

RANCHMAN MIXED-USE DEVELOPMENT

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REVISION NO.	DESCRIPTION	REVISED (ISSUED) PLOTTED
DP-0	ISSUED FOR DEVELOPMENT PERMIT	APRIL 30, 2026

9615 MACLEOD TRAIL S SHORT LEGAL: 9810328;9;12
 9619 MACLEOD TRAIL S SHORT LEGAL: 6013JK;9;9
 9524 HORTON ROAD SW SHORT LEGAL: 9311963;9;1
 CALGARY, ALBERTA

ISSUED FOR DEVELOPMENT PERMIT

APRIL 30, 2026



FROM MCLEOD TRAIL



FROM HORTON ROAD

DRAWING LIST:

GENERAL	
DP-S-000	PROJECT - COVER PAGE
CIVIL	
245-03 SVC N	SITE SERVICING PLAN NORTH (FOR DP)
245-03 SVC W	SITE SERVICING PLAN WEST (FOR DP)
245-03 GRAD N	SITE GRADING PLAN NORTH (FOR DP)
245-03 GRAD W	SITE GRADING PLAN WEST (FOR DP)
245-03 SECT	SECTIONS (FOR DP)
LANDSCAPE	
L110	LAYOUT PLAN
L131	PLANTING PLAN
L132	PLANTING PLAN - A
L400	PLANTING PLAN - B
	DETAILS PLAN
ELECTRICAL	
E-000	ELECTRICAL COVER PAGE & SYMBOL LEGEND
E-001	ELECTRICAL SITE PLAN
E-002	PARKADE L-01
E-003	PARKADE L-02
ARCHITECTURAL	
SITE	
DP-S-001	EXISTING CONDITIONS
DP-S-002	SITE PLAN - PHASING
DP-S-003	SITE PLAN
DP-S-004	SITE PLAN - FIRE TRUCK ACCESS
DP-S-005	SITE PLAN - PEDESTRIAN CONNECTIVITY
DP-S-006	SITE PLAN - RESIDENTIAL AMENITY SPACE - MAIN FLOOR
DP-S-007	SITE PLAN - RESIDENTIAL AMENITY SPACE - SECOND FLOOR
DP-S-008	SITE PLAN - RESIDENTIAL AMENITY SPACE - SIXTH FLOOR
DP-S-009	PARKADE RAMP
DP-S-010	RETAINING WALLS
DP-S-011a	RETAINING WALLS
DP-S-011b	RETAINING WALLS
DP-S-012	SITE PLAN - WASTE COLLECTION
DP-S-013	MATERIALS BOARD
DP-S-014	SHADOW STUDY
BUILDING 1	
DP-1-000	BUILDING 1 - COVER PAGE
DP-1-101	BUILDING 1 - MAIN FLOOR PLAN
DP-1-102	BUILDING 1 - SECOND - FIFTH FLOOR PLAN
DP-1-103	BUILDING 1 - THIRD FLOOR PLAN
DP-1-201	BUILDING 1 - EXTERIOR ELEVATIONS & SECTIONS
BUILDING 2	
DP-2-000	BUILDING 2 - COVER PAGE
DP-2-101	BUILDING 2 - MAIN FLOOR PLAN
DP-2-102	BUILDING 2 - SECOND-FIFTH FLOOR PLANS
DP-2-103	BUILDING 2 - SIXTH FLOOR PLAN
DP-2-104	BUILDING 2 - ROOF PLAN
DP-2-201	BUILDING 2 - EXTERIOR ELEVATIONS
DP-2-202	BUILDING 2 - EXTERIOR ELEVATIONS
DP-2-202	BUILDING 2 - EXTERIOR ELEVATIONS
DP-2-301	BUILDING 2 - BUILDING SECTIONS
DP-2-302	BUILDING 2 - BUILDING SECTIONS
BUILDING 3	
DP-3-000	BUILDING 3 - COVER PAGE
DP-3-101	BUILDING 3 - MAIN FLOOR PLAN
DP-3-102	BUILDING 3 - SECOND-FIFTH FLOOR PLANS
DP-3-103	BUILDING 3 - SIXTH FLOOR PLAN
DP-3-104	BUILDING 3 - ROOF PLAN
DP-3-201	BUILDING 3 - EXTERIOR ELEVATIONS
DP-3-202	BUILDING 3 - EXTERIOR ELEVATIONS
DP-3-301	BUILDING 3 - BUILDING SECTIONS
BUILDING 4	
DP-4-000	BUILDING 4 - COVER PAGE
DP-4-101	BUILDING 4 - FLOOR PLANS, ELEVATIONS & SECTIONS
BUILDING 5	
DP-5-000	BUILDING 5 - COVER PAGE
DP-5-101	BUILDING 5 - MAIN & SECOND FLOOR PLANS
DP-5-102	BUILDING 5 - THIRD-FIFTH & SIXTH FLOOR PLANS
DP-5-103	BUILDING 5 - ROOF PLAN
DP-5-201	BUILDING 5 - EXTERIOR ELEVATIONS
DP-5-202	BUILDING 5 - EXTERIOR ELEVATIONS
DP-5-301	BUILDING 5 - BUILDING SECTIONS
PARKADE A	
DP-PA-000	PARKADE A - COVER PAGE
DP-PA-100	PARKADE A - L&E PLAN
DP-PA-101	PARKADE A - L-01 PLAN
DP-PA-102	PARKADE A - BICYCLE STORAGE REQUIREMENTS (CLASS 1)
DP-PA-201	PARKADE A - SECTIONS



RANCHMAN MIXED-USE DEVELOPMENT
 CALGARY, ALBERTA

project

PROJECT - COVER PAGE

sheet title

consultant

scale: 1/4" = 1'-0"
 date: 2026-04-30
 drawn by: RC/LB
 checked by: LB
 project no. 2026002
 sheet no. DP-S-000

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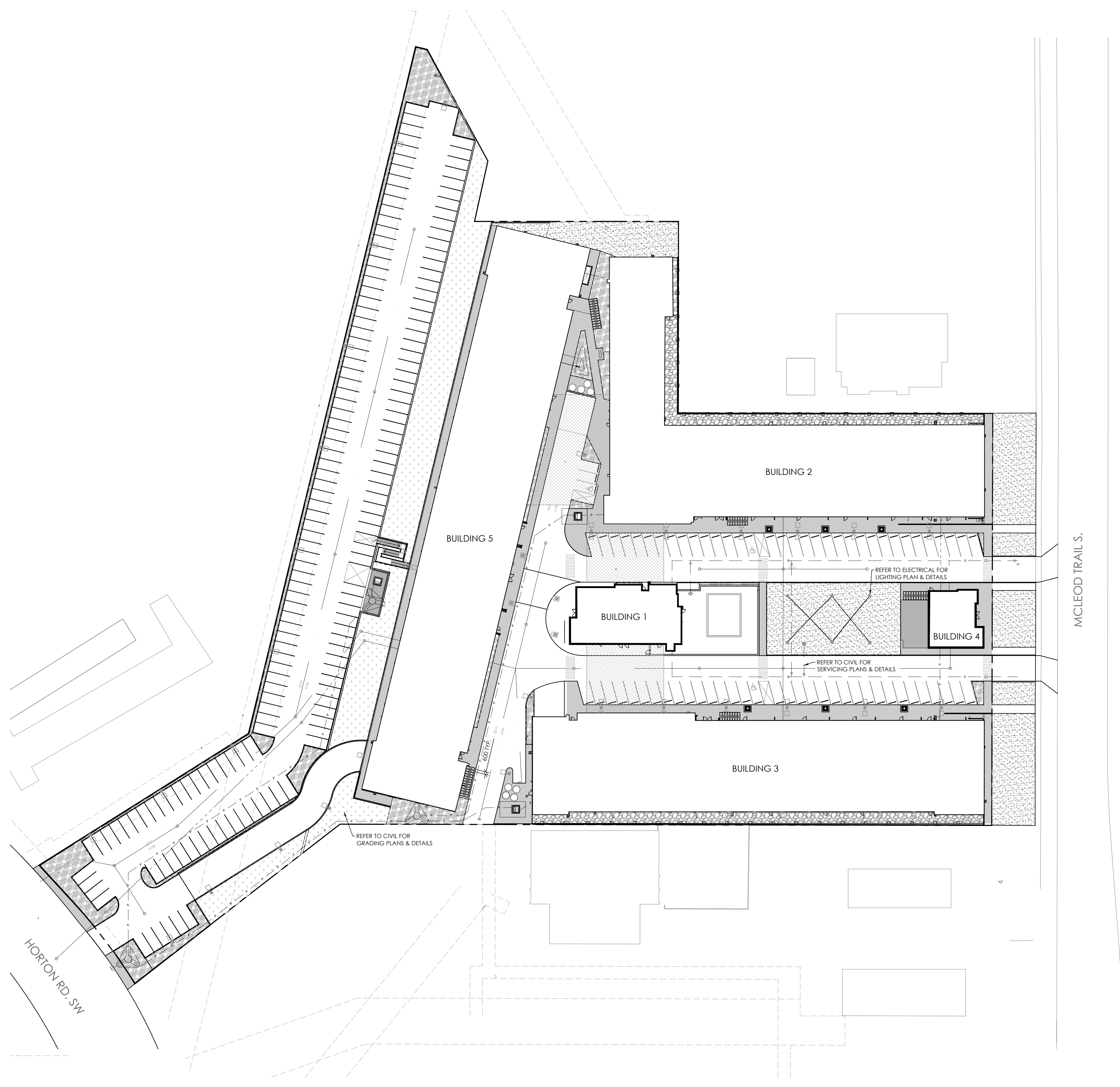
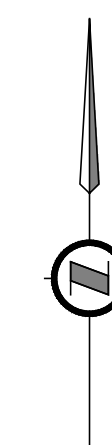
CLIENT



NAD 83
 COORDINATES

LAYOUT PLAN LEGEND

- PROPERTY LINE
 - o- WOOD SCREEN FENCE
 - o- SANITARY SEWER PIPE
 - o- WATER MAIN PIPE
 - o- STORM WATER PIPE
 - o- GAS PIPE
 - o- POWER LINE
 - o CATCH BASIN/MANHOLE
 - o WATER HYDRANT BY ENG.
- AMENITIES
- BIKE RACK
 - o TREE GRATE
- HARD SURFACING
- CONCRETE PAVING
 - 2"-4" ROCK MULCH
- SOFT SURFACING
- FESCUE SOD
 - ROCKY MOUNTAIN FESCUE (Festuca saximontana)
 - CONIFEROUS BARK MULCH
 - PLANTING BED EDGE



GENERAL NOTES

- THE STANDARDS AND GUIDELINES APPLICABLE FOR THE WORK ARE TO INCLUDE ALL NECESSARY CONSTRUCTION STANDARDS AND GUIDELINES OF LANDSCAPE, ENGINEERING AND ENVIRONMENTAL REGULATION.
- WORK SHALL CONFORM TO CURRENT MUNICIPAL LAND USE BYLAW, AND STANDARD LANDSCAPE GUIDELINES & SPECIFICATIONS, CURRENT EDITION.
- EQUIPMENT AND MATERIALS TO BE AS SPECIFIED. ANY REQUEST FOR ALTERNATES MUST CONFORM TO MUNICIPAL EQUIVALENCY SPECIFICATIONS AND BE APPROVED BY NAK AND THE MUNICIPALITY PRIOR TO BID SUBMISSION.
- UTILITY LOCATIONS SHALL BE LOCATED IN THE FIELD AND VERIFIED ON SITE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. CONTACT ALBERTA 1 CALL (1-800-242-3447) FOR LOCATES PRIOR TO ANY EXCAVATION.
- CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE PRIOR TO COMMENCEMENT OF WORK.
- LAYOUT INCLUDING PLANTING, PATHS, WALLS, FORM WORK, FURNITURE AND EQUIPMENT SHALL BE APPROVED ON SITE BY NAK PRIOR TO CONSTRUCTION AND INSTALLATION. NAK REQUIRES 24 HOURS NOTIFICATION/ REQUEST PRIOR TO LAYOUT INSPECTION.
- PATH AND HARD SURFACE AREAS SHALL BE SLOPED AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE; PATH GRADIENTS SHALL NOT EXCEED 8% UNLESS APPROVED IN WRITING BY NAK.
- DEEP AND SHALLOW UTILITIES LOCATIONS SHALL BE VERIFIED ON SITE PRIOR TO PLANTING INSTALLATION. RECORD DRAWINGS WILL BE SUBMITTED TO PARKS AND UTILITY LINE ASSIGNMENT WITHIN 30 DAYS OF ISSUANCE OF CCC IF THERE ARE ANY FIELD CHANGES TO THE TREE PLANTING LOCATIONS.
- ALL LANDSCAPED AREAS SHALL BE SLOPED AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE; MINIMUM GRADIENT SHALL BE NO LESS THAN 2.0% AND MAXIMUM GRADIENT SHALL BE NO MORE THAN 33%.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

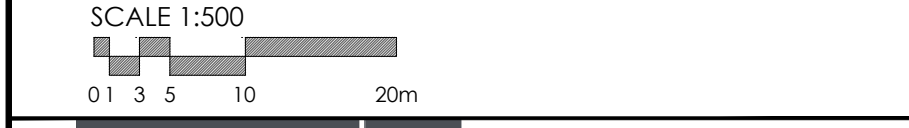
BYLAW REQUIREMENTS

- BIKE RACKS REQUIRED ON SITE: 50, BIKE RACKS PROVIDED ON SITE: 50

DP-11	ISSUED FOR INTAKE COMMENTS	2026-05-22	MG	CR
DP-0	ISSUED FOR DEVELOPMENT PERMIT	2026-04-30	MG	CR

NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD
PERMIT				

	BY	DATE (YYYY-MM-DD)
DESIGNED	MG	2026-04-10
DRAWN	MG	2026-04-14
CHECKED	CR	2026-04-17



PROJECT
RANCHMAN'S MIXED-USE DEVELOPMENT
 MCLEOD TRAIL S.E. CALGARY, AB

SHEET TITLE
LAYOUT PLAN

FILE NO. 12345678L-101.dwg	SHEET NO. L110
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DRAWN	BY	DATE	PROJECT NO.
	MG	2026-04-14	

Z: \\Shared\Calgary\Projects\Library\DEVELOPMENT\26-063 - Ranchman's 03 DP-00\WORKING\Drawings\Ranchmans.dwg

PLANTING PLAN LEGEND

- PROPERTY LINE
- WOOD SCREEN FENCE
- SANITARY SEWER PIPE
- WATER MAIN PIPE
- STORM WATER PIPE
- GAS PIPE
- POWER LINE
- CATCH BASIN/MANHOLE
- WATER HYDRANT BY ENG.

