

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: \bullet = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- \bullet ----- denotes Calculation points
- \boxtimes ----- denotes Water Valve
- \blacklozenge ----- denotes Gas Valve
- \oplus ----- denotes Manhole
- \odot ----- denotes Tree
- \bullet ----- denotes Power Pole
- \triangle ----- denotes Sign
- \odot ----- denotes Light Standard
- X-X- denotes Fence
- S----- denotes Sanitary Line
- ST----- denotes Storm Line
- W----- denotes Water Line
- G----- denotes Gas Line
- denotes Electrical Line
- denotes A.C.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall
 'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

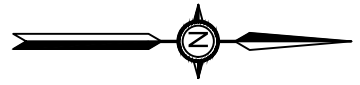
Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-C2 Residential
 Contextual One/Two

SCALE 1:200

LEGAL DESCRIPTION:

Lots 31
 Block 6F
 Plan 6000AG
 MUNICIPAL ADDRESS:
 2024 36 STREET SW (North)
 Calgary, Alberta



LOT COVERAGE DETAIL:

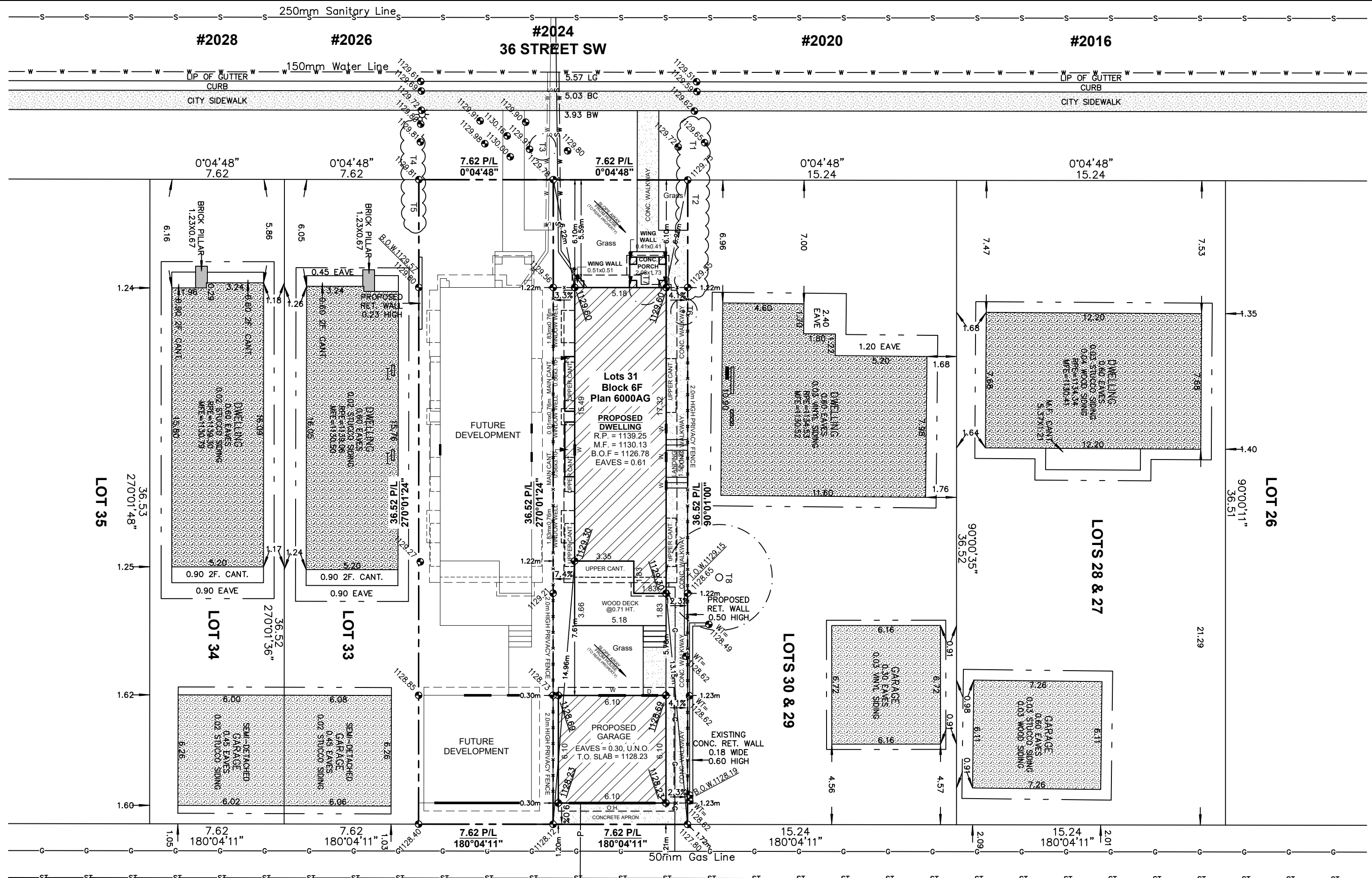
(SINGLE LOT AND HOUSE)

