

GENERAL NOTES

1. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE REFERRED TO THE DESIGNER FOR ADJUSTMENT BEFORE ANY WORK AFFECTED IS BEGUN.
2. THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS
3. DO NOT SCALE THESE DRAWINGS
4. ALL DRAWINGS ARE COPYRIGHT MATERIAL AND MAY NOT BE REPRODUCED WITHOUT PERMISSION FROM BENJAMIN RUSSELL DESIGN

ISSUED

05/01/26 FOR DEVELOPMENT PERMIT

REVISIONS

PROJECT

1317 10TH AVENUE SE
CALGARY, ALBERTA

DRAWING TITLE

COVER PAGE

PROJECT # : 26-13

DATE : 05/01/26

DRAWN BY : JJA

SCALE : AS NOTED

SHEET : A0 OF 4



FOR CONCEPT PURPOSE ONLY-NOT FOR CONSTRUCTION

1317 10TH AVENUE SE

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PROJECT

1317 10TH AVENUE SE
CALGARY, ALBERTA

DRAWING TITLE

SITE PLAN

PROJECT # : 26-13

DATE : 05/01/26

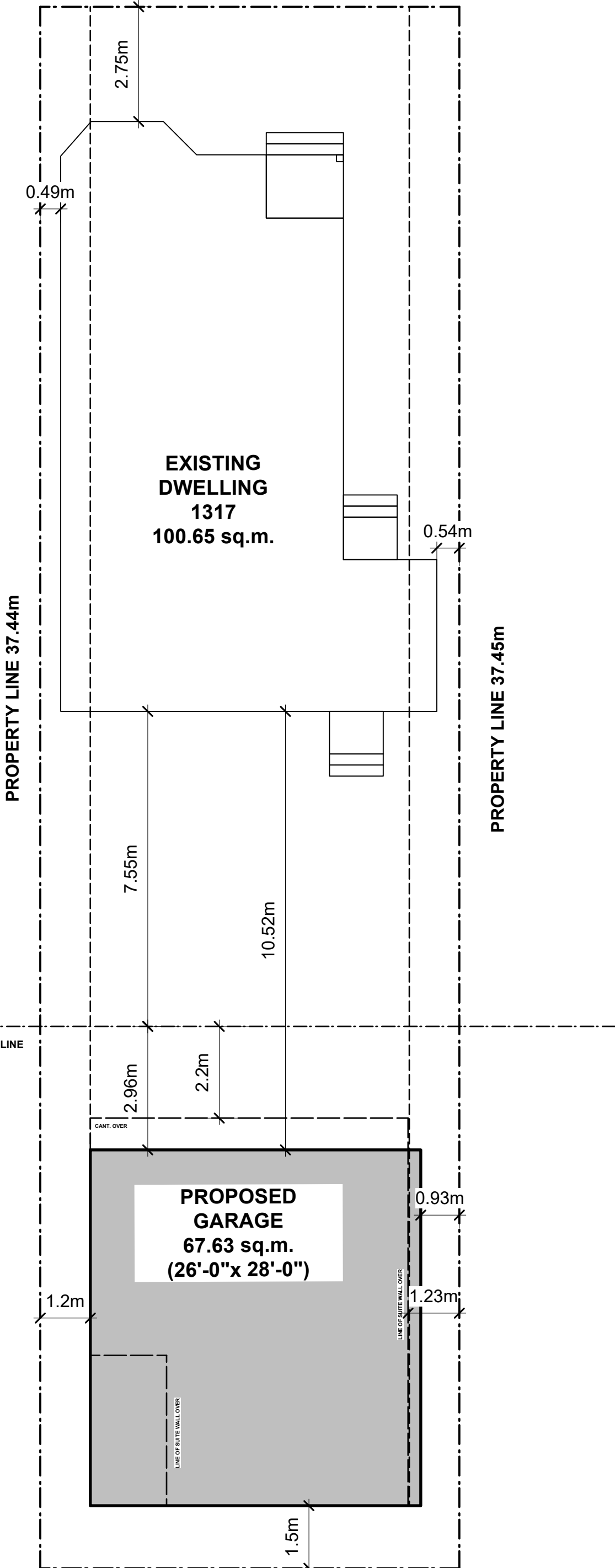
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SCALE : AS NOTED

SHEET : A1 OF 4

10th AVENUE SE

PROPERTY LINE 10.05m



MUNICIPAL ADDRESS
1317 10TH AVENUE SE

COMMUNITY
INGLEWOOD

LEGAL DESCRIPTION
LOT 21,
BLOCK 5,
PLAN A3

LAND USE DESIGNATION
R-CG

AREA OF LOT
376.37 sq.m

PRINCIPLE BUILDING LOT COVERAGE
100.65 sq.m.