AMENITIES

- BIKE RACK
- TREE GRATE

HARD SURFACING

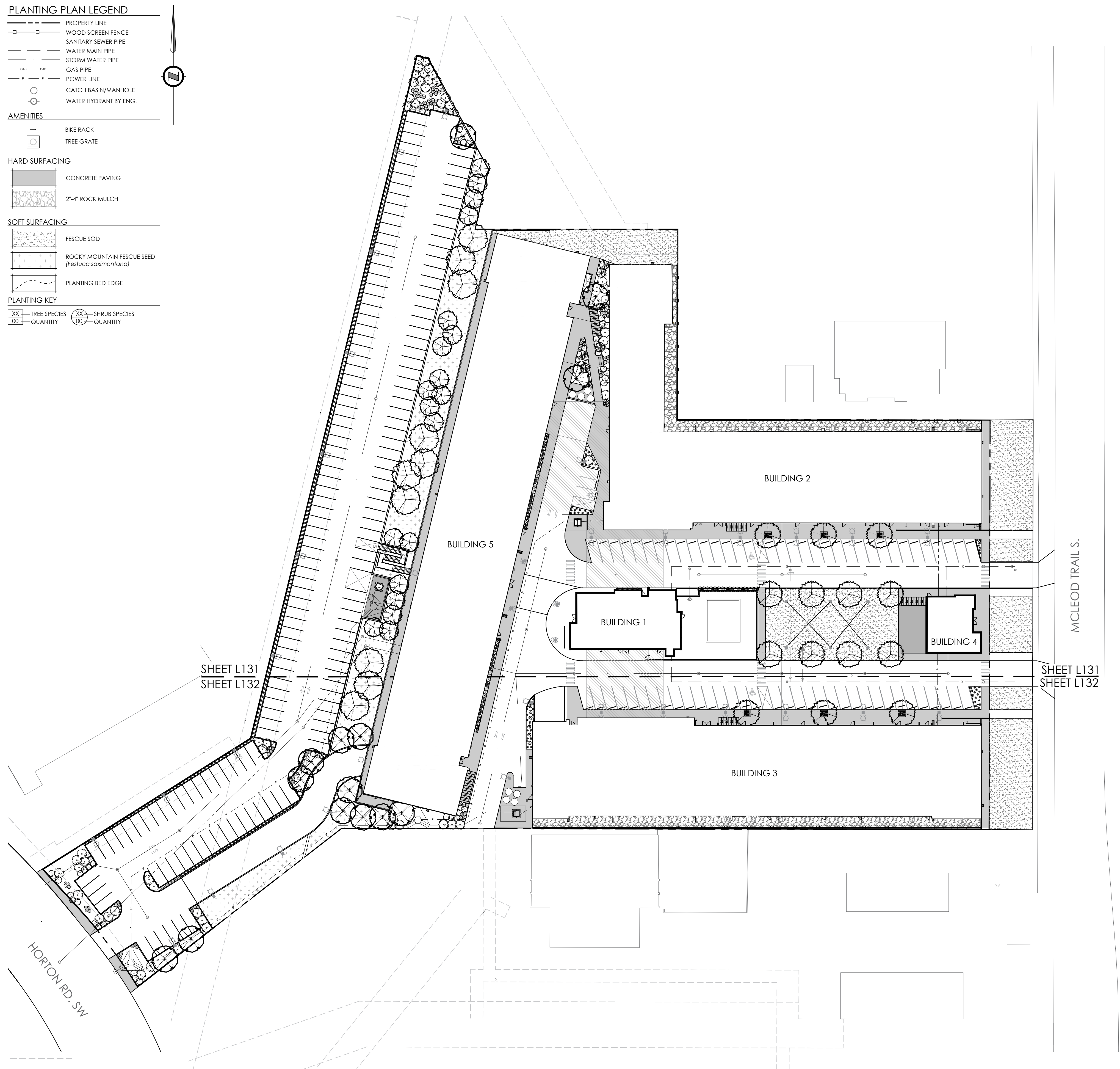
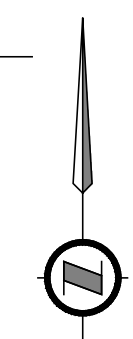
- CONCRETE PAVING
- 2"-4" ROCK MULCH

SOFT SURFACING

- FESCUE SOD
- ROCKY MOUNTAIN FESCUE SEED (*Festuca saximontana*)
- PLANTING BED EDGE

PLANTING KEY

- XX TREE SPECIES
- OO QUANTITY
- XX SHRUB SPECIES
- OO QUANTITY



PLANTING NOTES

1. MINIMUM SETBACKS FOR TREES (CURRENT DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS: LANDSCAPE CONSTRUCTION 4.1.3)

Deep Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
Sanitary	3.0 m	4.0 m	0 m ^B	2.5 m	3.0 m	0 m ^B
Storm (4.5m deep)	3.0 m	4.0 m	0 m ^B	2.5 m	3.0 m	0 m ^B
Water	3.0 m	4.0 m	0 m ^B	2.5 m	3.0 m	0 m ^B
Hydrants	3.0 m	4.0 m	N/A	2.5 m	N/A	3.0 m
Shallow Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
ATCO	2.0 m ^B	2.0 m ^B	2.0 m	2.0 m	2.0 m ^B	2.0 m ^B
TELUS	2.0 m ^B	2.0 m ^B	1.5 m	1.5 m	2.0 m ^B	2.0 m ^B
CTV	2.0 m ^B	2.0 m ^B	1.5 m	1.5 m	2.0 m ^B	2.0 m ^B
ENMAX	2.0 m ^B	2.0 m ^B	1.5 m	1.5 m	2.0 m ^B	2.0 m ^B
Overhead (to outside conductor)		9.0 m		7.0 m - 9.0 m		7.0 m - 9.0 m
Transformers (utility right of way)		N/A (free planting not permitted within utility right-of-way)				
Street Light Poles		5.0 m		4.0 m - 5.0 m		Min. 4.0 m

- A) A 3.0m SEPARATION MAY BE REQUIRED AT THE DISCRETION OF THE UTILITIES.
- B) PIPE JOINTS ARE NOT PERMITTED ON WATER OR SEWER SERVICES LOCATED UNDER MEDIANS.
- C) TREES ON RESIDENTIAL (15m ROW) BOULEVARDS, WITH NO SIDEWALKS, CAN BE PLANTED 1.0m FROM DRIVEWAYS, DRIVEWAY CROSSINGS ARE TO BE ALIGNED, WHEREVER POSSIBLE, TO ALLOW SPACE FOR TREE PLANTING.
- 2. THE EXACT LOCATION OF TREES SHALL BE DETERMINED ON SITE AND SHALL BE SUBJECT TO DRIVEWAY LOCATIONS, SERVICING, AND STREET LIGHTING, AND OTHER FURNISHINGS WHERE APPLICABLE. RECORD DRAWINGS ARE REQUIRED IF THERE ARE MAJOR CHANGES.
- 3. TREES PLANTED 2.5M OR LESS FROM FENCE LINES WILL BE BEDDED.
- 4. BEDS AND TREE WELLS TO RECEIVE A MINIMUM OF 75mm DEPTH OF CLEAN CONIFEROUS TREE MULCHED IMMEDIATELY TO ENSURE MOISTURE IS MAINTAINED IN THE ROOT ZONE TO FACILITATE EARLY ROOT DEVELOPMENT AND PROVIDE THE TREES WITH THE BEST ESTABLISHMENT OPPORTUNITY.
- 5. ALL PLANT MATERIAL MUST MEET THE SPECIFICATIONS SET OUT IN THE LATEST GUIDE SPECIFICATIONS FOR NURSERY STOCK PREPARED BY THE CNLA AND ISA.
- 6. AT TIME OF ACCEPTANCE, ALL MATERIAL MUST BE A HEALTHY, VIGOROUS GROWING CONDITION PER CITY OF CALGARY PARKS SPECIFICATIONS AND DETAILS.
- 7. PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR AS OUTLINED IN THE CONTRACT AND AS PER CITY OF CALGARY PARKS LANDSCAPE GUIDELINES, SPECIFICATIONS AND DETAILS UNTIL THE DATE OF FINAL ACCEPTANCE CERTIFICATE.
- 8. APPLY TOPSOIL TO THE FOLLOWING MINIMUM DEPTHS, MEASURED AT RIGHT ANGLES TO THE SUBGRADE AFTER LEVELING WITH A TOLERANCE OF 25mm OVER A DISTANCE OF 2.4m:
 - 125mm FOR SODDED AREAS
 - 150mm FOR SEEDED AREAS
 - 400mm FOR FLOWER BEDS
 - 600mm FOR SHRUB BEDS
- 9. A LOW WATER IRRIGATION SYSTEM IS PROVIDED
- 10. THE DELIVERY OF THE IRRIGATED WATER IS CONFINED TO TREES AND SHRUBS.
- 11. TREES AND SHRUBS WITH SIMILAR WATER REQUIREMENTS ARE GROUPED TOGETHER.

PLANTING SETBACK AND SPACING NOTES

Setback Situation	Poplar Trees, Willow Trees, and Shrubs		Other Deciduous Trees	Coniferous Trees
	Open Spaces, Vertical Elements, Hard Surfaces, and Irrigation Mainline	5 m	2 m	1/2 max spread
Boulevards and Medians: Back of curb, sidewalk, pathway, and driveway	10 m	1 m	1/2 max spread	
Private Property: chain link fence post & cable fence wood screening fence	10 m	2 m	1/2 max spread	
Sport Fields	10 m	1/2 max spread from 3 m buffer	1/2 max spread from 3 m buffer	
Tree Spacing	1/2 max spread or 5 m (whichever is less)		1/2 max spread	

- a. Poplar trees:
 - i) All poplars except for trembling aspen and Swedish Columnar aspen.
 - ii) The minimum set backs for poplars may be reviewed upon request.
- b. If other deciduous trees and coniferous trees are less than 3.5 m from vertical elements and hard surfaces or private property lines the trees must be placed in mulched beds.
- c. Maximum tree spread per Alberta Yards & Gardens: What to Grow - Agdex 200/32-1.
- d. No more than 50% of any one species planted in a park will be poplar as per the Poplar Tree Policy.

SEEDING NOTES

- 1. SUBGRADE TO BE SCARIFIED TO ENSURE ADEQUATE DRAINAGE.
- 2. APPLY TOPSOIL:
 - 150mm FOR SEEDED AREAS
 - 300mm FOR NATIVE SEEDED AREAS
- 3. CONTRACTOR TO PROVIDE SEED CERTIFICATES TO PARKS INSPECTOR FOR REVIEW AND APPROVAL PRIOR TO SEED APPLICATION. ALL SPECIES SUBSTITUTES WILL BE REQUIRE ADDITIONAL APPROVAL FROM CITY PARKS.
- 4. APPLY SEED MIX BY BRILLION SEEDING OR OTHER APPROVED ALTERNATIVES.
- 5. DO ALL SEEDING IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE DURING THE PERIOD FROM MAY 1 TO SEPTEMBER 30 (OR AS WEATHER PERMITS), WHEN WIND SPEEDS ARE MINIMAL, AND WHEN SITE CONDITIONS ARE APPROVED BY THE PARKS.
- 6. APPLY 91 kg/ha OF 16-20-0 FERTILIZER AT THE TIME OF SEEDING AND THEN, TWO MONTHS INTO THE GROWING SEASON, APPLY 32 kg/ha OF 32-4-8 FERTILIZER.
- 7. PROTECT ALL NEWLY SEEDED AREAS AS REQUIRED AND REMEDY ALL DAMAGED AREAS AND UNTIL TURF HAS PROPERTY ESTABLISHED.

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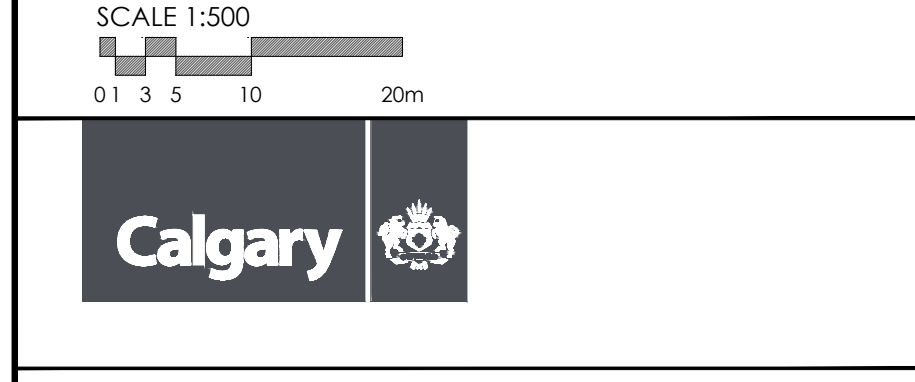


NAD 83 COORDINATES

NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD
DP-11	ISSUED FOR INTAKE COMMENTS	2026-05-22	MG	CR
DP-0	ISSUED FOR DEVELOPMENT PERMIT	2026-04-30	MG	CR
PERMIT SEAL				
DESIGNED		MG	DATE 2026-04-10 (YYYY-MM-DD)	
DRAWN		MG	2026-04-14	
CHECKED		CR	2026-04-17	