LOT SIZE: 278.159 SQ M
 HOUSE SIZE: 83.628 SQ M
 COVERED PORCH: 0.000 SQ M
 CANT.: 3.463 SQ M
 GARAGE: 37.161 SQ M
 WING WALL: 0.899 SQ M

TOTAL: 125.151/278.159
 = 44.99%

SITE/BLOCK PLAN
 SCALE: 1:200

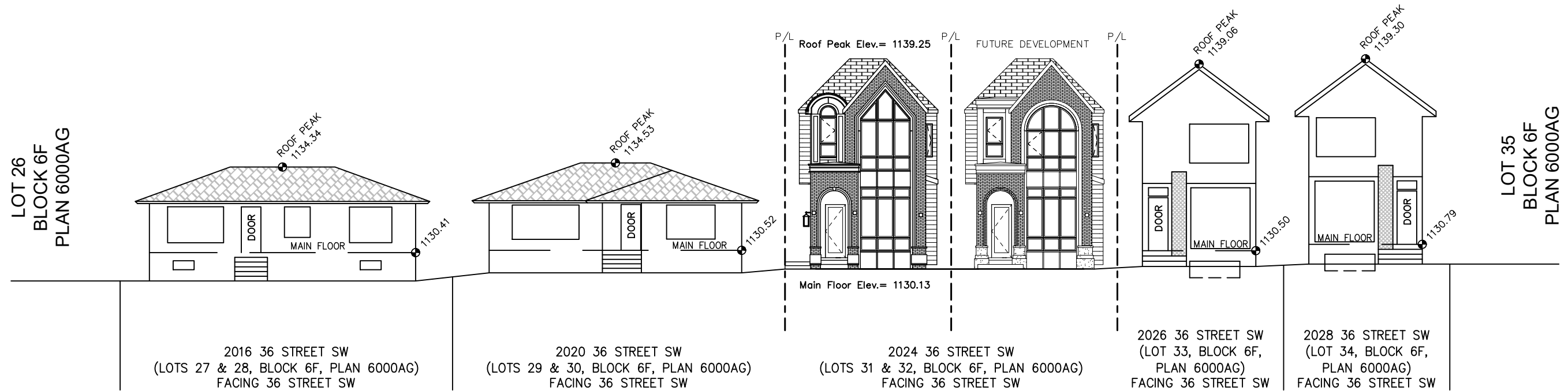
NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	04.05.26	DP SITEPLAN	S.W.	2024 36 ST SW - North Calgary, Alberta	SINGLE FAMILY	1: 200
02.				Lots 31 Block 6F Plan 6000AG	DATE:	DIVISION NUMBER
03.						S 01
04.						



SITE/BLOCK PLAN
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	04.05.26	DP SITEPLAN	S.W.	2024 36 ST SW - North Calgary, Alberta	SINGLE FAMILY	1: 200
02.				Lots 31 Block 6F Plan 6000AG		
03.						
04.						

DIVISION NUMBER
S 01



WEST STREETScape

SINGLE FAMILY SQFT.

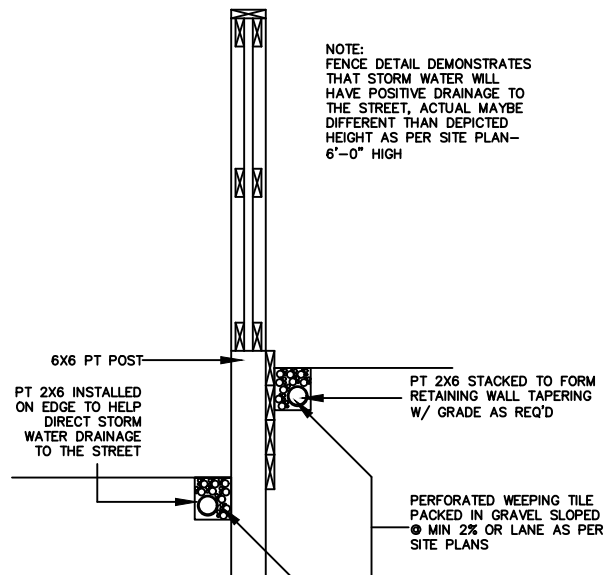
	NEW HOME
BASEMENT	900.17 SQ FT
MAIN FLOOR	937.44 SQ FT
UPPER FLOOR	989.42 SQ FT
TOTAL AREA	1926.86 SQ FT

NOTES:

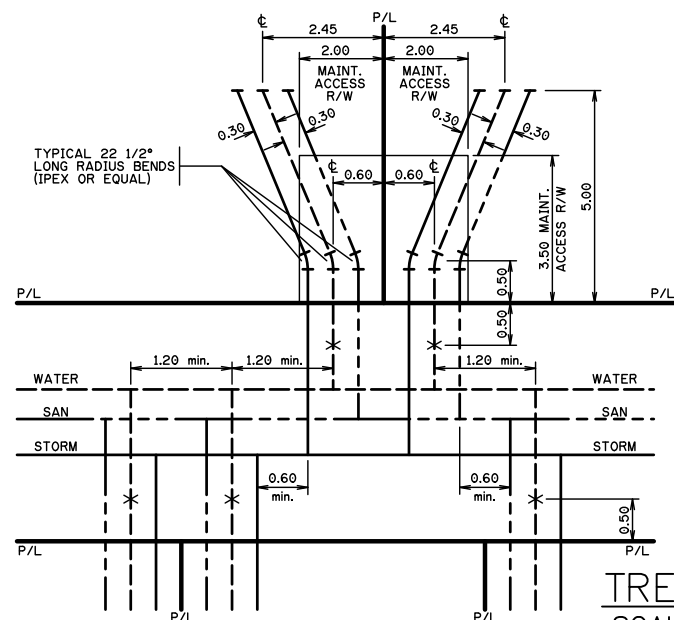
1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Hedge	---	1.50	2.00	In City Property	To Stay
T2	Hedge	---	1.50	2.00	On Property Line	To Stay
T3	Bush	---	1.50	1.80	In City Property	To be Removed
T4	Hedge	---	1.00	1.50	In City Property	To Stay
T5	Hedge	---	1.00	1.50	On Property Line	To Stay
T6	Deciduous	0.10	1.50	3.00	In Subject Property	To be Removed
T7	Bush	---	1.80	2.00	In Subject Property	To be Removed
T8	Coniferous	0.40	6.00	15.00	In Adjacent Property	To Stay



FENCE SECTION DETAIL
SCALE: NTS



TRENCH DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	04.05.26	DP SITEPLAN	S.W.	2024 36 ST SW - North Calgary, Alberta	SINGLE FAMILY	AS SHOWN
02.				Lots 31 Block 6F		
03.				Plan 6000AG		
04.						



LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front and Rear Elevations
A-2.1	Left Elevation
A-2.2	Right Elevation
A-4.0	Garage Plan
A-4.1	Garage Elevation 1
A-4.2	Garage Elevation 2
A-4.3	Garage Section

FLOOR AREA

BASEMENT	= 900.17 SQ. FT.
MAIN	= 937.44 SQ. FT.
UPPER	= 989.42 SQ. FT.
TOTAL	= 1926.86 SQ. FT.

PROJECT NOTES:

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ISSUES:

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03.	--	--	--
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PROJECT: NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-05-05 5:53:17 PM