TOTAL AREA OF BUILDINGS/PORCHES
168.28 sq.m.

PERCENT OF LOT COVERAGE
44.71%

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PROJECT

1317 10TH AVENUE SE
CALGARY, ALBERTA

DRAWING TITLE

SOUTH ELEVATION
NORTH ELEVATION

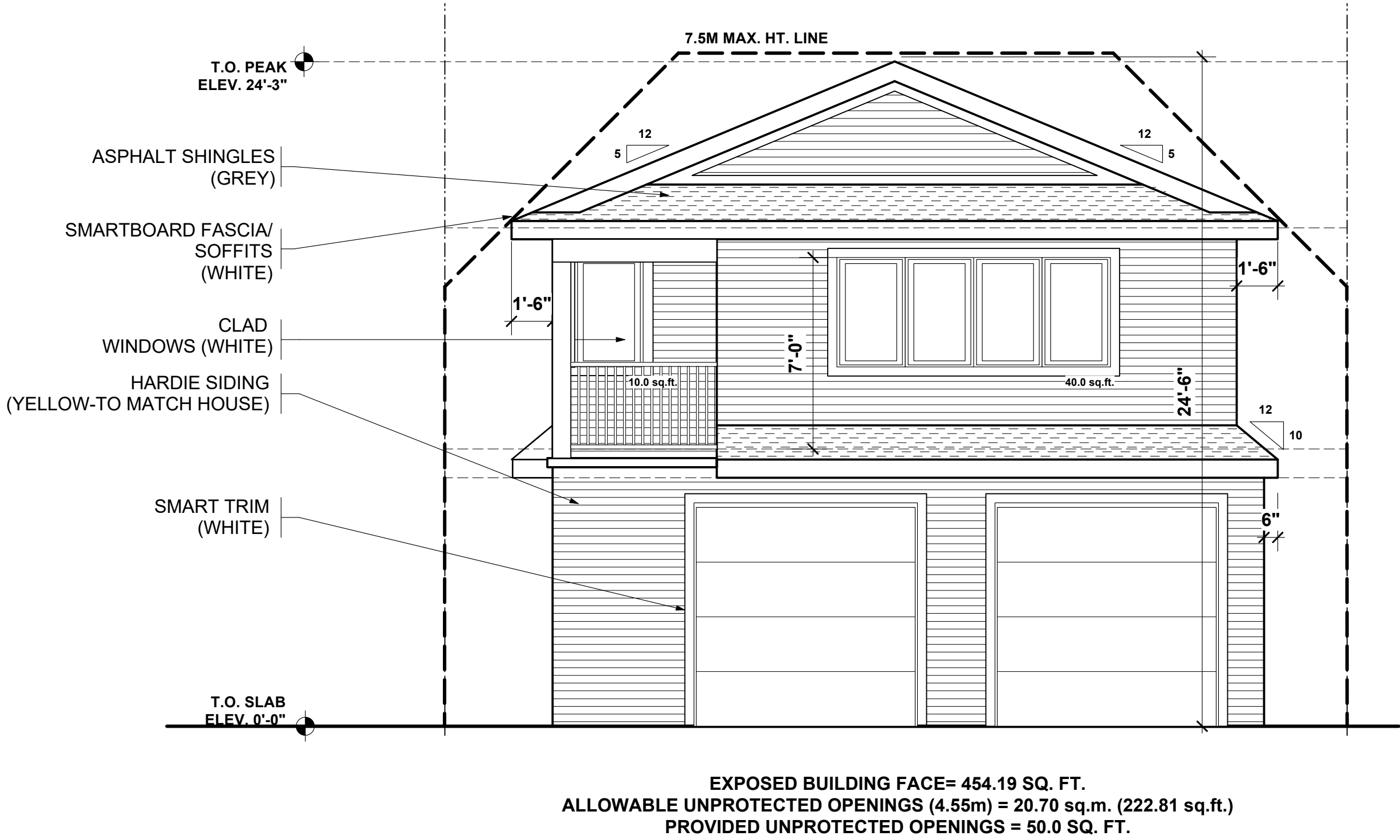
PROJECT # : 26-13

DATE : 05/01/26

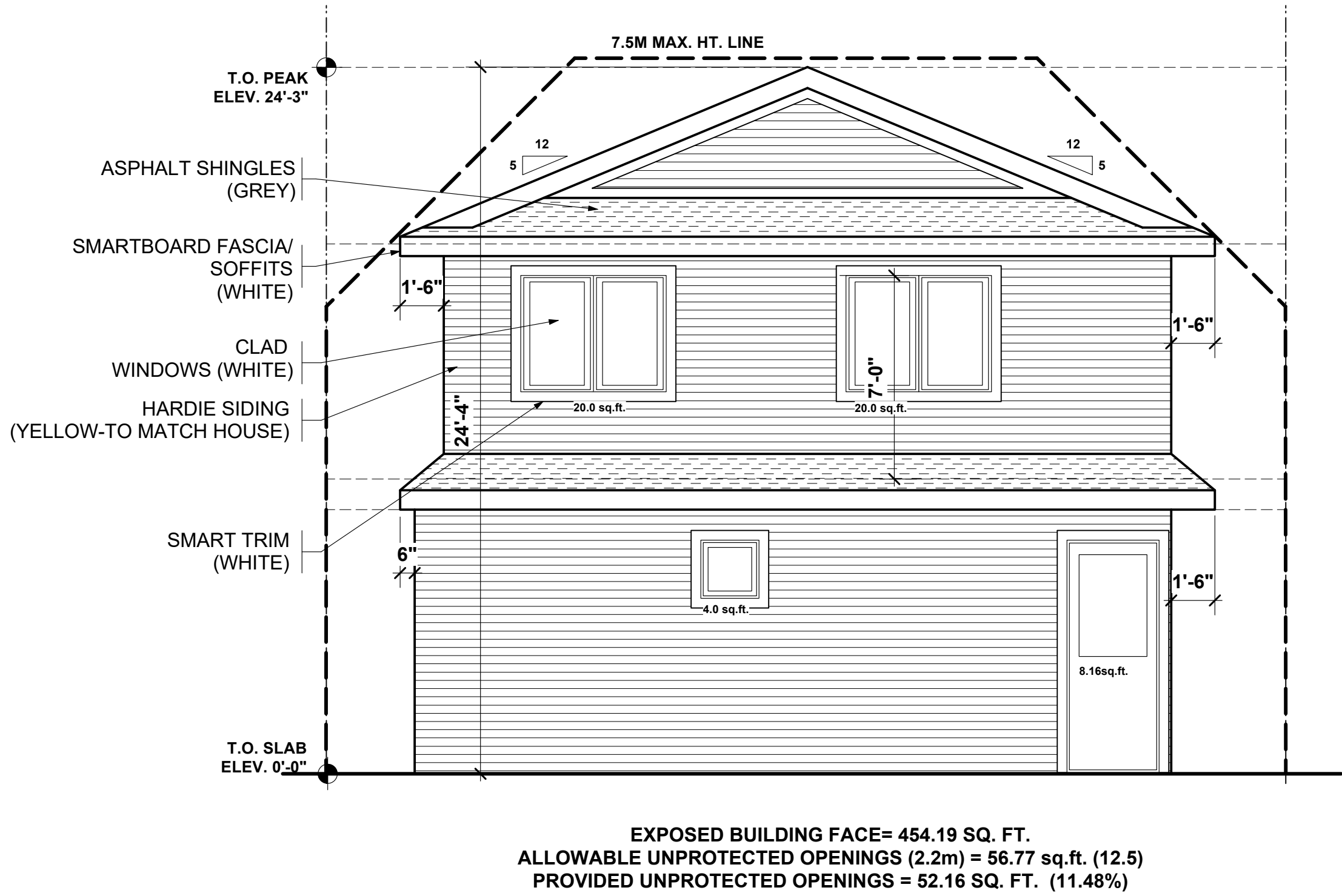
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SCALE : AS NOTED