BY	DATE (YYYY-MM-DD)
MG	2026-04-10
MG	2026-04-14
CR	2026-04-17

SCALE 1:500
 0 1 3 5 10 20m



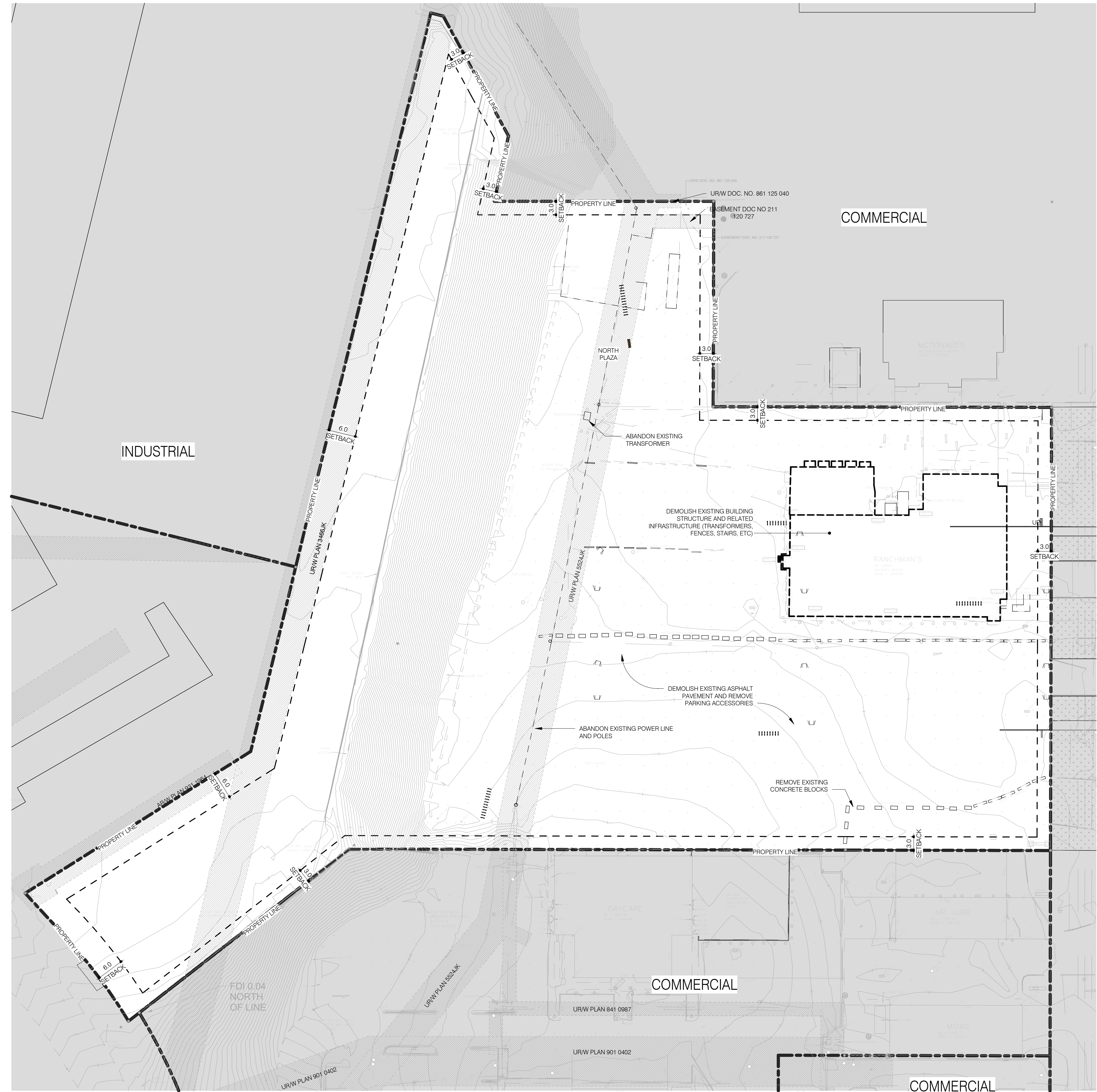
PROJECT
 RANCHMAN'S MIXED-USE DEVELOPMENT
 MCLEOD TRAIL S.E. CALGARY, AB

SHEET TITLE
 PLANTING PLAN

FILE NO.	SHEET NO.	
12345678L-101.dwg	L131	
BY	DATE	PROJECT NO.
MG	2026-04-14	----

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REVISION NO.	DESCRIPTION	REVISION ISSUED/ PLOTTED
010	ISSUED FOR DEVELOPMENT PERMIT	APRIL 30, 2026



VIEW 1



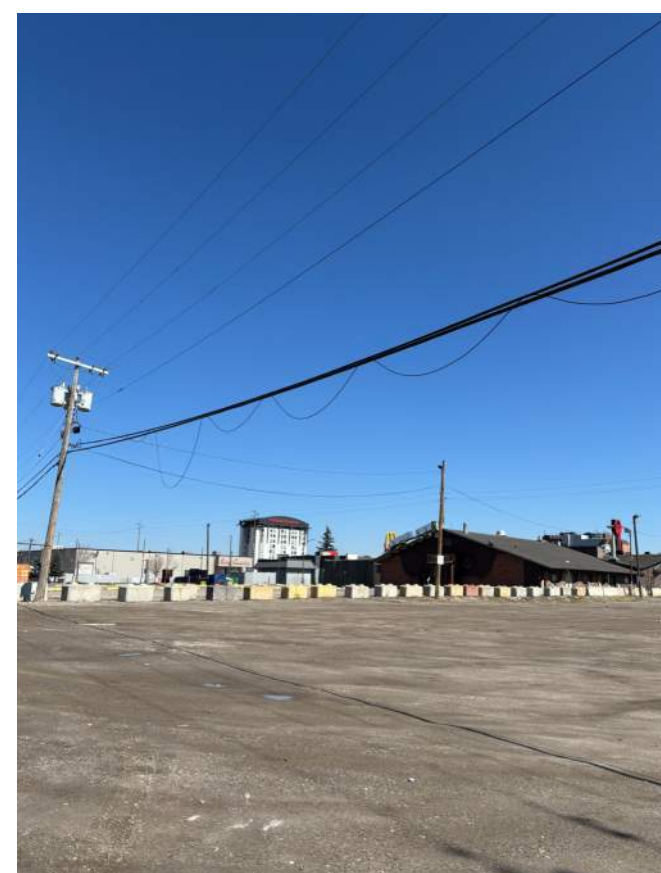
VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6

N
 SITE PLAN - DEMOLITION
 SCALE 1" = 40'-0"

EXISTING CONDITIONS - PHOTOS
 SCALE 1" = 80'-0"

number TEN architectural group
 Winnipeg Office 204 942.0981
 Victoria Office 250 360.2106
 architecture • interior design • planning

RANCHMAN MIXED-USE DEVELOPMENT
 CALGARY, ALBERTA

project

EXISTING CONDITIONS

sheet title

consultant

seal

drawn by: TN

checked by: LB

project no. 2026002

scale: As indicated

date: 2026-04-30

sheet no. DP-S-001

2026-05-01 1:07:16 PM

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REVISION NO.	DESCRIPTION	ISSUED FOR DEVELOPMENT PERMIT	ISSUED FOR DP-INTAKE COMMENTS	REVISION NO.	DESCRIPTION	ISSUED FOR DEVELOPMENT PERMIT	ISSUED FOR DP-INTAKE COMMENTS
DP-0		APRIL 30, 2026					
DP-11		MAY 22, 2026					

PROJECT INFORMATION

LEGAL ZONING INFORMATION
LEGAL DESCRIPTION: LOT 9 BLOCK 9 PLAN 601 SJK
MUNICIPAL ADDRESS: CALGARY, ALBERTA
SITE AREA: 2.28 HECTARES (5.64 ACRES)
ZONING: M.U.2
BUILDING CODE: ALBERTA BUILDING CODE 2023

UNIT COUNT

- 1-BED	080	17.0%
- 1-BED + DEN	132	28.1%
- 1-BED + DEN LOFT	004	00.9%
- 2-BED	090	17.0%
- 2-BED LOFT	005	01.1%
- 2-BED + DEN	141	31.3%
- 2-BED + DEN LOFT	006	01.3%
- 3-BED	015	03.2%
- 3-BED LOFT	001	00.2%
TOTAL	470	UNITS

DENSITY REQUIRED
NO MAXIMUM DENSITY REQUIREMENT

DENSITY PROVIDED
286.1 UPH (833 UPA)

COMMERCIAL AREA

BUILDING 2	14,197	SO.FT.
BUILDING 3 (FENKY)	14,651	SO.FT.
BUILDING 4 (FENKY)	1,380	SO.FT.
TOTAL	30,228	SO.FT.

GROSS BUILDING AREA

- PARKADE A	REFER TO PARKADE SHEETS	
- BUILDING 1 (CLUBHOUSE)	007,772	SO.FT.
- BUILDING 2	153,043	SO.FT.
- BUILDING 3	144,676	SO.FT.
- BUILDING 4 (FENKY)	001,789	SO.FT.
- BUILDING 5	128,488	SO.FT.
TOTAL	485,772	SO.FT.

FLOOR AREA RATIO REQUIRED
NO FLOOR AREA RATIO REQUIREMENT

FLOOR AREA RATIO PROVIDED
1.56

CAR PARKING

CAR PARKING REQUIRED

0.75 STALLS PER UNIT	353
0.1 VISITOR STALLS PER UNIT	47
TOTAL	400

* COMMERCIAL PARKING REQUIREMENT ESTABLISHED BY PROPERTY DEVELOPER.

CAR PARKING PROVIDED

DWELLING SURFACE PARKING	120
VISITORS SURFACE PARKING	047
COMMERCIAL SURFACE PARKING	068
TOTAL SURFACE PARKING	235

PARKADE A LEVEL P-02

PARKADE A LEVEL P-01	084
TOTAL UNDERGROUND PARKING	270

TOTAL UNDERGROUND PARKING 270

TOTAL PARKING 589

RATIO-RESIDENTIAL ONLY: 1.11

RATIO-TOTAL: 1.25

RESIDENTIAL CAR PARKING PROVIDED (FOR LIB. REQ. CONFIRMATION)

RESIDENTIAL SURFACE PARKING	120
RESIDENTIAL UNDERGROUND PARKING	353
TOTAL RESIDENTIAL PARKING:	474

BARRIER-FREE PARKING SPACES REQUIRED: PER ABC 3.8.2.3, 7 BARRIER-FREE STALLS ARE REQUIRED. IN PROXIMITY OF EACH BUILDING ENTRANCE.

AND ONE BARRIER FREE STALL REQUIRED PER PARKADE LEVEL IN PROXIMITY OF EACH BUILDING ENTRANCE.

TOTAL: 08 REQ.

BARRIER-FREE PARKING SPACES PROVIDED:

SURFACE BARRIER-FREE STALLS	03
PARKADE A BARRIER-FREE STALLS	05
TOTAL BARRIER-FREE STALLS	08

BICYCLE STORAGE

BIKE PARKING SPACE REQUIRED: CLASS 1: REFER TO PARKADE A SHEETS FOR BIKE PARKING SPACE REQUIREMENTS.

CLASS 2: REFER TO LANDSCAPE DRAWINGS FOR COUNT, LOCATIONS AND DETAILS.

LOADING

LOADING SPACE REQUIRED: 4 LOADING SPACES.

LOADING SPACE PROVIDED: 2 LOADING SPACES

- 1 SHARED LOADING SPACE BETWEEN BUILDING 2 & 3
- 1 SHARED LOADING SPACE BETWEEN BUILDING 3 & 4

FIRE PROTECTION

REFER TO SHEET DP-S-004 FOR FIRE PROTECTION INFORMATION.

PEDESTRIAN CONNECTIVITY

REFER TO SHEET DP-S-005 FOR PEDESTRIAN CONNECTIVITY INFORMATION.

AMENITY AREA

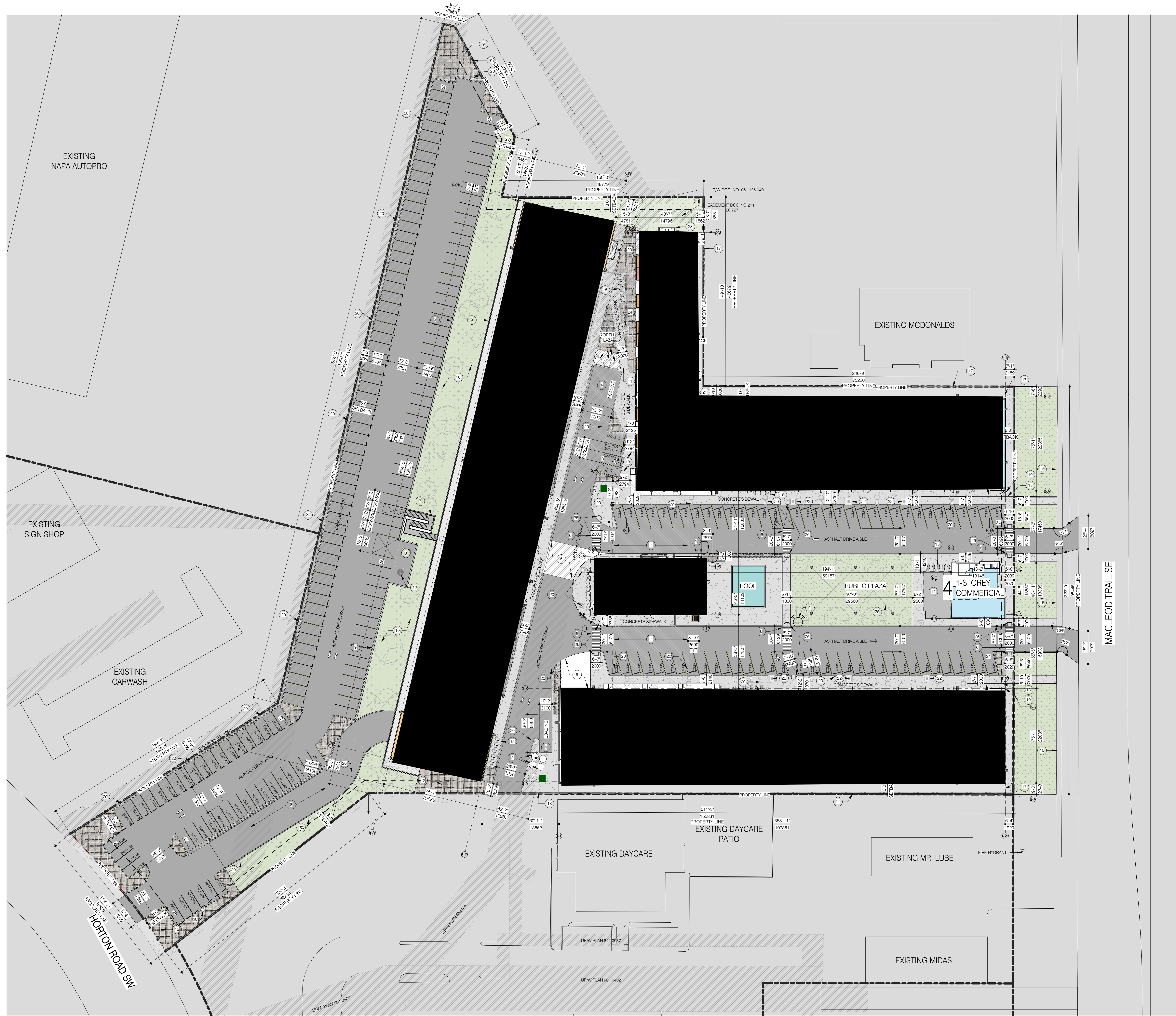
REFER TO SHEET DP-S-006 & DP-S-007 FOR AMENITY AREA INFORMATION.

WASTE COLLECTION

REFER TO SHEET DP-S-012 FOR WASTE COLLECTION INFORMATION.