PROJECT NAME:
2024 36 ST SW (North)
CALGARY, ALBERTA

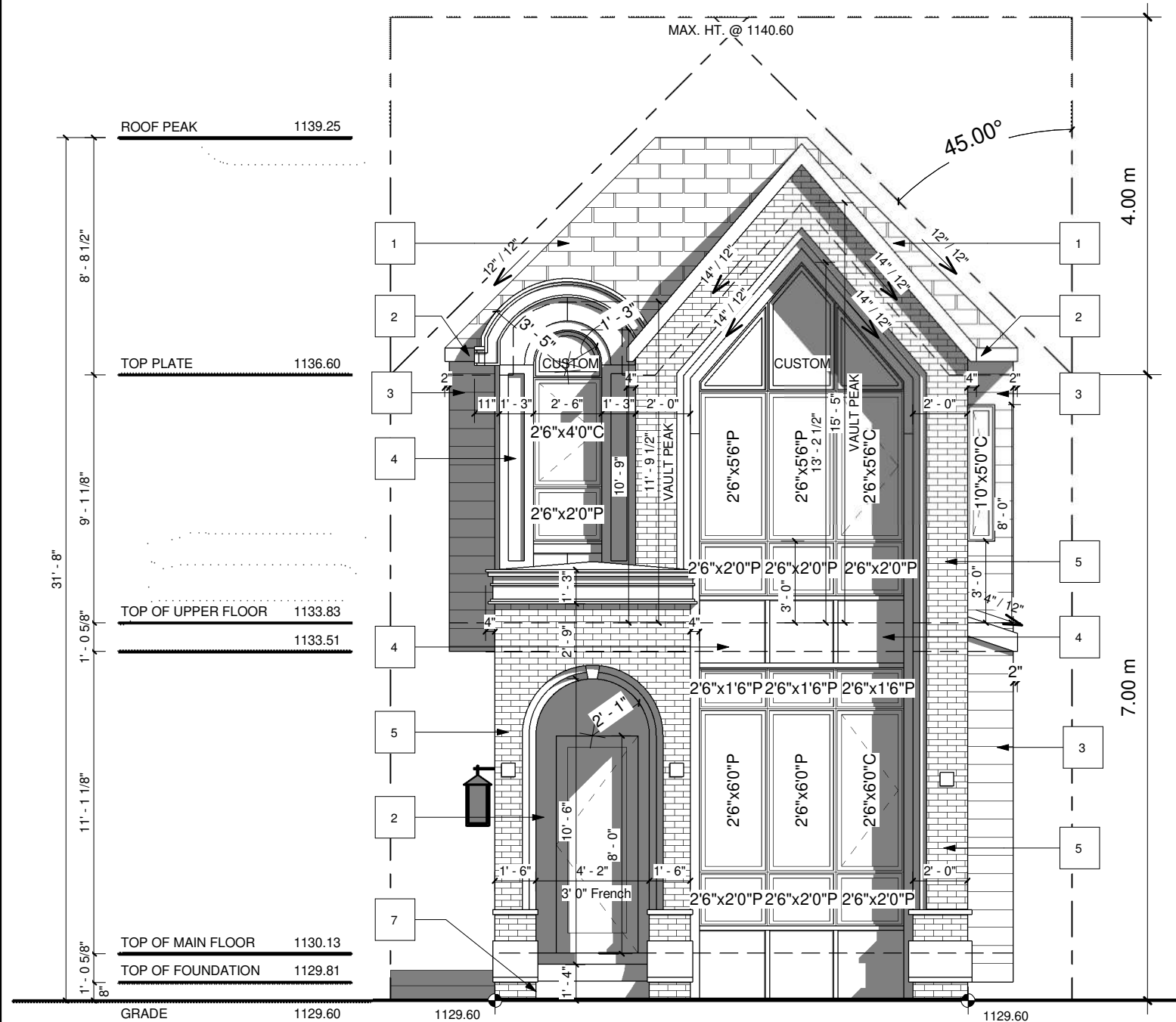
DESIGNER: JT	JOB #: 245-26
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SCALE: AS SHOWN	SHEET: A-0.0
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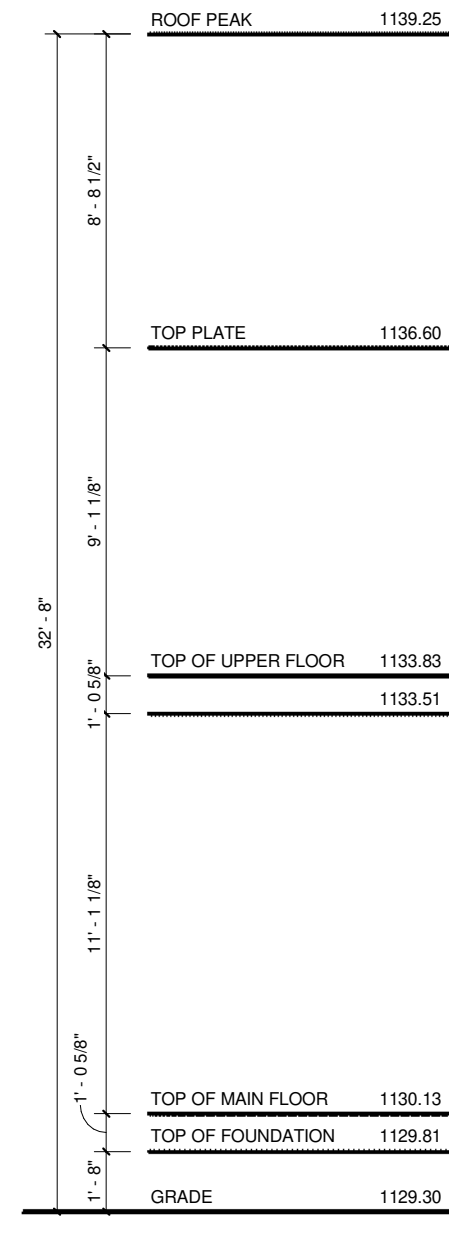
EXTERIOR FINISHES:

- 1 ASPHALT SHINGLE
- 2 8" ALUMINUM FASCIA
- 3 SIDING FINISH - BLACK
- 4 SMART BOARD & BATTEN - BLACK
- 5 BRICK FINISH - WHITE
- 6 CONCRETE PAVING
- 7 CAST-IN-PLACE CONCRETE

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION
 SCALE: 3/16" = 1'-0"



REAR ELEVATION
 SCALE: 3/16" = 1'-0"

