



| LIST OF DRAWINGS |                            |
|------------------|----------------------------|
| A-0.0            | Cover Page                 |
| A-0.1            | Assemblies                 |
| A-1.0            | Foundation Plan            |
| A-1.1            | Basement Plan              |
| A-1.2            | Main Floor Plan            |
| A-1.3            | Upper Floor Plan           |
| A-1.4            | Roof Plan                  |
| A-2.0            | Front & Rear Elevation     |
| A-2.3            | Left & Right Elevation     |
| A-3.0            | Sections                   |
| A-4.0            | Detail Sheet 1             |
| A-4.1            | Detail Sheet 2             |
| A-5.0            | Tall Wall Details          |
| E-1.0            | Basement & Main Electrical |
| E-1.1            | Upper Electrical           |

FLOOR AREA

|                 |                   |
|-----------------|-------------------|
| BASEMENT        | = 1787.25 SQ. FT. |
| ATTACHED GARAGE | = 782.75 SQ. FT.  |
| MAIN            | = 1787.25 SQ. FT. |
| UPPER           | = 1768.00 SQ. FT. |
| TOTAL           | = 3555.25 SQ. FT. |



GENERAL NOTES:

MUNICIPAL ADDRESS:  
47 LANGTON DR SW

PROJECT:  
NEW HOME

PROJECT NUMBER:  
#219-26

STATUS:  
DP

| LEGAL LAND DISCRPTION: |        |       |
|------------------------|--------|-------|
| LOT:                   | BLOCK: | PLAN: |
| --                     | --     | --    |

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
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| NO. | DATE(D/M/Y) | DETAIL   | BY   |
|-----|-------------|----------|------|
| 01. | 29/04/26    | DP PLANS | A.R. |
| 02. | --          | --       | --   |
| 03. | --          | --       | --   |
| 04. | --          | --       | --   |
| 05. | --          | --       | --   |
| 06. | --          | --       | --   |

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FLOOR AREAS:

|                    |           |
|--------------------|-----------|
| MAIN FLOOR AREA:   | -- SQ.FT. |
| UPPER FLOOR AREA:  | -- SQ.FT. |
| LOFT FLOOR AREA:   | -- SQ.FT. |
| TOTAL ABOVE GRADE: | -- SQ.FT. |
| BASEMENT AREA:     | -- SQ.FT. |
| GARAGE AREA:       | -- SQ.FT. |

DRAWING SET:

SHEET NAME:  
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

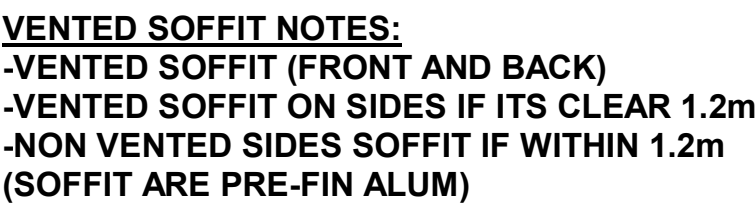
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SCALE:

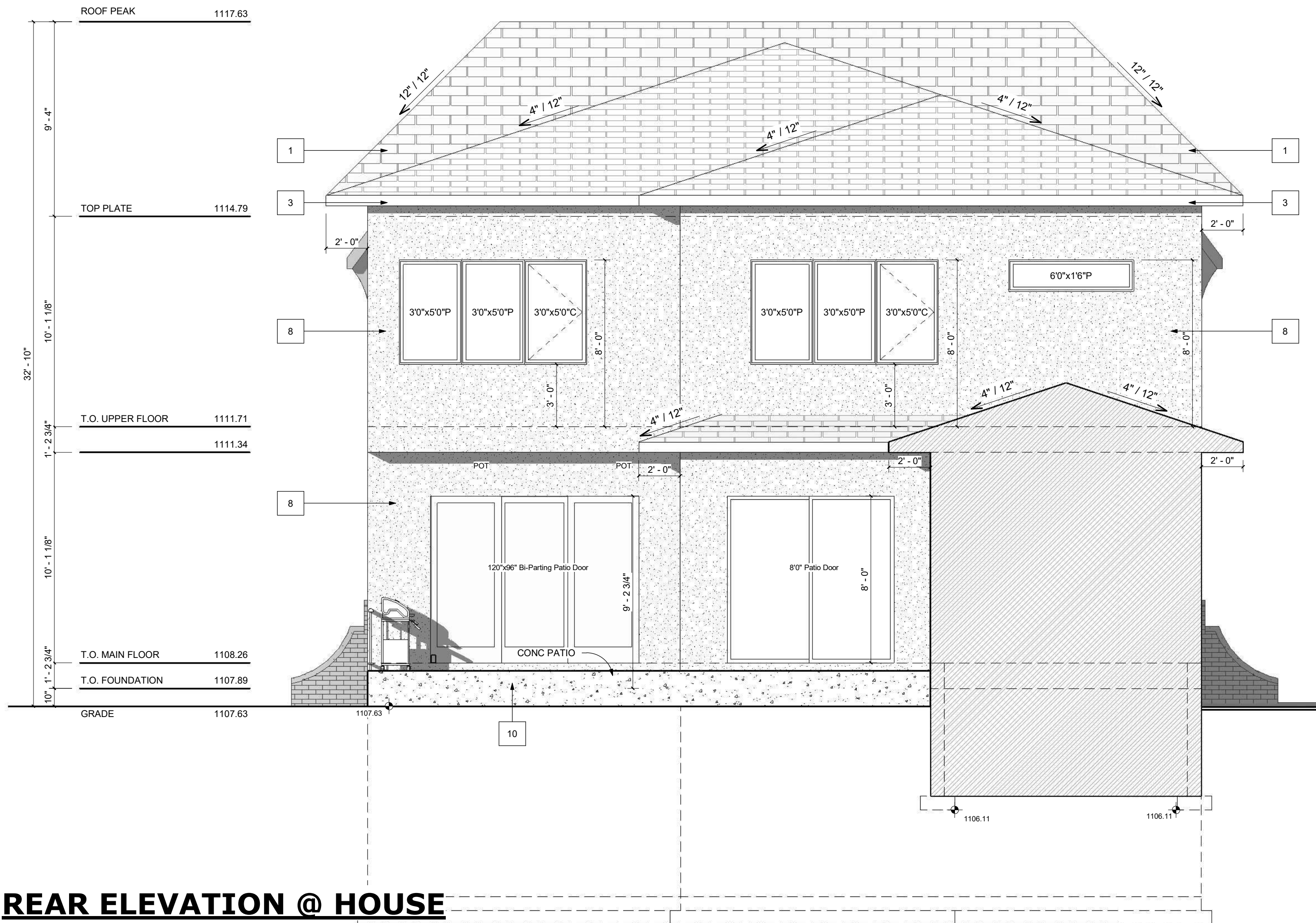
PAGE:

A-0.0

|    |                          |
|----|--------------------------|
| 1  | ASPHALT SHINGLE ROOF     |
| 2  | METAL ROOF               |
| 3  | ALUMINUM FASCIA - BLACK  |
| 4  | ALUMINUM SOFFIT - BLACK  |
| 5  | SMOOTH STUCCO - WHITE    |
| 6  | BRICK CLADDING AS SPEC'D |
| 7  | SMARTBOARD - BLACK       |
| 8  | STUCCO - WHITE           |
| 9  | CONCRETE PAVING          |
| 10 | CAST-IN-PLACE CONCRETE   |



SCALE:  $1/4" = 1'-0"$



SCALE:  $1/4" = 1'-0"$

SCALE:  $1/4" = 1'-0"$

GENERAL NOTES

PROJECT:  
NEW HOME

STATL  
DP

LEGAL LAND DISCRIPTION:  
LOT:            BLOCK:            PLAN  
--            --            --

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| NO. | DATE(D/M/Y) | DETAIL   | BY   |
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| 01. | 29/04/26    | DP PLANS | A.R. |
| 02. | --          | --       | --   |
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| 05. | --          | --       | --   |
| 06. | --          | --       | --   |

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TRADES/CONTRACTOR AND HOME OWNER. ANY  
ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER  
TO BE RESOLVED BEFORE PROCEEDING

|                    |           |
|--------------------|-----------|
| FLOOR AREAS:       |           |
| MAIN FLOOR AREA:   | -- SQ.FT. |
| UPPER FLOOR AREA:  | -- SQ.FT. |
| LOFT FLOOR AREA:   | -- SQ.FT. |
| TOTAL ABOVE GRADE: | -- SQ.FT. |
| BASEMENT AREA:     | -- SQ.FT. |
| GARAGE AREA:       | -- SQ.FT. |