SITE PLAN KEYNOTES:

- | # | SITE PLAN KEYNOTE |
|----|---|
| 1 | FIRE HYDRANT |
| 2 | SEMI RECESSED WASTE/RECYCLABLE CONTAINER (MOLOK OR APPROVED ALTERNATE) |
| 3 | ELECTRICAL TRANSFORMER ON CONCRETE PAD |
| 4 | LOADING ZONE AREA |
| 5 | RAISED CROSSWALK |
| 6 | ZEBRA CROSSWALK |
| 7 | OUTDOOR STAIRS |
| 8 | PARKADE ACCESS RAMP C/W CONCRETE RETAINING WALLS AND ALUMINUM GUARD RAILS |
| 9 | ALLAN BLOCK RETAINING WALL |
| 10 | LANDSCAPED SLOPE |
| 11 | OUTLINE OF PARKADE BELOW |
| 12 | ELECTRICAL PULLBOX ON CONCRETE PAD |
| 13 | PROPOSED CONCRETE SIDEWALK |
| 14 | FUTURE PATIO, NOT IN CONTRACT. |
| 15 | BICYCLE RACKS CLASS 2, REFER TO LANDSCAPE FOR DETAILS AND COUNT. |
| 16 | EXISTING PUBLIC CONCRETE SIDEWALK |
| 17 | CONCRETE RETAINING WALL C/W 6" WOOD LOOK PVC FENCE |
| 18 | CONCRETE RETAINING WALL C/W 3" 6" ALUMINUM GUARDRAIL WITH GLASS INSERTS |
| 19 | CONCRETE STAIRS C/W HANDRAIL |
| 20 | LIGHT FIXTURE |
| 21 | GAS METER |
| 22 | TREE GRATE (REFER TO LANDSCAPE DRAWINGS) |
| 23 | MECHANICAL DOG HOUSE |
| 24 | BENCH (REFER TO LANDSCAPE DRAWINGS) |
| 25 | CATENARY LIGHTING |
| 26 | CURB RAMP |



1 SITE PLAN - WASTE COLLECTION ACCESS PLAN
 SCALE 1" = 30'-0"

number TEN architectural group
 Winnipeg Office 204 942.0981
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RANCHMAN MIXED-USE DEVELOPMENT
 CALGARY, ALBERTA

project
 sheet title
 consultant

seal
 drawn by: RC/TNJ/TLB
 checked by: LB
 project no. 2026002

scale: As indicated
 date: 2026-04-30
 sheet no. DP-S-003

SHADOW STUDY

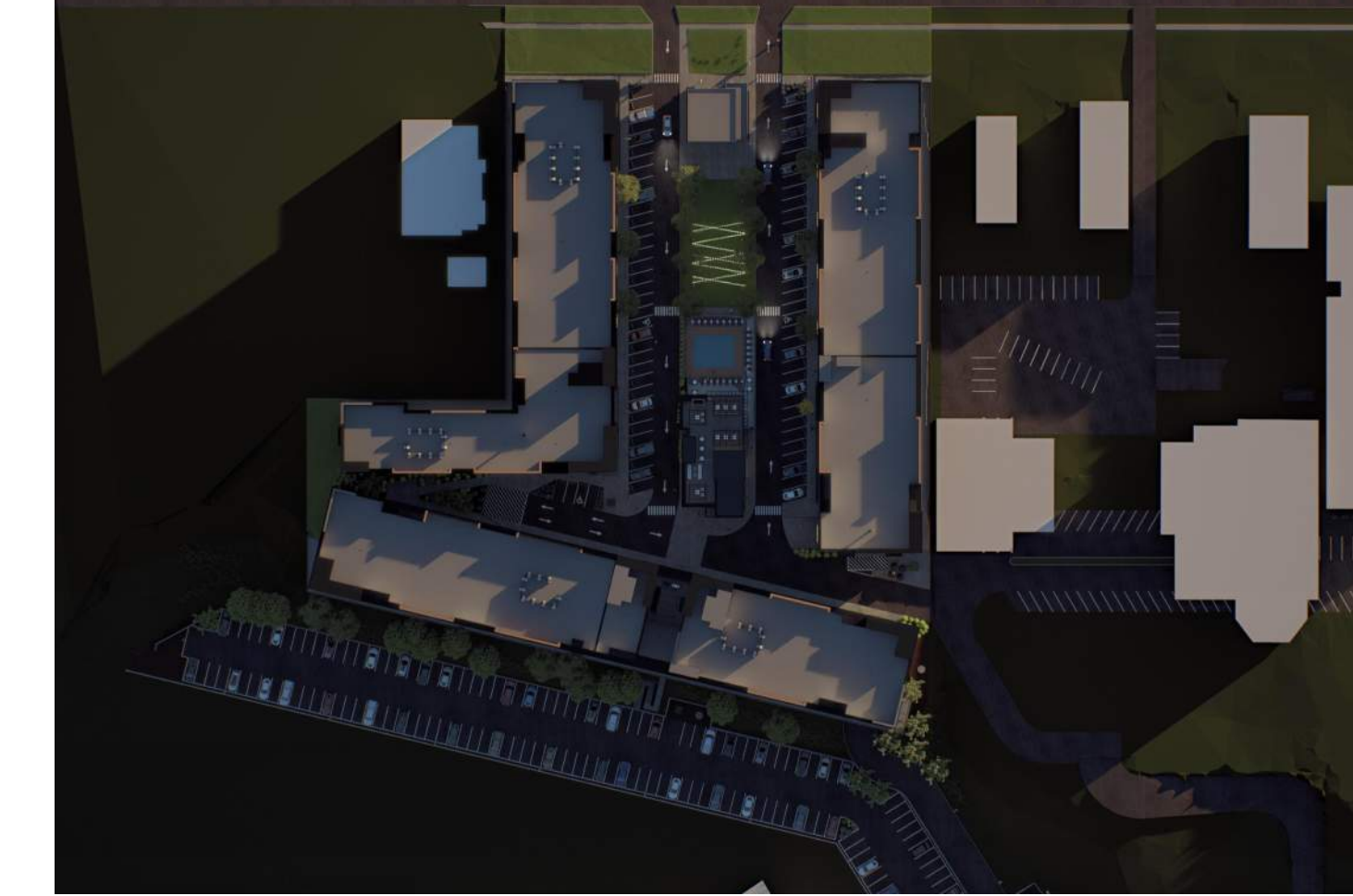
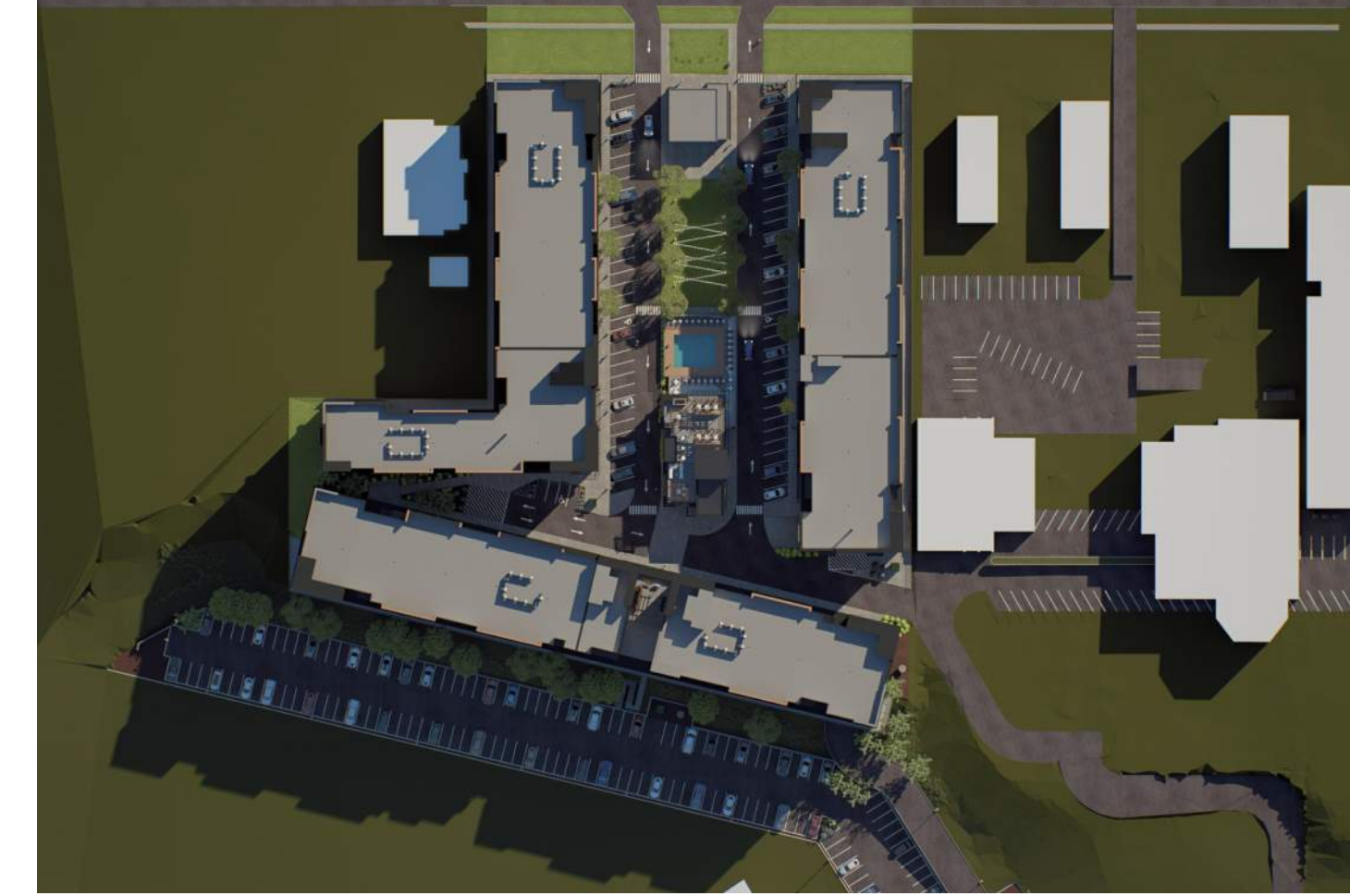
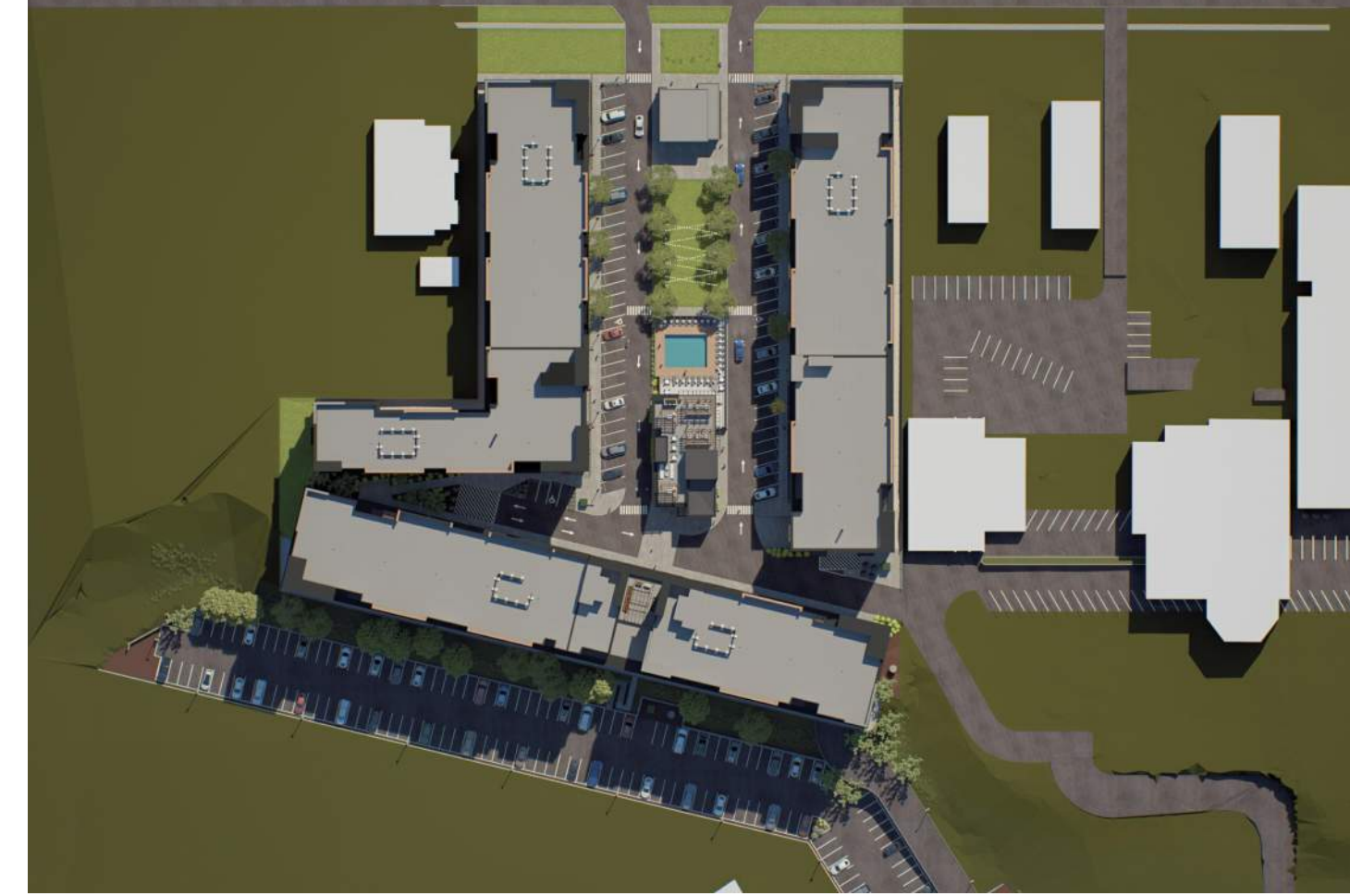
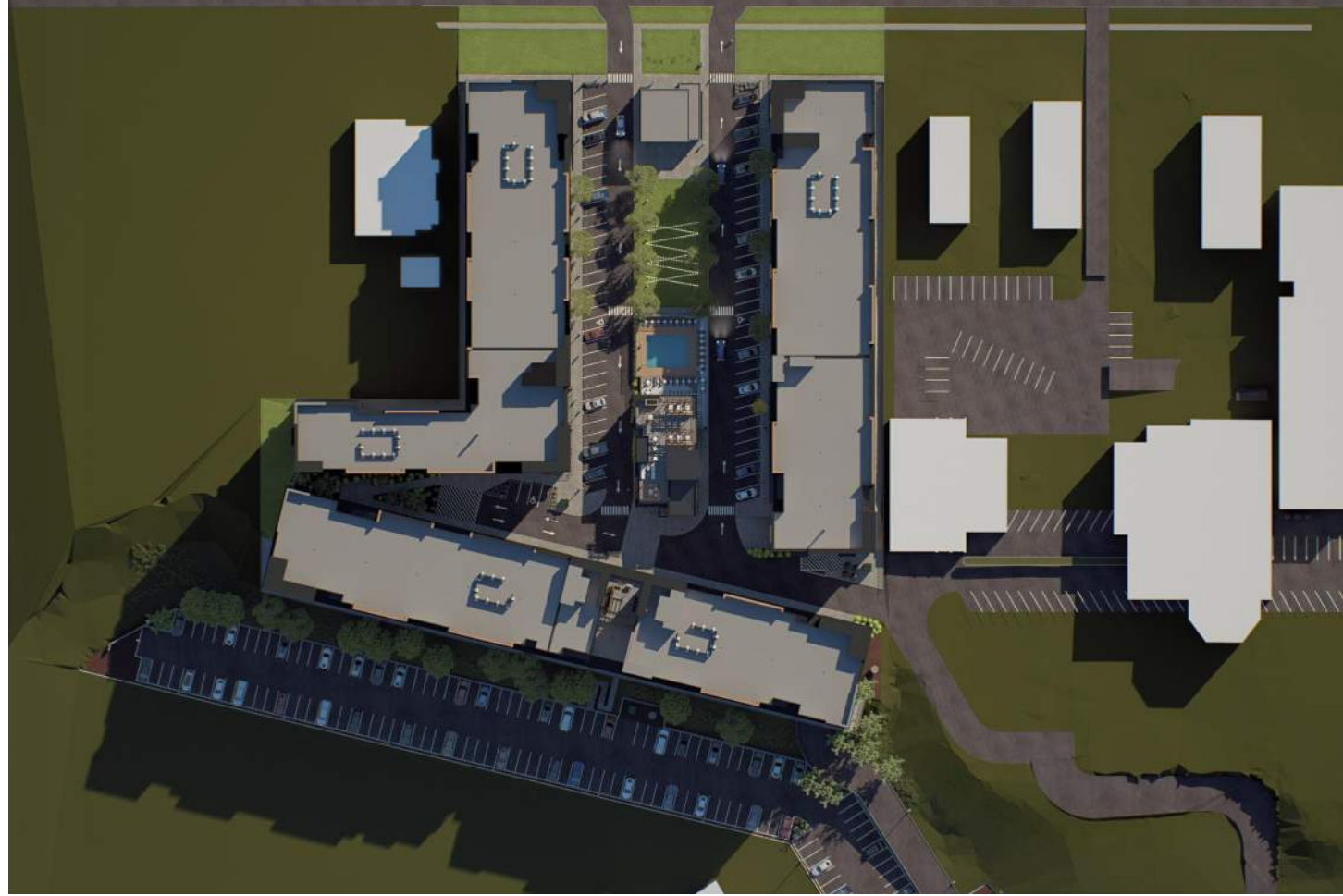
SPRING EQUINOX (MARCH 21)

