

**PROJECT TEAM :**

**ARCHITECT**  
**DAAS ARCHITECTURE INC.**  
 #310, 1032 17 Avenue S.W.  
 Calgary, Alberta T2T 0A5  
 E: info@daasarchitecture.com

**ELECTRICAL ENGINEER**  
**DESIGNCORE ELECTRICAL**  
 4723 1 St SW #100  
 Calgary, AB T2G 4Y8  
 E: echomistek@designcore.ca

**MECHANICAL ENGINEER**  
**REINBOLD ENGINEERING GROUP**  
 5970 Centre Street S #110  
 Calgary, AB T2H 0C1  
 E: BWhitford@reg-eng.com

**NOT FOR CONSTRUCTION**

5/4/2026 4:05:11 PM

THIS DRAWING IS A COPYRIGHT INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE CONSULTANT. INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN NOTICE.

THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND ELEVATIONS PERTINENT TO DOING THE WORK. THE CONTRACTOR SHALL REPORT DISCREPANCIES AND VARIATIONS TO THE CONSULTANT PRIOR TO COMMENCING THE WORK. THE LATEST ISSUE OF THE DRAWING SHALL BE USED IN THE EXECUTION OF THE WORK.

No.	Description	Date
1	Submitted for DP	2026-05-05

**Project Information :**

**VIVO DAYCARE**

11950 COUNTRY VILLAGE LINK NE, CALGARY, AB T3K 6E3

Drawing title :

**SITE PLAN**

Project number : 26-009

Issued :