PROJECT NOTES:
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PROJECT: NEW HOME
STATUS: -
SIGNATURES: X
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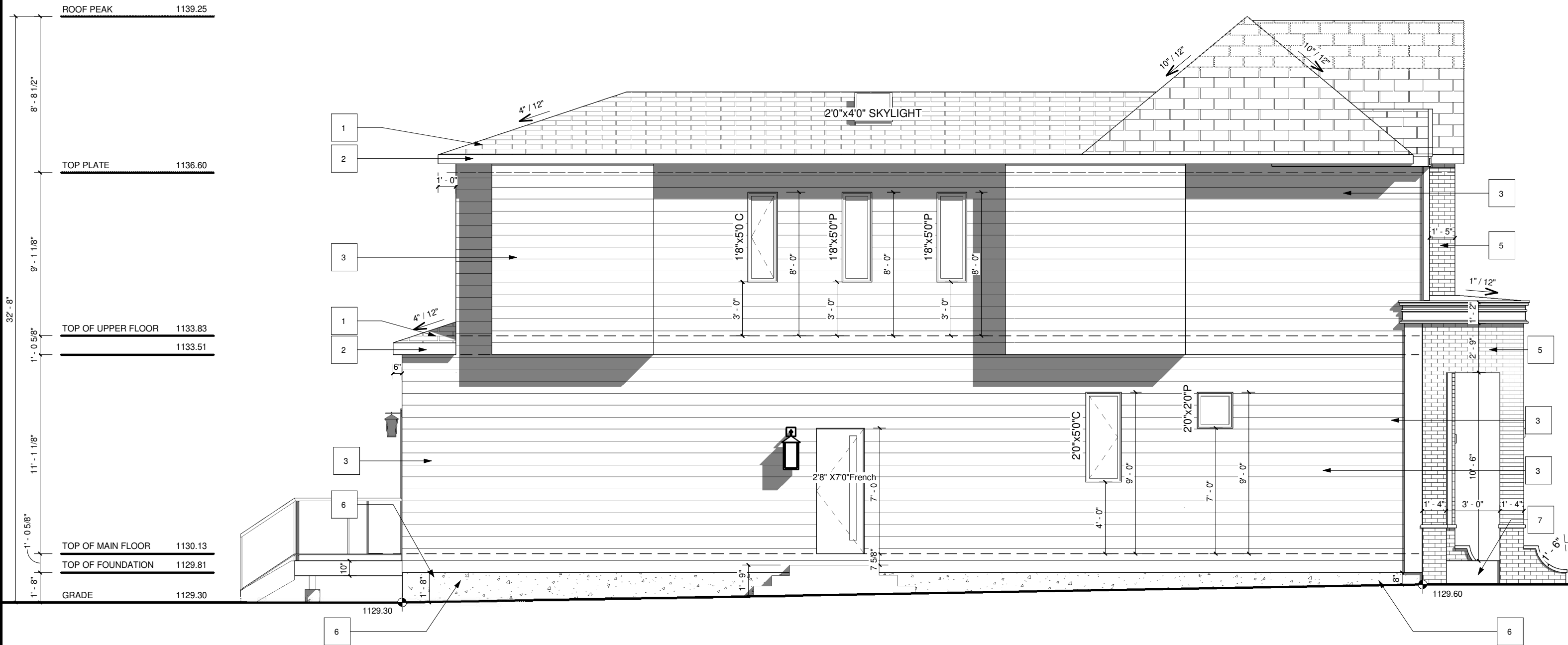
PROJECT NAME: 2024 36 ST SW (North) CALGARY, ALBERTA
DESIGNER: JT **JOB #:** 245-26
SCALE: AS SHOWN **SHEET:** A-2.0

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLE
- 2 8" ALUMNIMUM FASCIA
- 3 SIDING FINISH - BLACK
- 4 SMART BOARD & BATTEN - BLACK
- 5 BRICK FINISH - WHITE
- 6 CONCRETE PARGING