SUMMER SOLSTICE (JUNE 21)

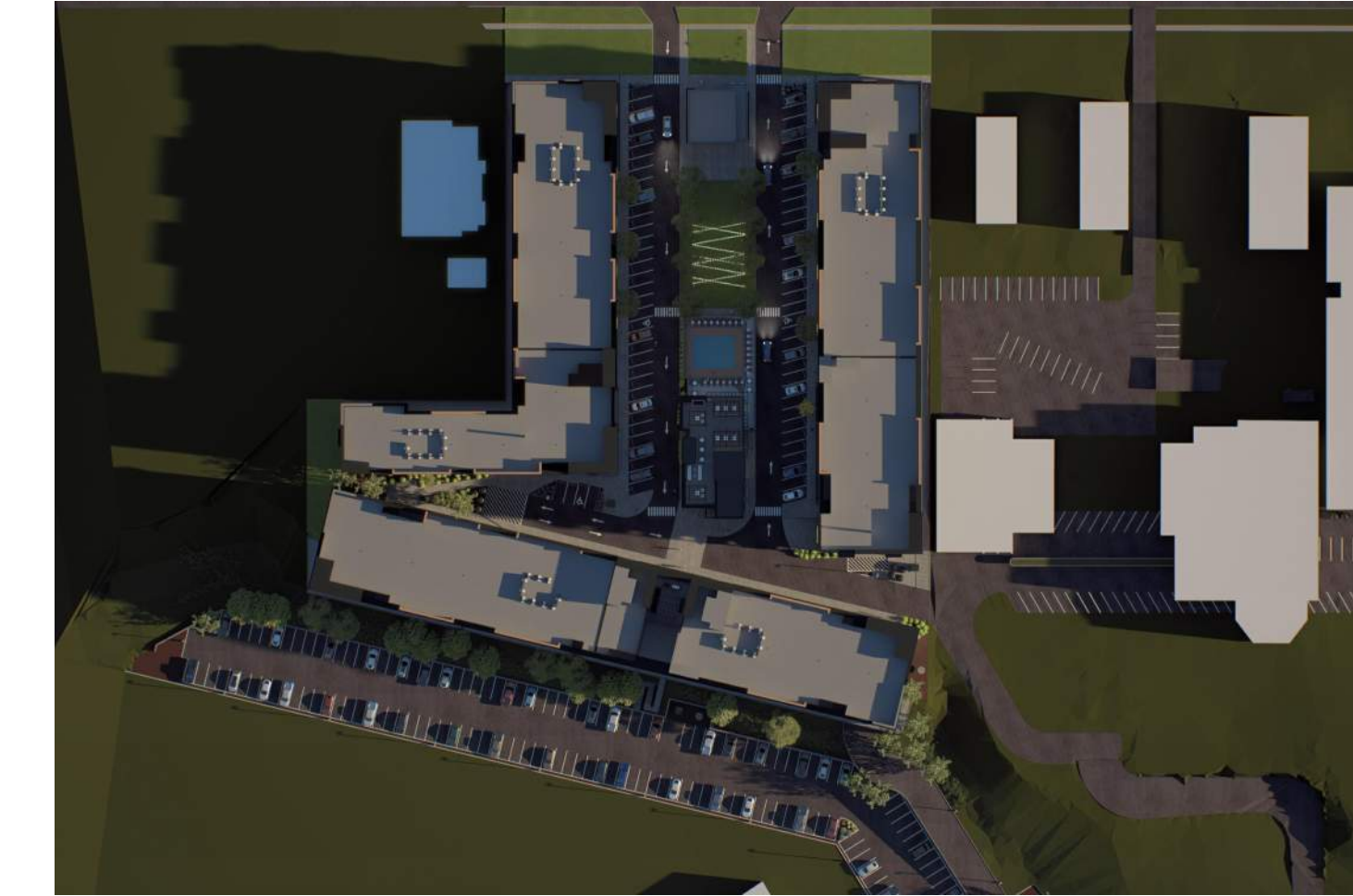
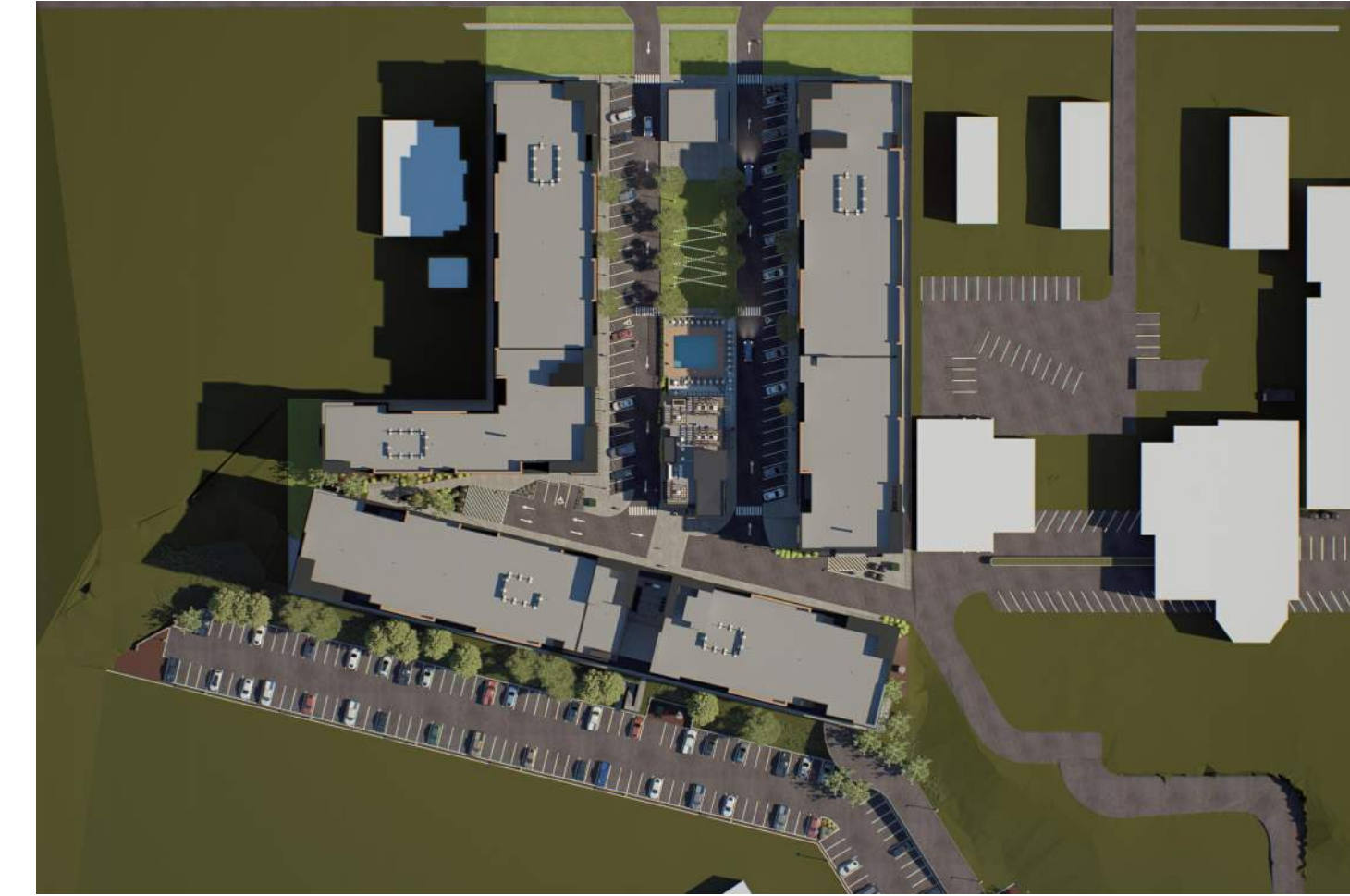
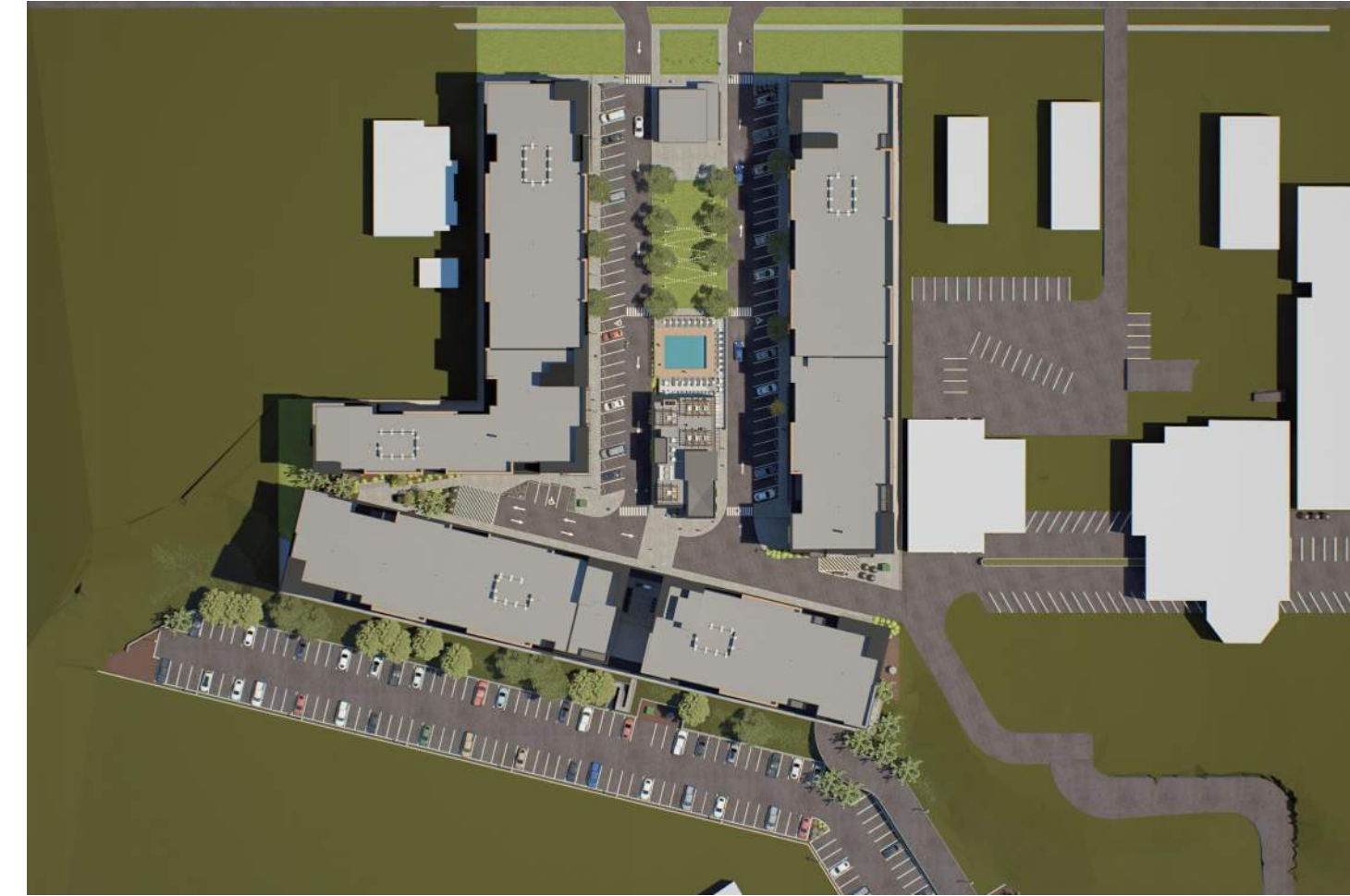
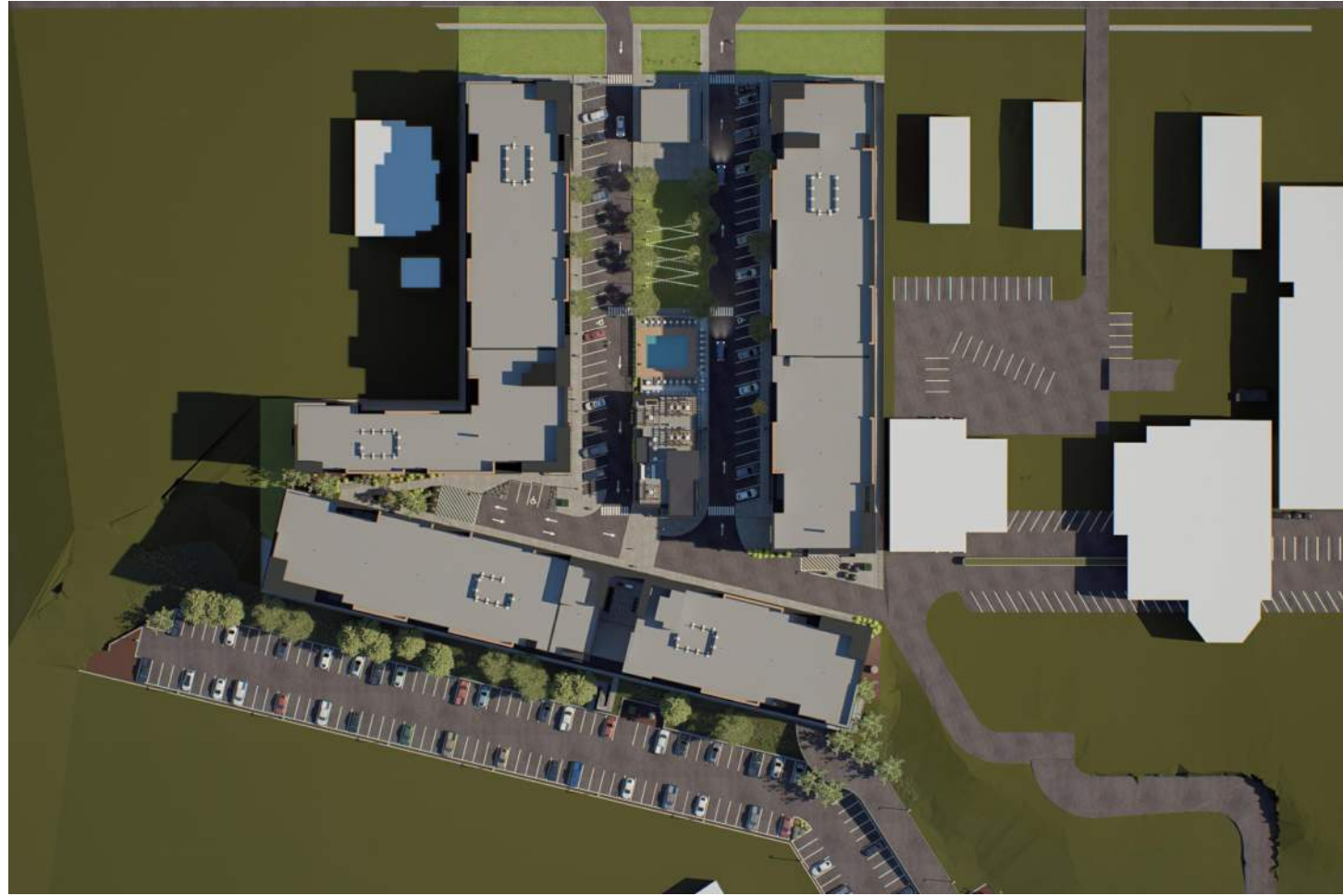
AUTUMN EQUINOX (SEPTEMBER 21)