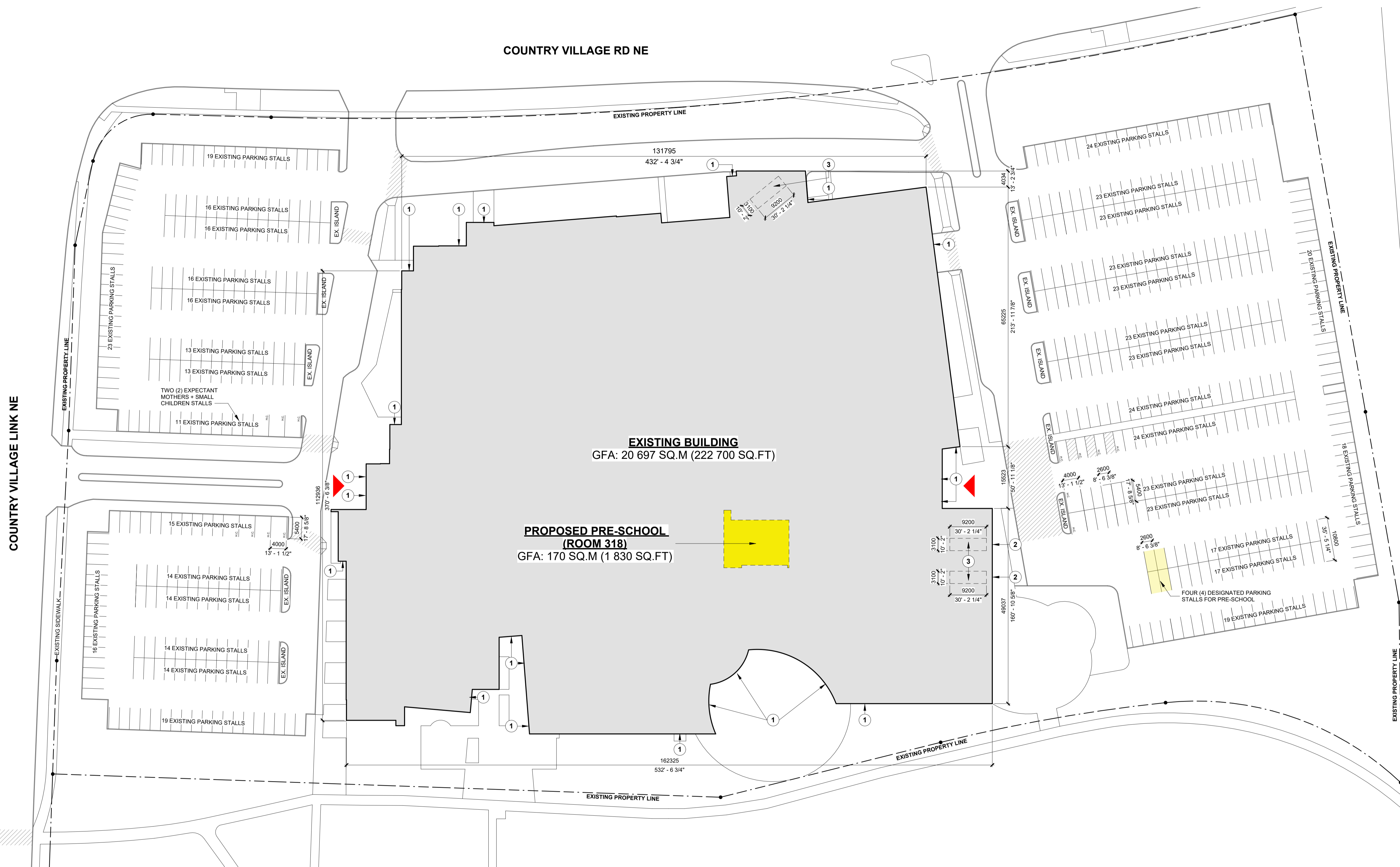
Drawn by : Author Checked by : Checker

Drawing number :

**DP1.00**

Scale : As indicated

**COUNTRY VILLAGE RD NE**



**1 SITE PLAN**  
1:500

SITE STATISTICS	
<b>CIVIC ADDRESS :</b>	11950 COUNTRY VILLAGE LINK NE, CALGARY, AB T3K 6E3
<b>LEGAL ADDRESS :</b>	SW 1/4 SEC 27-25-1-5 PORTION OF REGISTERED PLAN NO. 9912694 BLOCK 1, LOT 9
<b>OVERALL SITE AREA :</b>	588 680 sq. ft. 54 690 m <sup>2</sup> 13.514 acres
<b>EXISTING BUILDING GROSS FLOOR AREA (GFA):</b>	TOTAL : +/- 20 697 m <sup>2</sup> (+/- 222 700 sq. ft.)
<b>PROPOSED COMMERCIAL GROSS FLOOR AREA (GFA):</b>	TOTAL : +/- 170 m <sup>2</sup> (+/- 1 830 sq. ft.)

SITE SYMBOL LEGEND	
	PROPERTY LINE
	MAIN BUILDING ENTRANCE

SITE KEYNOTE LEGEND	
	EXISTING BUILDING ENTRANCE
	EXISTING OVERHEAD DOOR
	EXISTING LOADING STALL

<b>BICYCLE PARKING:</b>	REQUIRED: CLASS 2 BASED ON 10.0 PER CENT OF THE MINIMUM REQUIRED MOTOR VEHICLE PARKING STALLS	108	BYLAW 1P2007 PART 4, DIV 2, 211 (d)(e)
	PROVIDED:	68	
	VARIANCE REQUESTED:	-40	
<b>MOTOR VEHICLE PARKING:</b>	REQUIRED: 5.0 MOTOR VEHICLE PARKING STALLS PER 100.0 SQUARE METERS OF GROSS USABLE FLOOR AREA	1,035	BYLAW 1P2007 PART 4, DIV 2, 211 (e)
	PROVIDED:	591	
	VARIANCE REQUESTED:	-431	
<b>BARRIER FREE PARKING:</b>	REQUIRED: 51-100 +/- FOR EACH INCREMENT OF 100 OR PART THEREOF = ONE (1) ADDITIONAL STALL	13	NBC AB EDITION 2019, Table 3.8.2.5
	PROVIDED:	13	
<b>TOTAL PARKING ON SITE:</b>		<b>604 STALLS</b>	
<b>LOADING STALL PARKING:</b>	REQUIRED: 1.0 LOADING STALLS PER 930.0 SQUARE METERS OF GROSS FLOOR AREA WHERE THE CUMULATIVE GROSS FLOOR AREA OF ALL BUILDINGS ON A PARCEL IS GREATER THAN 930.0 SQUARE METERS =	3.0	BYLAW 1P2007 PART 3, DIV 6, 123 (5)(a)
	PROVIDED:	3.0	
<b>LAY BY LANE/PICK UP AND DROP OFF:</b>	EXISTING = 3 STALLS REVISD = 4 STALLS	<b>TOTAL ON SITE = 7 STALLS</b>	

\*\*\* NOTE: PARKING STALL CALCULATIONS PER EXISTING APPROVAL, NOT REVIEWED IN THIS APPLICATION