- 7 CAST-IN-PLACE CONCRETE

WINDOW CALCULATION
 WALL AREA = 1229.72 SQ. FT.
 WINDOW AREA = 57.04 SQ. FT.
 TOTAL: 57.04/1229.72 = 4.64%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
 SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT: NEW HOME
 STATUS: -
 SIGNATURES: X
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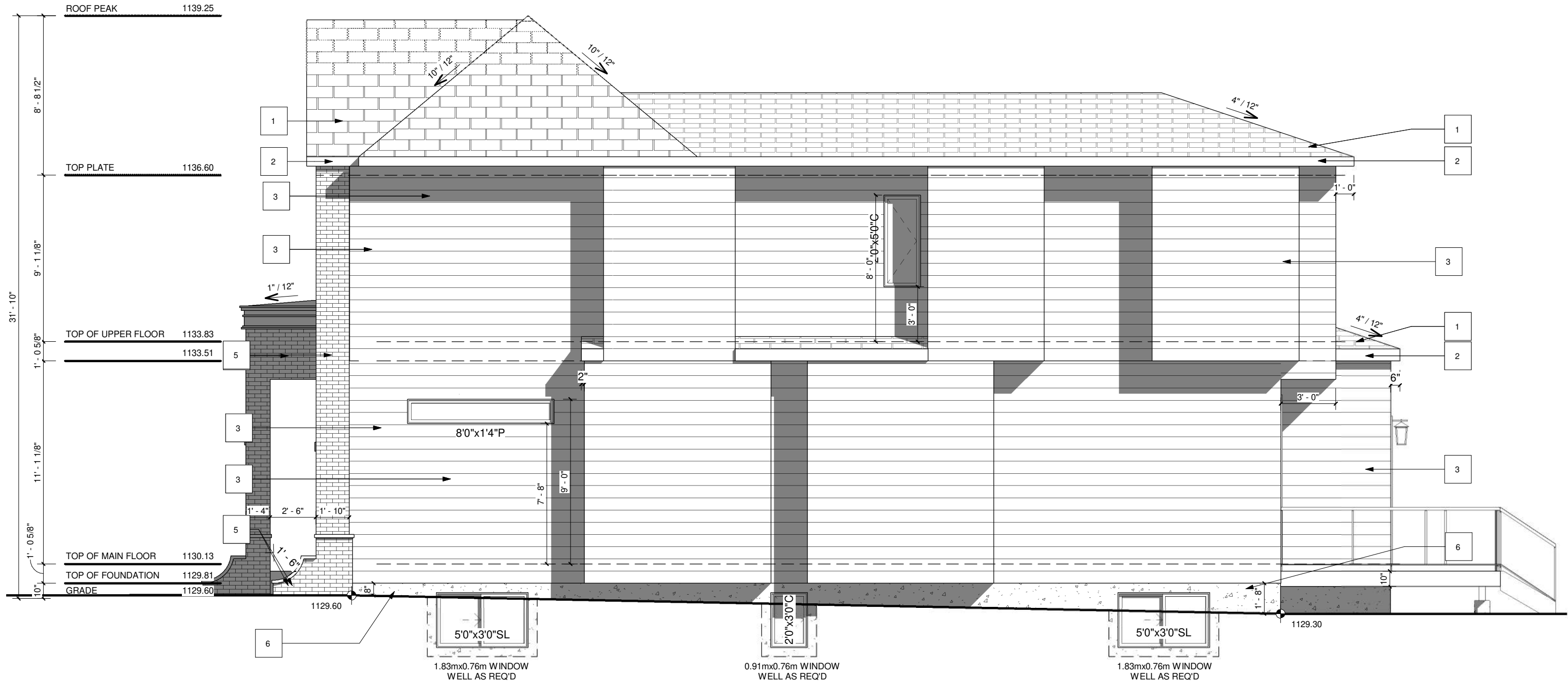
PROJECT NAME: 2024 36 ST SW (North) CALGARY, ALBERTA
 DESIGNER: JT
 JOB #: 245-26
 SCALE: AS SHOWN
 SHEET: A-2.1