SHEET NAME:  
Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-04-30 2:08:54 PM

SCALE:  $1/4" = 1'-0"$

PAGE:

# A-2.0

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLE ROOF
- 2 METAL ROOF
- 3 ALUMINUM FASCIA - BLACK
- 4 ALUMINUM SOFFIT - BLACK
- 5 SMOOTH STUCCO - WHITE
- 6 BRICK CLADDING AS SPEC'D
- 7 SMARTBOARD - BLACK
- 8 STUCCO - WHITE
- 9 CONCRETE PARGING
- 10 CAST-IN-PLACE CONCRETE

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

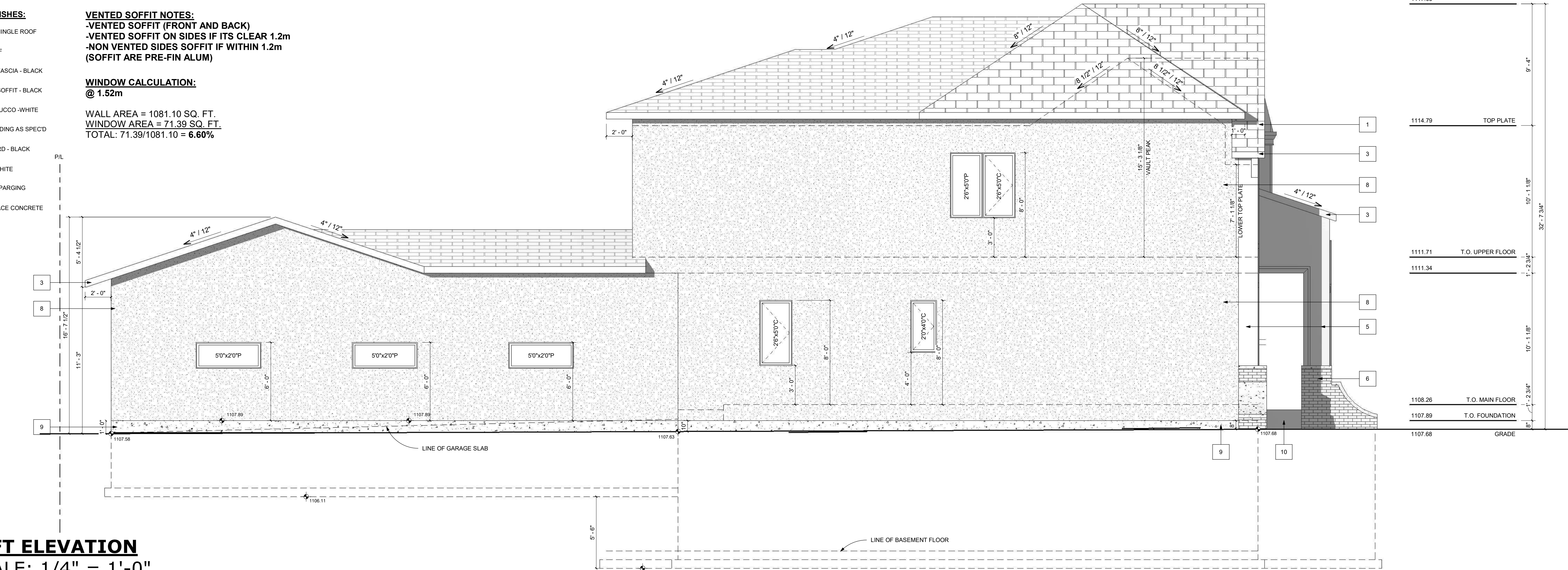
WINDOW CALCULATION:

@ 1.52m

WALL AREA = 1081.10 SQ. FT.  
WINDOW AREA = 71.39 SQ. FT.  
TOTAL: 71.39/1081.10 = 6.60%

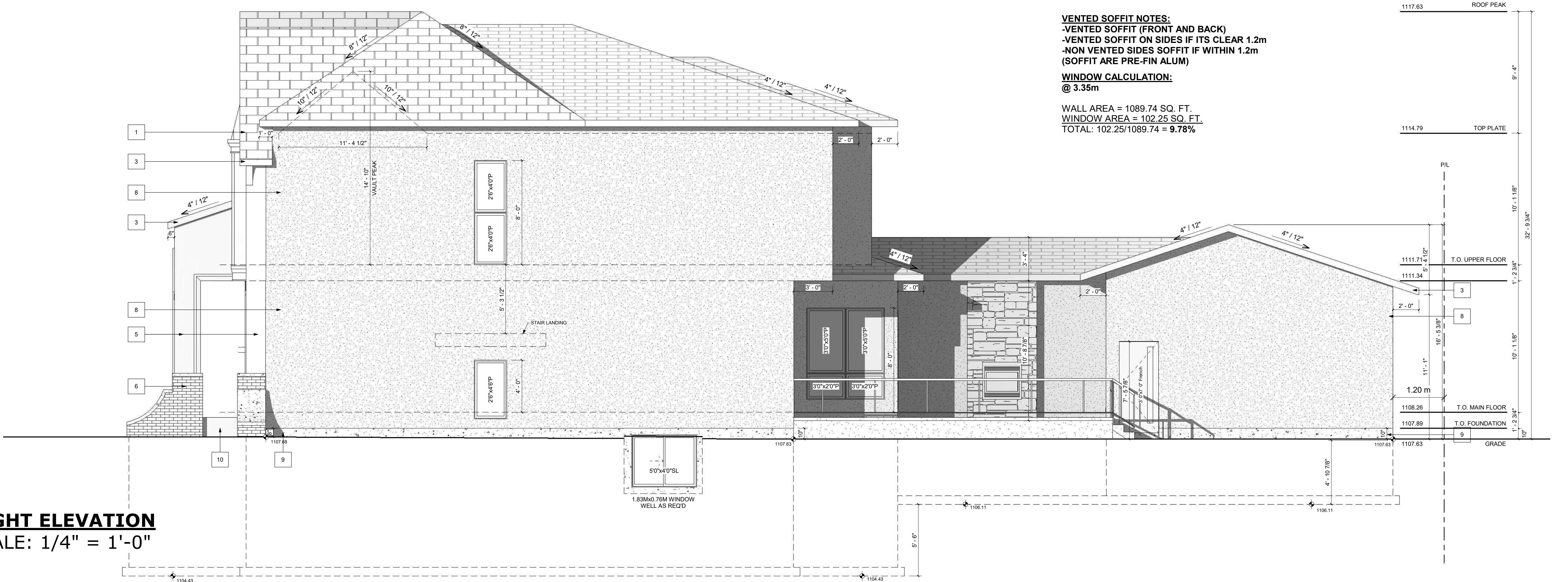
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION:

@ 3.35m

WALL AREA = 1089.74 SQ. FT.  
WINDOW AREA = 102.25 SQ. FT.  
TOTAL: 102.25/1089.74 = 9.78%



GENERAL NOTES:

MUNICIPAL ADDRESS:

47 LANGTON DR SW

PROJECT:

NEW HOME

PROJECT NUMBER:

#219-26

STATUS:

DP

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:

-- -- --

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| NO. | DATE(D/M/Y) | DETAIL   | BY   |
|-----|-------------|----------|------|
| 01. | 29/04/26    | DP PLANS | A.R. |
| 02. | --          | --       | --   |
| 03. | --          | --       | --   |
| 04. | --          | --       | --   |
| 05. | --          | --       | --   |
| 06. | --          | --       | --   |

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FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

SHEET NAME:

Left & Right Elevation

DESIGN BY: JT

DRAWN BY: JT

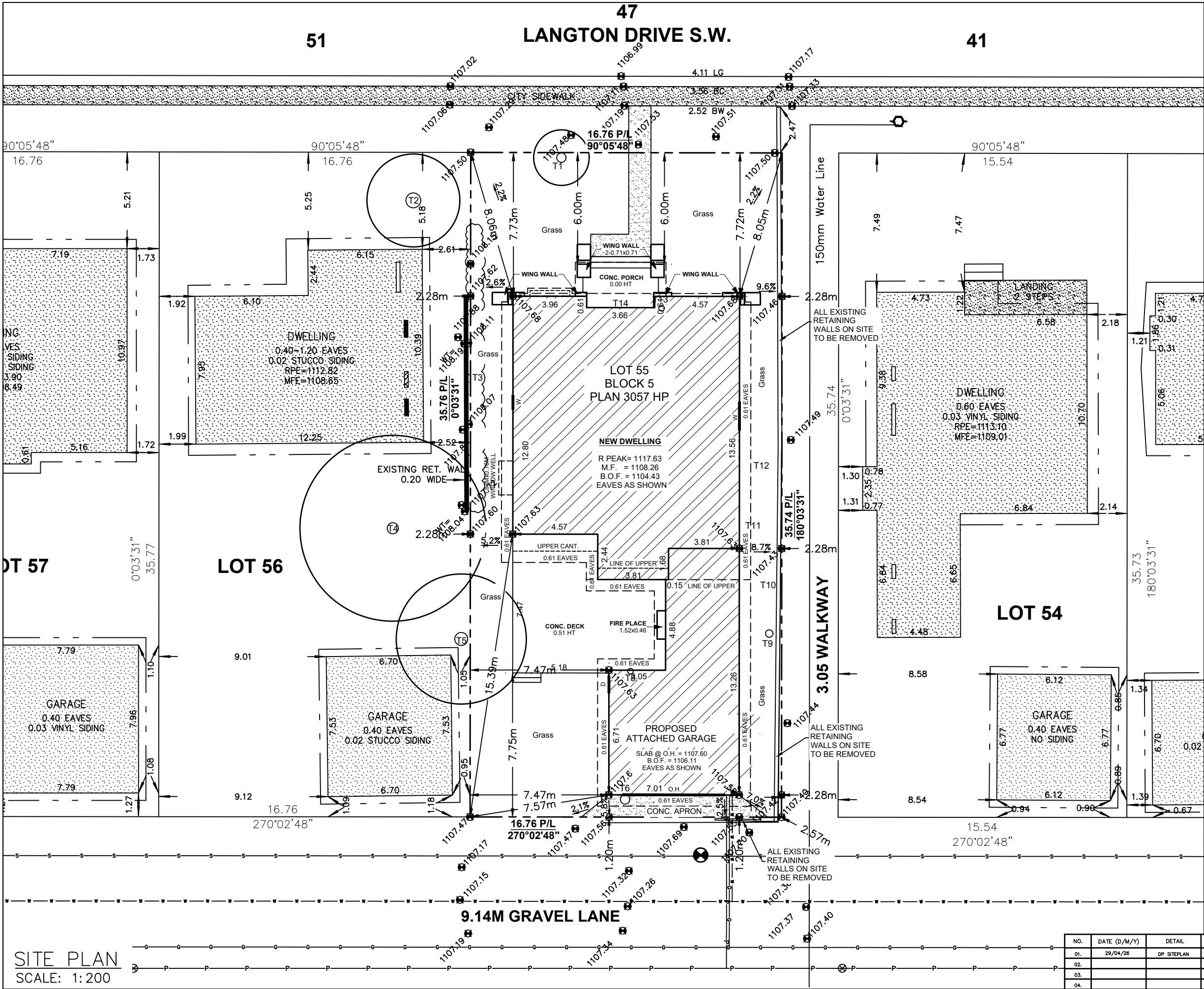
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SCALE: 1/4" = 1'-0"

PAGE:

A-2.3



## SITE PLAN

### LEGEND

ELEVATIONS ARE SHOWN THUS:  $\square$  = 1000.00 METRES. (GEODETIC)  
DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
AND ARE DERIVED FROM ASCMS 140368  
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers  
'Enc.' denotes Encroach(es)  
'BW' denotes Back of Walkway  
'BOW' denotes Bottom of Wall  
'Conc.' denotes Concrete  
'Ret.' denotes Retaining  
'BC' denotes Back of Curb  
'TOW' denotes Top of Wall

### Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential  
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lot 55  
Block 5  
Plan 3057 HP

MUNICIPAL ADDRESS:

47 Langton DR SW  
Calgary, Alberta

LOT COVERAGE DETAIL:  
(SINGLE LOT AND HOUSE)