WINTER SOLSTICE (DECEMBER 21)

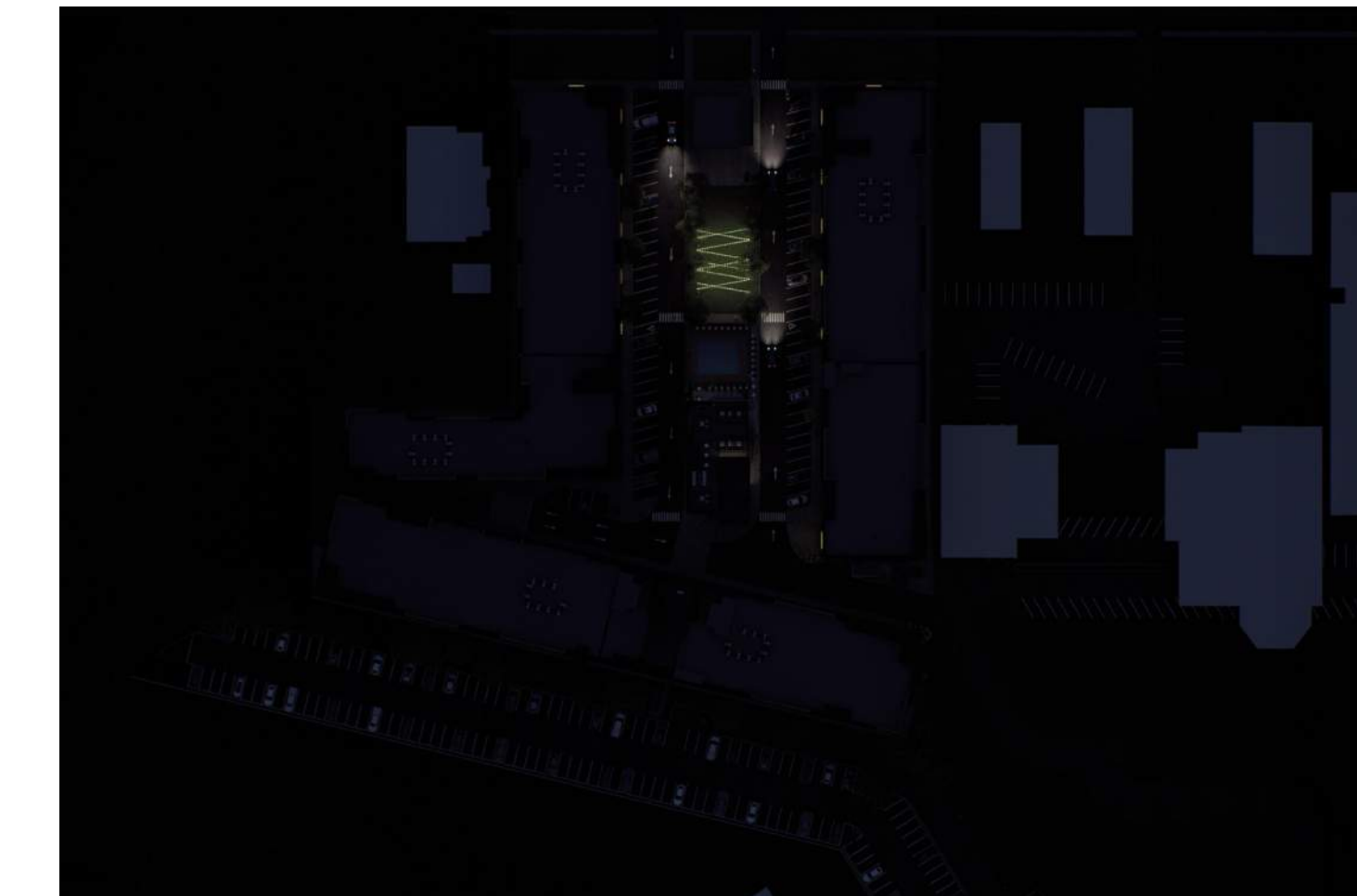
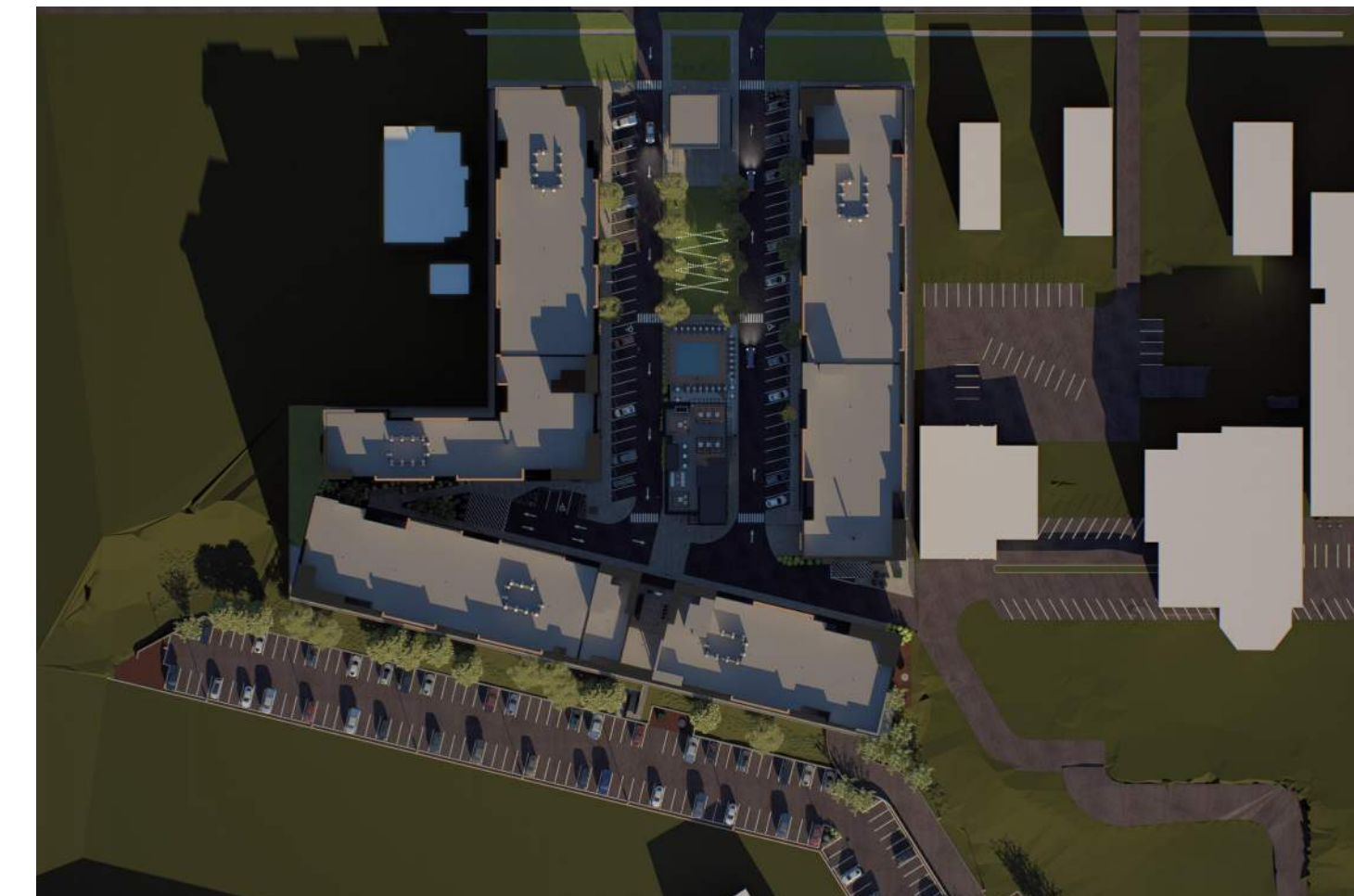
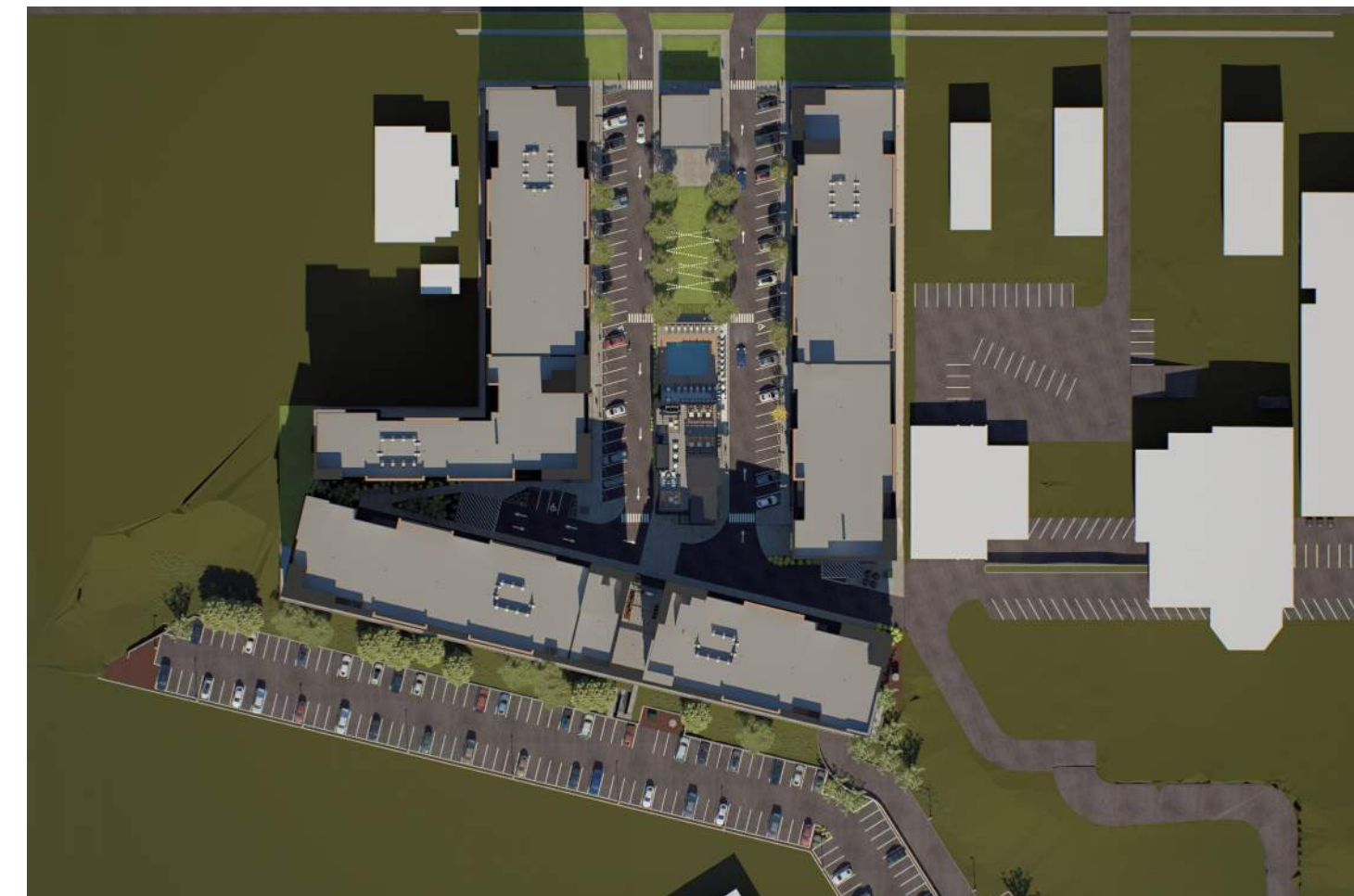
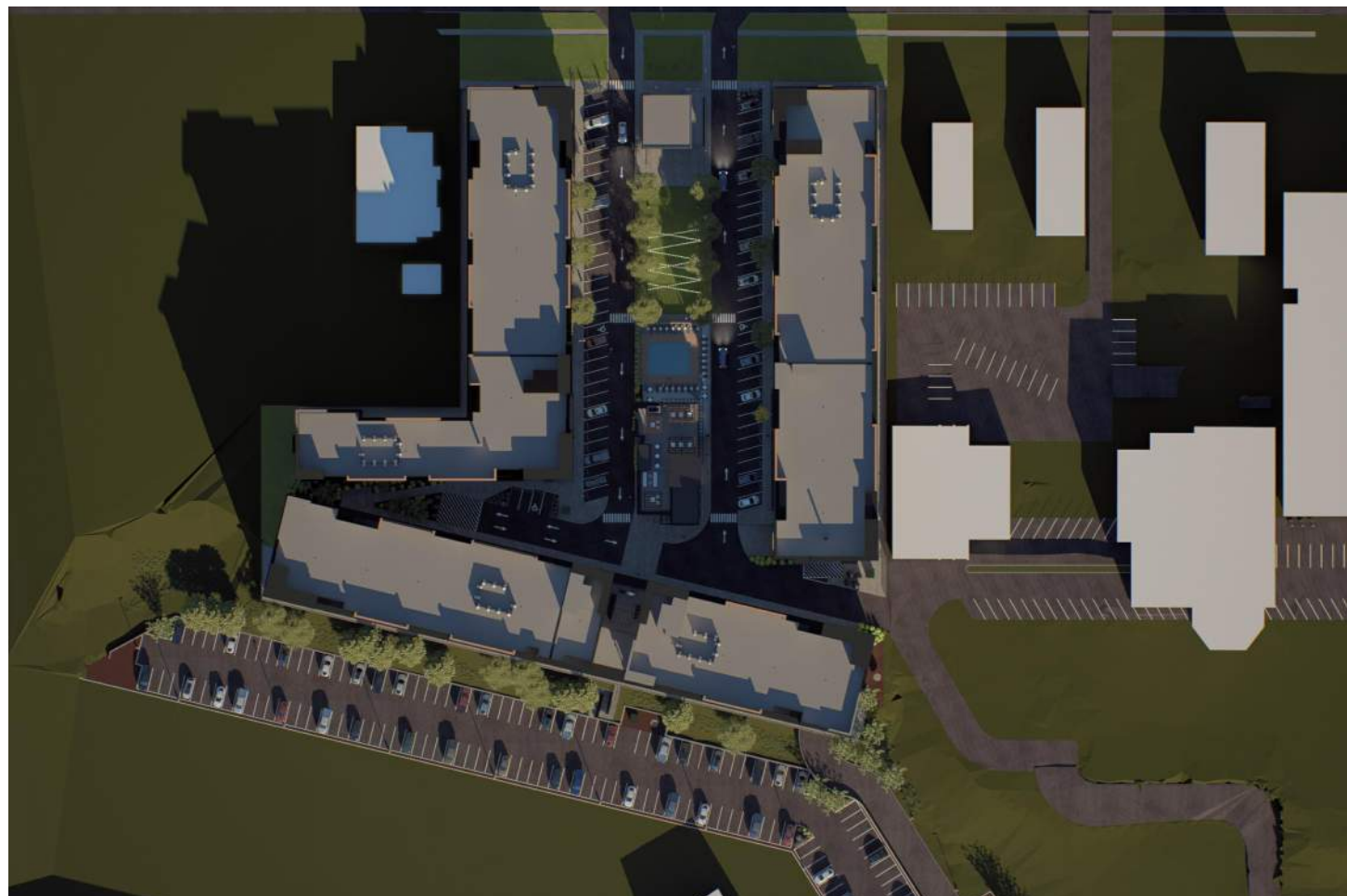
9:00am