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLE
- 2 8" ALUMNIMUM FASCIA
- 3 SIDING FINISH - BLACK
- 4 SMART BOARD & BATTEN - BLACK
- 5 BRICK FINISH - WHITE
- 6 CONCRETE PARGING
- 7 CAST-IN-PLACE CONCRETE

WINDOW CALCULATION
 WALL AREA = 1229.72 SQ. FT.
 WINDOW AREA = 30.52 SQ. FT.
 TOTAL: 30.52/1229.72 = 2.48%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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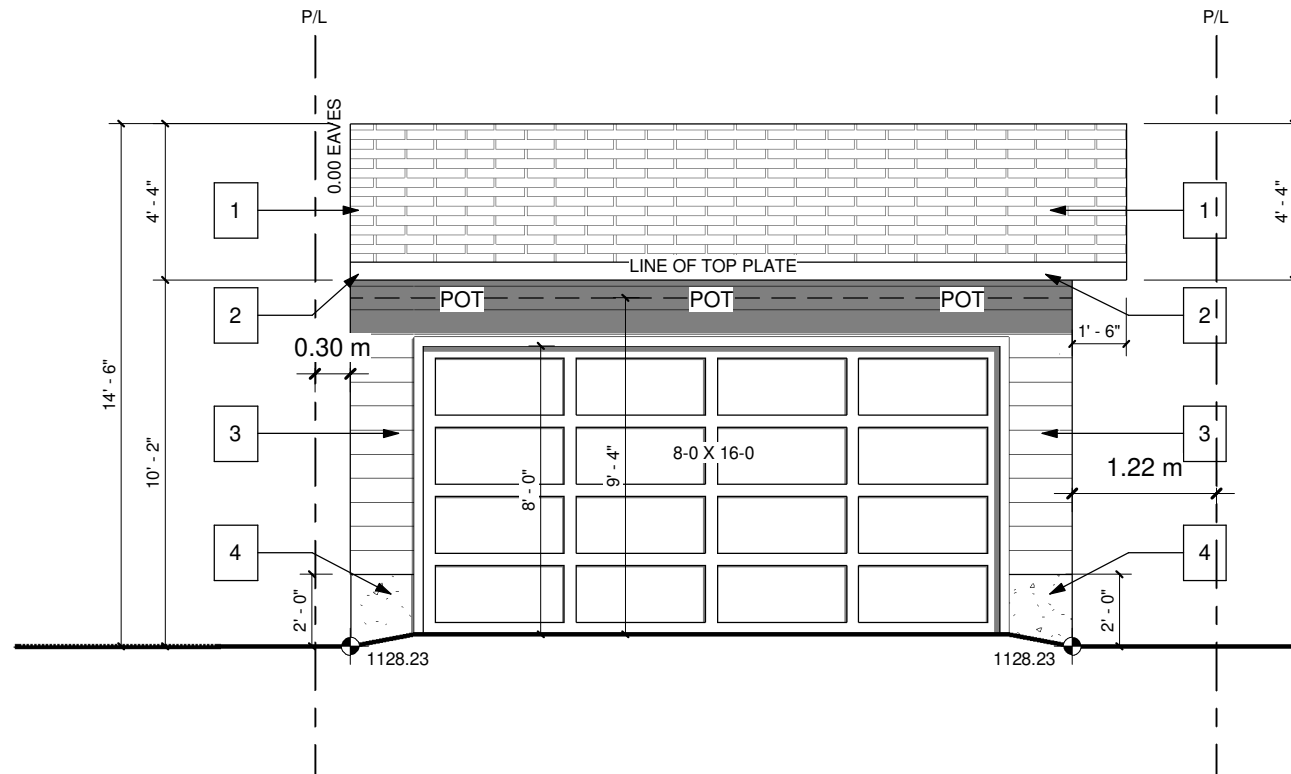
PROJECT: **NEW HOME**
 STATUS: -
 SIGNATURES: X
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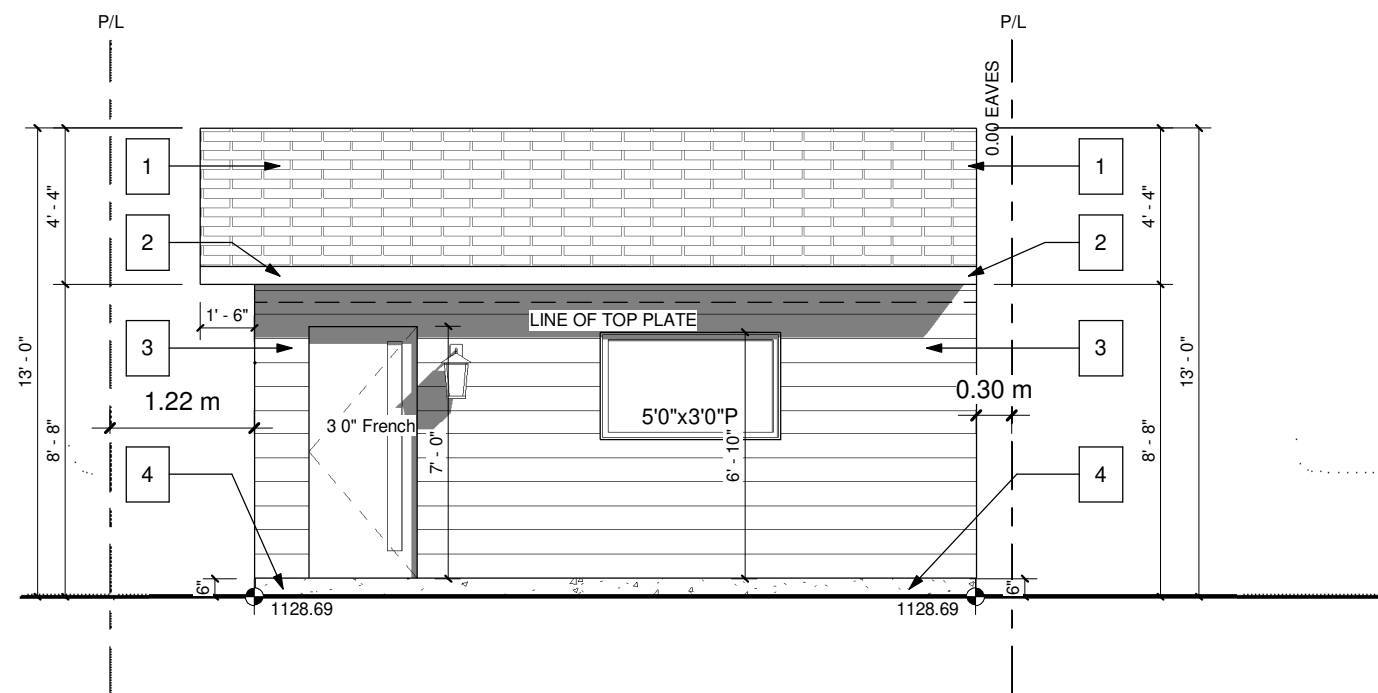
PROJECT NAME: 2024 36 ST SW (North) CALGARY, ALBERTA
 DESIGNER: JT
 JOB #: 245-26
 SCALE: AS SHOWN
 SHEET: A-2.2

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6 3/8" ALUMINUM FASCIA
- 3 SIDING FINISH
- 4 CONC. PARGING



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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STATUS: -