LOT SIZE: 599.023 SQ M  
HOUSE: 166.041 SQ M  
COVERED PORCH: 0.000 SQ M  
CANT.: 0.000 SQ M  
WING WALL: 3.189 SQ M  
GARAGE: 72.719 SQ M

TOTAL: 216.441/484.099  
= 44.71%

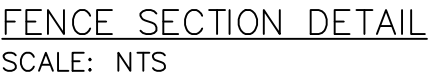
SITE PLAN

SCALE: 1:200



| Tree No. | Variety    | Trunk (ø±) | Canopy (ø±) | Height (±) | Location             | Disposition   |
|----------|------------|------------|-------------|------------|----------------------|---------------|
| T1       | Coniferous | 0.50       | 2.99        | 13.00      | In Subject Property  | To Stay       |
| T2       | Coniferous | 0.80       | 5.00        | 12.00      | In Adjacent Property | To Stay       |
| T3       | Bush       | —          | 1.00        | 3.00       | In Subject Property  | To be Removed |
| T4       | Coniferous | 0.60       | 10.00       | 12.00      | In Adjacent Property | To Stay       |
| T5       | Coniferous | 0.70       | 7.00        | 13.00      | In Adjacent Property | To Stay       |
| T6       | Coniferous | 0.50       | 4.00        | 11.00      | In Subject Property  | To be Removed |
| T7       | Bush       | —          | 2.00        | 3.00       | In Subject Property  | To be Removed |
| T8       | Deciduous  | 0.30       | 2.50        | 3.00       | In Subject Property  | To be Removed |
| T9       | Deciduous  | 0.40       | 2.50        | 4.00       | In Subject Property  | To be Removed |
| T10      | Bush       | —          | 1.50        | 1.50       | In Subject Property  | To be Removed |
| T11      | Bush       | —          | 2.00        | 2.00       | In Subject Property  | To be Removed |
| T12      | Bush       | —          | 2.00        | 1.50       | In Subject Property  | To be Removed |
| T13      | Coniferous | 0.30       | 2.60        | 3.00       | In Subject Property  | To be Removed |
| T14      | Bush       | —          | 1.00        | 1.90       | In Subject Property  | To be Removed |

|                    |                      |
|--------------------|----------------------|
|                    | AREA                 |
| <u>BASEMENT</u>    | <u>1787.25 SQ FT</u> |
| <u>MAIN FLOOR</u>  | <u>1787.25 SQ FT</u> |
| <u>UPPER FLOOR</u> | <u>1768.00 SQ FT</u> |
| <u>TOTAL AREA</u>  | <u>3555.25 SQ FT</u> |



| NO. | DATE (D/M/Y) | DETAIL      | BY   | PROJECT NAME AND ADDRESS:            | PROJECT:              | SCALE:               |
|-----|--------------|-------------|------|--------------------------------------|-----------------------|----------------------|
| 01. | 29/04/28     | DP SITEPLAN | A.R. | 47 Langton Dr SW<br>Calgary, Alberta | SINGLE DETACHED HOUSE | AS SHOWN             |
| 02. |              |             |      | Lot 55<br>Block 5<br>Plan 3057 HP    | DATE:                 | DIVISION:    NUMBER: |
| 03. |              |             |      |                                      | APR 29, 2026          | S            02      |
| 04. |              |             |      |                                      |                       |                      |

55

51

47  
LANGTON DRIVE S.W.

41

37

LOT 57

LOT 56

LOT 54

LOT 53

BLOCK PLAN  
SCALE: 1:200

9.14M GRAVEL LANE

| NO. | DATE (D/M/Y) | DETAIL      | BY   | PROJECT NAME AND ADDRESS:            | PROJECT:              | SCALE:                   |
|-----|--------------|-------------|------|--------------------------------------|-----------------------|--------------------------|
| 01. | 29/04/26     | DP SITEPLAN | A.R. | 47 Langton Dr SW<br>Calgary, Alberta | SINGLE DETACHED HOUSE | 1: 200                   |
| 02. |              |             |      | Lot 55<br>Block 5<br>Plan 3057 HP    | DATE:<br>APR 29, 2026 | DIVISION NUMBER:<br>S 03 |
| 03. |              |             |      |                                      |                       |                          |
| 04. |              |             |      |                                      |                       |                          |