12:00pm



4:00pm



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DP-0	ISSUED FOR DEVELOPMENT PERMIT	APRIL 30, 2026

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 architectural group **10**
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RANCHMAN MIXED-USE DEVELOPMENT
 CALGARY, ALBERTA

project
 SHADOW STUDY

sheet title
 consultant

seal
 drawn by: RC/LB
 checked by: LB
 project no. 2026002

scale:
 date: 2026-04-30
 sheet no. DP-S-014

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BUILDING 1 CLUBHOUSE

CALGARY, ALBERTA

ISSUED FOR DEVELOPMENT PERMIT
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FROM BUILDING 2 ENTRANCE



FROM BUILDING 3 CORNER



RANCHMAN CLUBHOUSE
 CALGARY, ALBERTA

BUILDING 1 - COVER PAGE

consultant

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 project no. 2026002

scale:
 date: 2026-04-30
 sheet no. DP-1-000

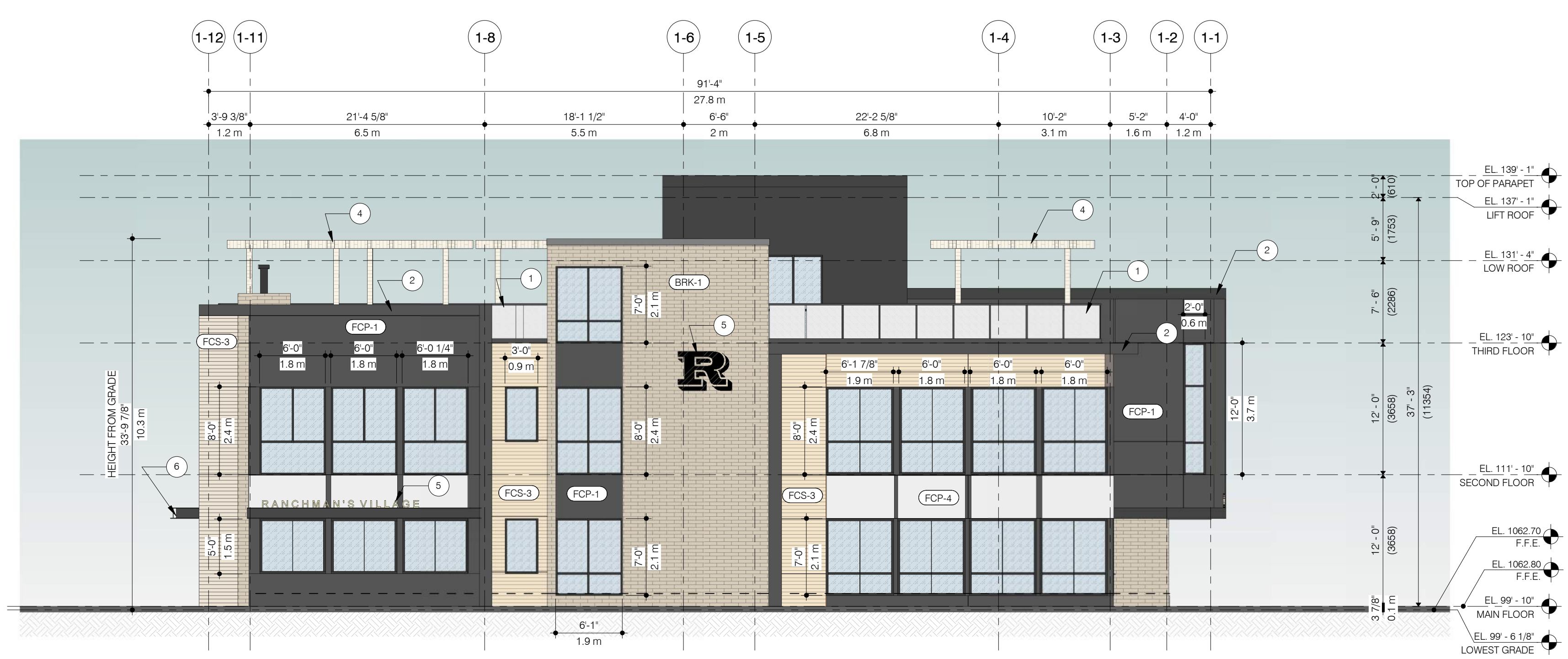
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010			APRIL 30, 2026

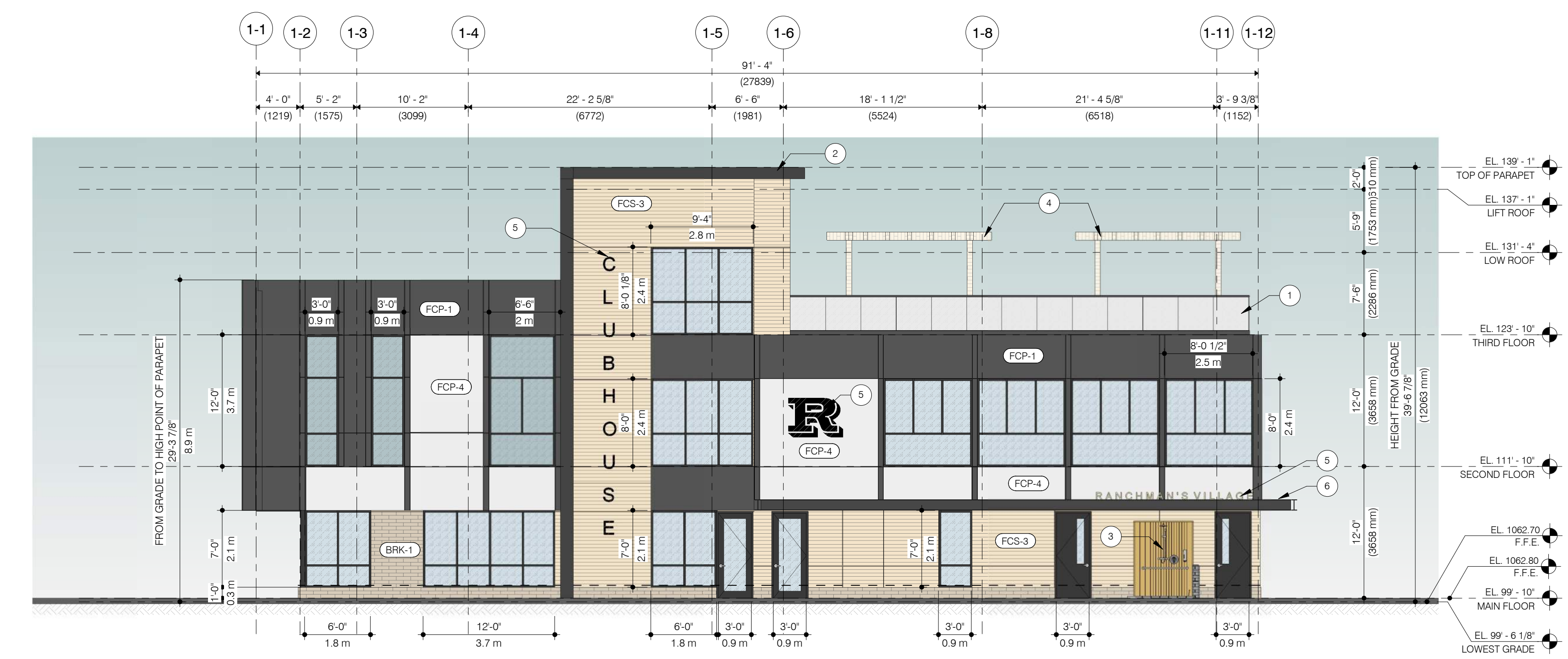
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 REF: TO SPECIFICATIONS AND COLOR CHARTS