SIGNATURES:
X _____

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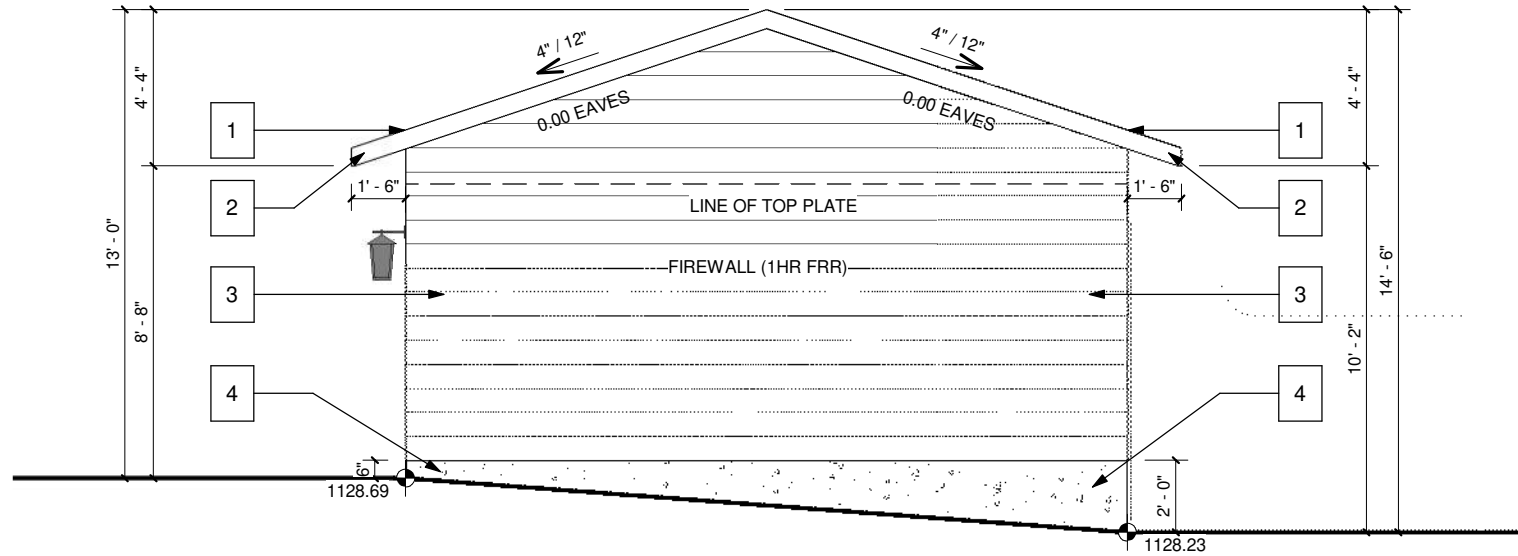
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2024 36 ST SW (North)
CALGARY, ALBERTA

DESIGNER: JT JOB #: 245-26

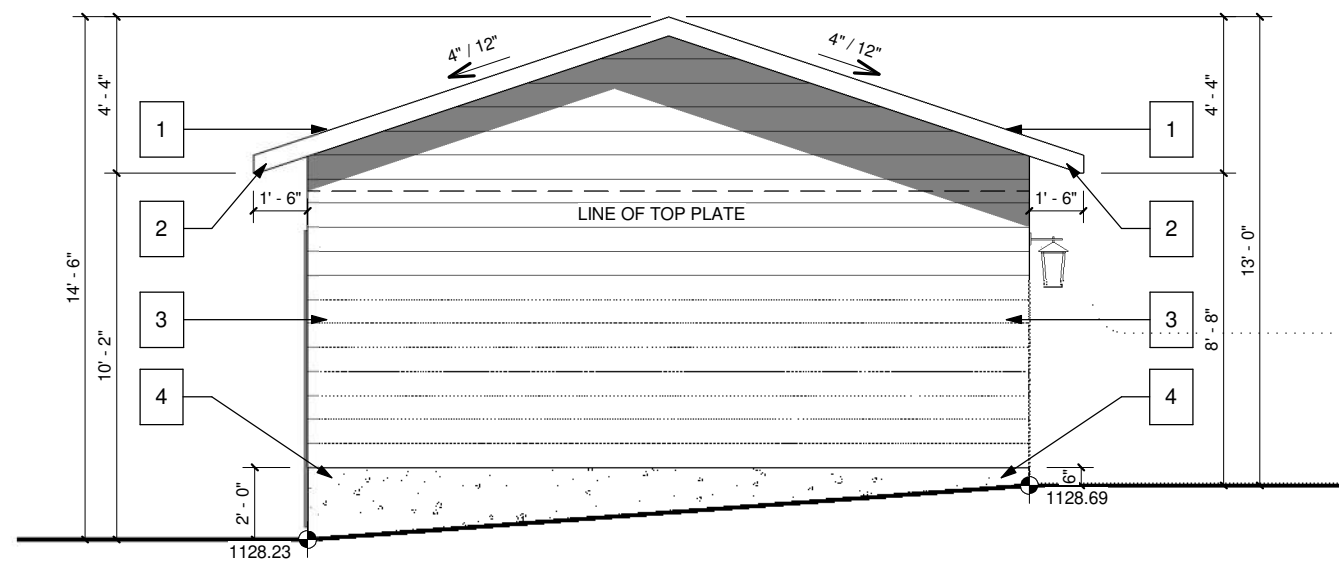
SCALE: AS SHOWN SHEET: A-4.1

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6 3/8" ALUMINUM FASCIA
- 3 SIDING FINISH
- 4 CONC. PAVING



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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PROJECT: **NEW HOME**

STATUS: -

SIGNATURES:
X _____

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PROJECT NAME:
2024 36 ST SW (North)
CALGARY, ALBERTA

DESIGNER: JT JOB #: 245-26

SCALE: AS SHOWN SHEET: A-4.2