SHEET : A3 OF 4



1 SOUTH ELEVATION
A3 SCALE 1/4" = 1'-0"



2 NORTH ELEVATION
A3 SCALE 1/4" = 1'-0"

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REVISIONS

PROJECT

1317 10TH AVENUE SE
CALGARY, ALBERTA

DRAWING TITLE

WEST ELEVATION
EAST ELEVATION

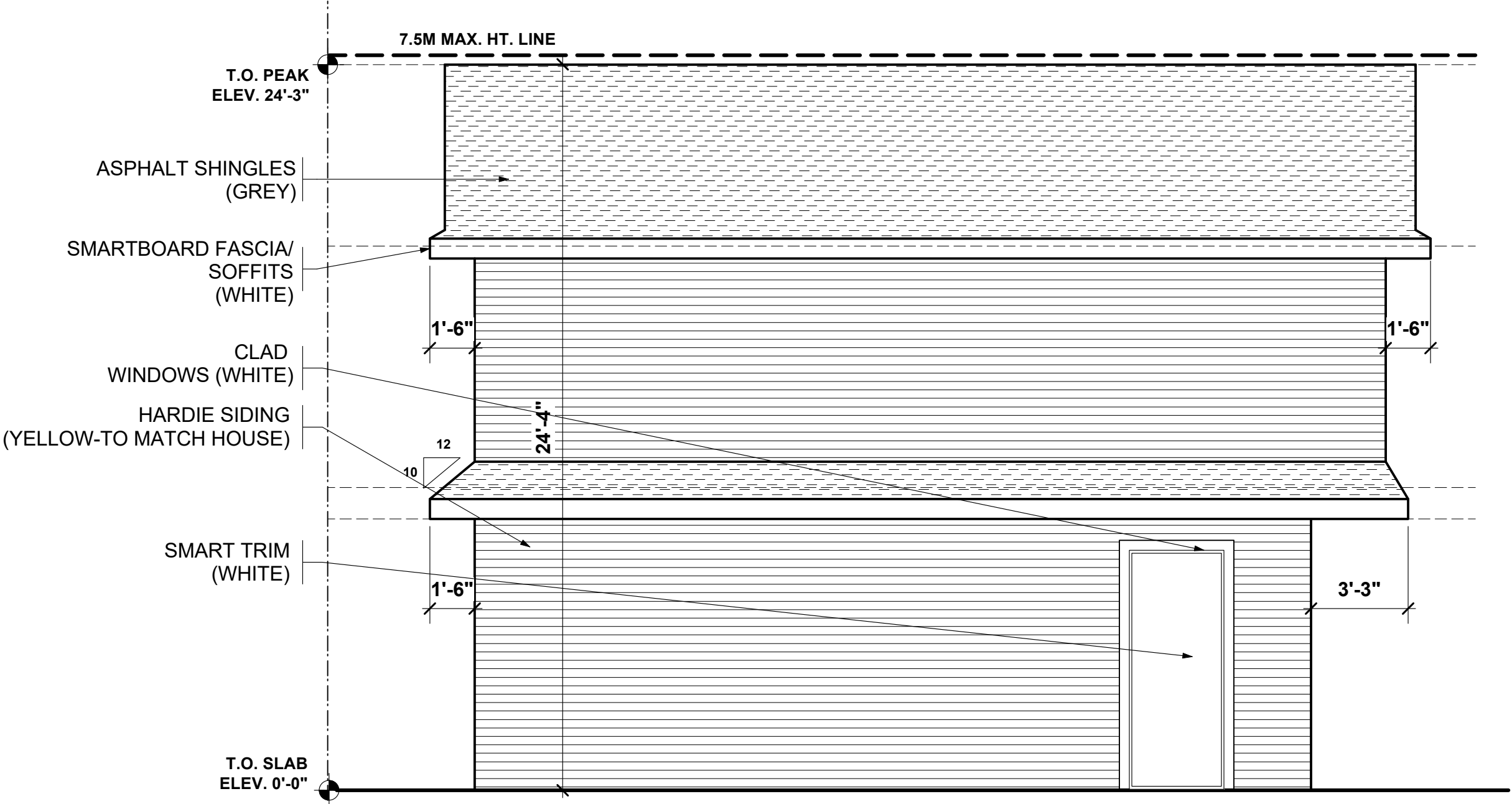
