of Suites, shall conform to table 9.10.14.5-A and must be constructed with a 1 hour fire rating, be of non-combustible construction with non-combustible cladding.

Date	Revision

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A9	Proposed Back Yard Suite Elevation Spatial separation to House.
	Date: Nov 17, 2025
	Scale: As Noted

Proposed Use: Residential-Multi Family Occupancy Class C

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