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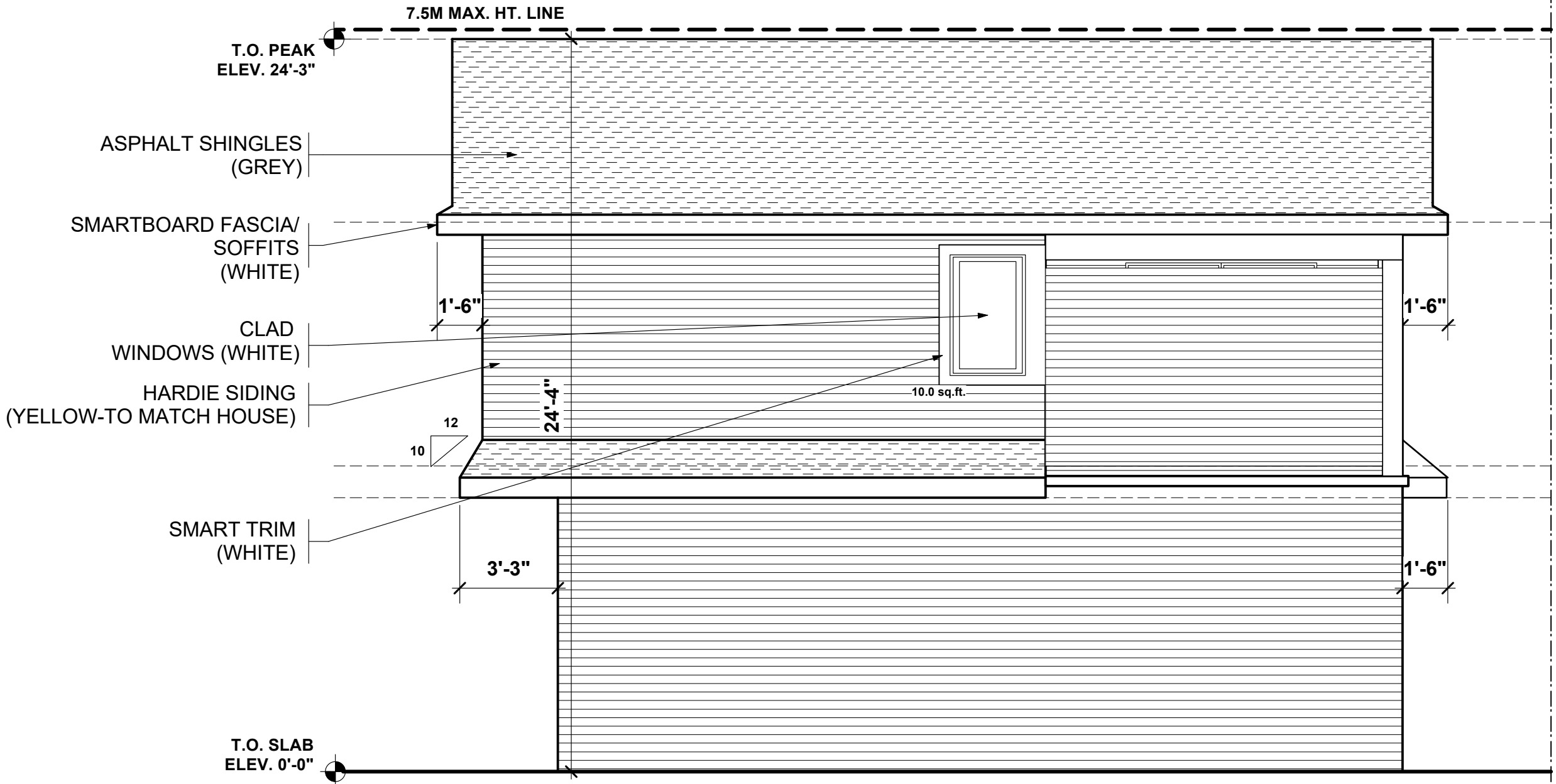
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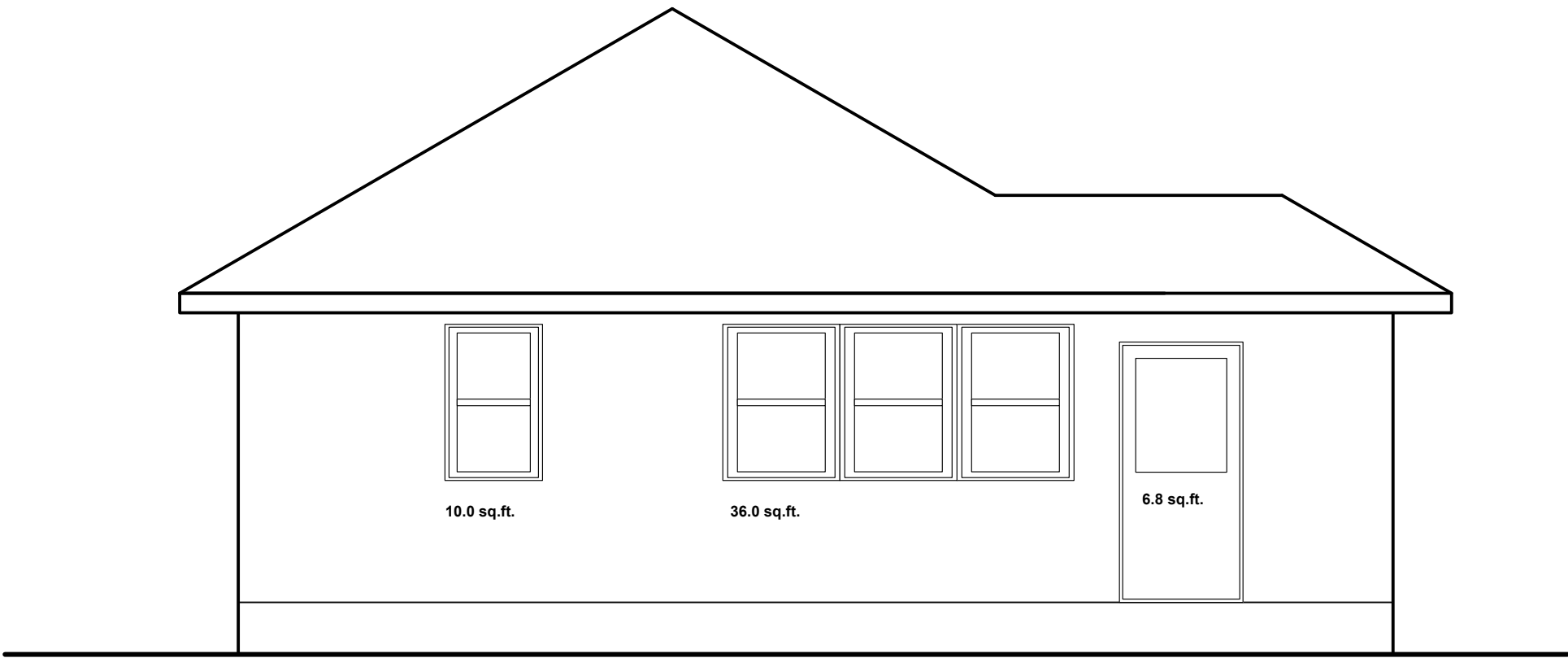
SHEET : A4 OF 4



EXPOSED BUILDING FACE= 555.79 SQ. FT.
ALLOWABLE UNPROTECTED OPENINGS (1.2m) = 38.90 sq.ft. (7.0)
PROVIDED UNPROTECTED OPENINGS = 10.0 SQ. FT. (1.80%)



EXPOSED BUILDING FACE= 555.79 SQ. FT.
ALLOWABLE UNPROTECTED OPENINGS (1.2m) = 38.90 sq.ft. (7.0)
PROVIDED UNPROTECTED OPENINGS = 10.0 SQ. FT. (1.80%)



EXPOSED BUILDING FACE= 258.94 SQ. FT.
ALLOWABLE UNPROTECTED OPENINGS (7.55m) = 57.0 sq.m. (613.21 sq.ft.)
PROVIDED UNPROTECTED OPENINGS = 52.8 SQ. FT.