FCS-3	FIBER CEMENT LAP SIDING
FCP-1	FIBER CEMENT PANEL
FCP-4	FIBER CEMENT PANEL
BRK-2	BRICK VENEER

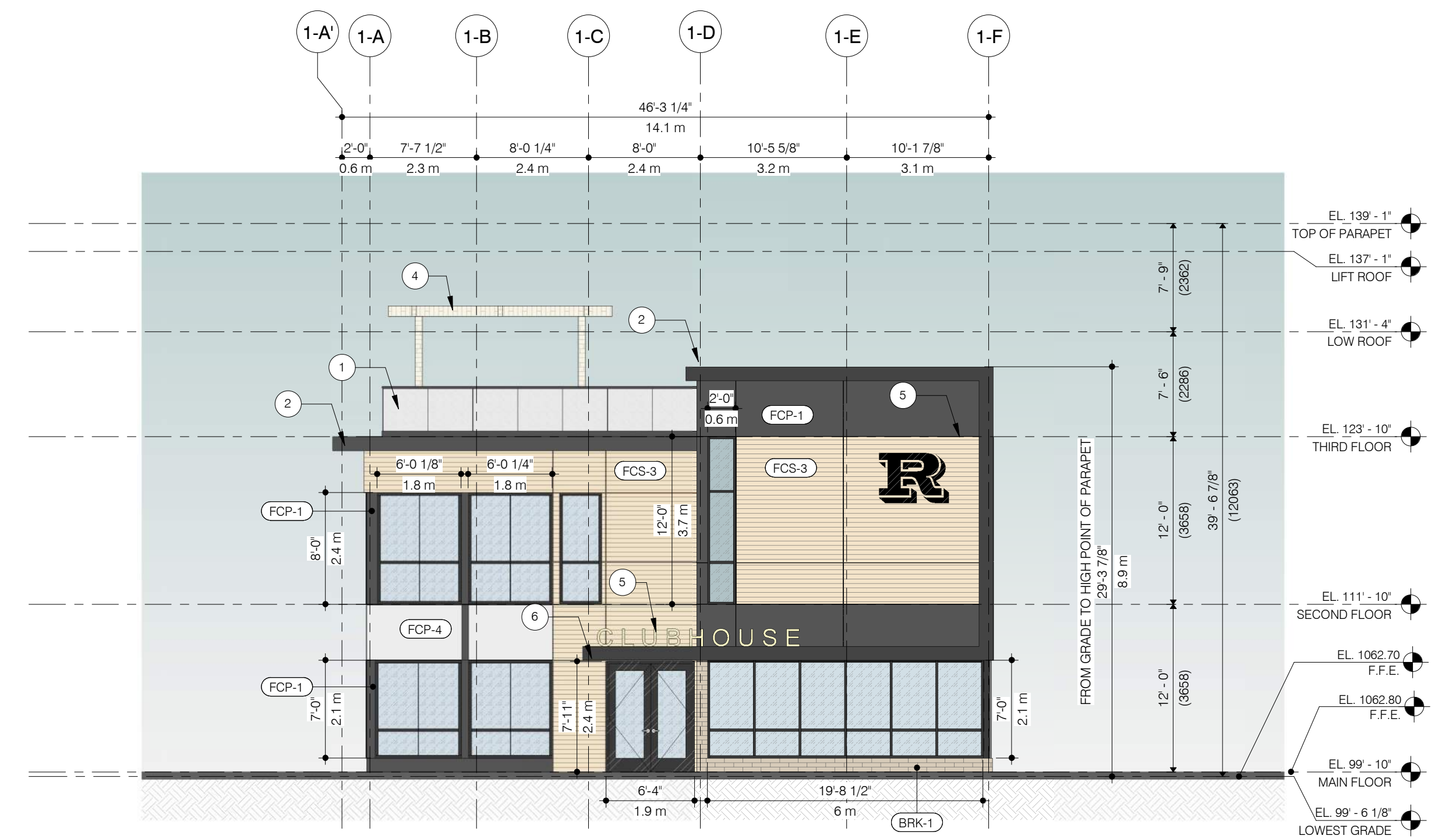
- BUILDING ELEVATIONS KEYNOTES:**
- 1 BUILDING ELEVATION KEYNOTE
 - 1 3" 6" ALUMINUM GUARDRAIL CWL GLASS INSERT
 - 2 EXTERIOR WALL BUILDING OUT
 - 3 OUTDOOR SHOWER
 - 4 PERGOLA STRUCTURE
 - 5 BUILDING SIGNAGE
 - 6 OPEN CANOPY STRUCTURE



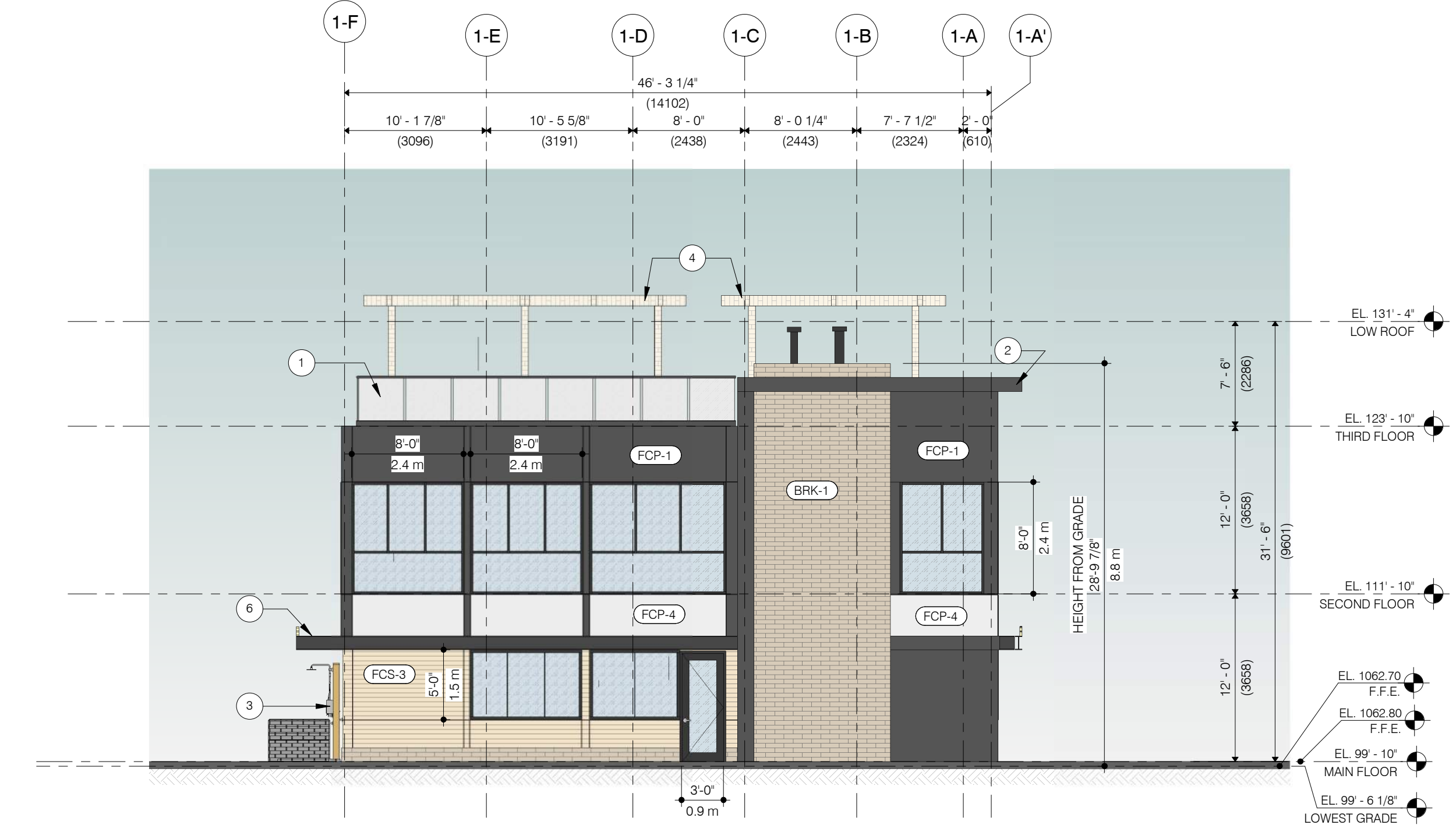
1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

2026.05.01 11:43:19 AM



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RANCHMAN CLUBHOUSE
 CALGARY, ALBERTA
 project
BUILDING 1 - EXTERIOR ELEVATIONS & SECTIONS
 sheet title

consultant

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 drawn by: LB
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 project no. 2026002
 sheet no. DP-1-201

BUILDING 2

CALGARY, ALBERTA

ISSUED FOR DEVELOPMENT PERMIT
APRIL 30, 2026

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REVISION NO.	DESCRIPTION	REVISION ISSUED/ PLOTTED
010	ISSUED FOR DEVELOPMENT PERMIT	APRIL 30, 2026



FROM BUILDING 5 ENTRANCE



FROM MCLEOD TRAIL ENTRANCE

number TEN architectural group **number 10**

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RANCHMAN - BUILDING 2
CALGARY, ALBERTA

project

BUILDING 2 - COVER PAGE

sheet title

consultant

seal

drawn by: MD/TN/JBT

checked by: LB

project no. 2026002

scale:

date: 2026-04-30

sheet no. DP-2-000

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01			01		
02			02		
03			03		
04			04		
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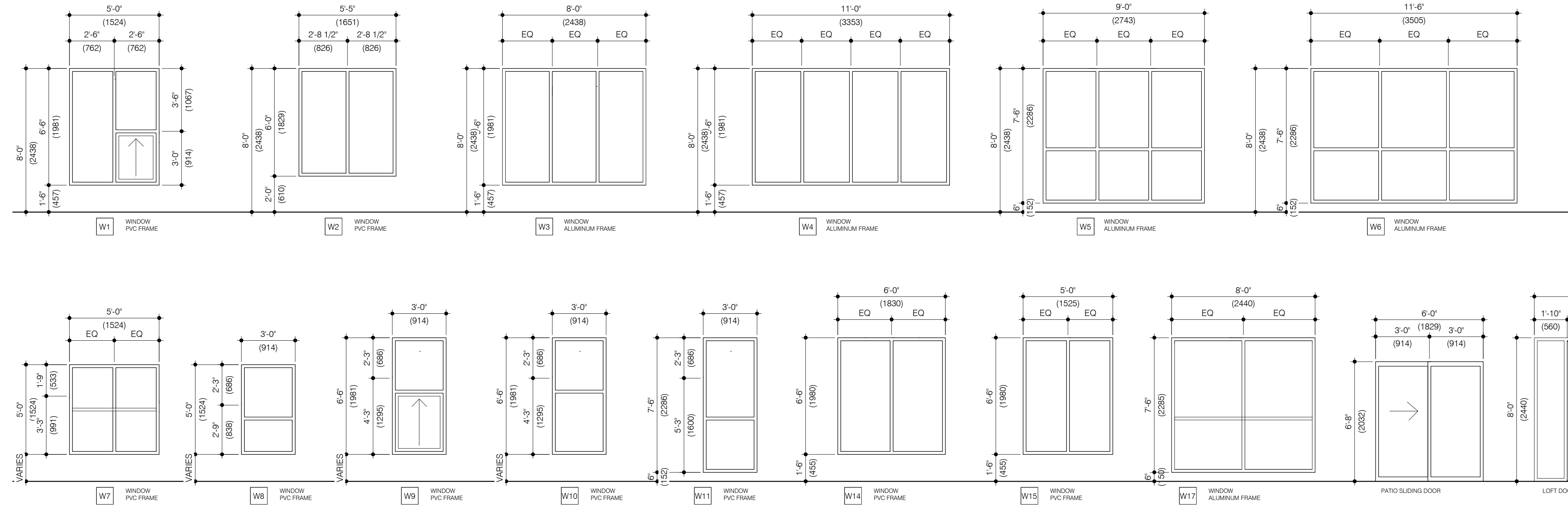


1 SOUTH BUILDING ELEVATION
 SCALE: 3/32" = 1'-0"



2 EAST BUILDING ELEVATION
 SCALE: 3/32" = 1'-0"

EXTERIOR WINDOW & DOOR TYPES:



MATERIALS LEGEND:

- FCS-1 FIBER CEMENT LAP SIDING
- FCS-2 FIBER CEMENT LAP SIDING
- FCS-3 FIBER CEMENT LAP SIDING
- FCS-4 FIBER CEMENT LAP SIDING
- FCP-1 FIBER CEMENT PANEL
- FCP-2 FIBER CEMENT PANEL
- BRK-1 BRICK VENEER
- BRK-2 BRICK VENEER

EXTERIOR ELEVATION KEYNOTES:

- 1 3'-6" HIGH ALUMINUM GUARDRAIL C/W GLASS INSERT
- 2 COLUMN WRAP WITH PREFINISHED METAL CLADDING
- 3 EXTERIOR BUILDING OUT
- 4 6'-0" HIGH BROWN PRESSURE TREATED WOOD FENCE
- 5 RETAINING WALL (REFER TO SITE PLAN FOR EXTENT)
- 6 CANTILEVERED BALCONY (TYPICAL)
- 7 RETAIL SIGNAGE
- 8 BUILDING CANOPY
- 9 BUILDING SIGNAGE
- 10 PLANTER BOX
- 11 ALUMINUM DOOR GATE
- 12 RETAIL STOREFRONT SYSTEM
- 13 CANTILEVERED FLOOR STRUCTURE
- 14 RETAIL METAL BLADE SIGNAGE
- 15 WALL LIGHTING FIXTURES
- 16 3'-6" HIGH BLACK ALUMINUM PICKETED GUARDRAIL
- 17 LOFT CANOPY
- 18 MECHANICAL DOGHOUSE

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RANCHMAN - BUILDING 2
 CALGARY, ALBERTA
 project

BUILDING 2 - EXTERIOR ELEVATIONS
 sheet title

consultant

scale: As indicated
 date: 2026-04-30
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 project no. 2026002
 sheet no. DP-2-201

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1 NORTH BUILDING ELEVATION
 SCALE: 3/32" = 1'-0"



2 WEST BUILDING ELEVATION
 SCALE: 3/32" = 1'-0"

MATERIALS LEGEND:
 REFER TO DP-000 FOR MATERIAL COLOUR

FCS-1	FIBER CEMENT LAP SIDING
FCS-2	FIBER CEMENT LAP SIDING
FCS-3	FIBER CEMENT LAP SIDING
FCS-4	FIBER CEMENT LAP SIDING
FCP-1	FIBER CEMENT PANEL
FCP-2	FIBER CEMENT PANEL
BRK-1	BRICK VENEER
BRK-2	BRICK VENEER

EXTERIOR ELEVATION KEYNOTES:

- EXTERIOR ELEVATION KEYNOTE
- | | | | |
|----|--|----|--|
| 1 | 3'-6" HIGH ALUMINUM GUARDRAIL CW GLASS INSERT | 11 | ALUMINUM DOOR GATE |
| 2 | COLUMN WRAP WITH PREFINISHED METAL CLADDING | 12 | RETAIL STOREFRONT SYSTEM |
| 3 | EXTERIOR BUILDING OUT | 13 | CANTILEVERED FLOOR STRUCTURE |
| 4 | 6'-0" HIGH BROWN PRESSURE TREATED WOOD FENCE | 14 | RETAIL METAL BLADE SIGNAGE |
| 5 | RETAINING WALL (REFER TO SITE PLAN FOR EXTENT) | 15 | WALL LIGHTING FIXTURES |
| 6 | CANTILEVERED BALCONY (TYPICAL) | 16 | 3'-6" HIGH BLACK ALUMINUM PICKETED GUARDRAIL |
| 7 | RETAIL SIGNAGE | 17 | LOFT CANOPY |
| 8 | BUILDING CANOPY | 18 | MECHANICAL DOGHOUSE |
| 9 | BUILDING SIGNAGE | | |
| 10 | PLANTER BOX | | |

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RANCHMAN - BUILDING 2
 CALGARY, ALBERTA
 project
BUILDING 2 - EXTERIOR ELEVATIONS
 sheet title
 consultant

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BUILDING 3

CALGARY, ALBERTA

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MCLEOD TRAIL ENTRANCE



FROM CLUBHOUSE ROOFTOP PATIO



RANCHMAN - BUILDING 3
CALGARY, ALBERTA

BUILDING 3 - COVER PAGE

drawn by: TN/JT/LB
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project no. 2026002

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REVISION NO.	DESCRIPTION	ISSUED FOR DEVELOPMENT PERMIT	REVISION NO.	DESCRIPTION
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1 SOUTH BUILDING ELEVATION
SCALE: 3/32" = 1'-0"

MATERIALS LEGEND:

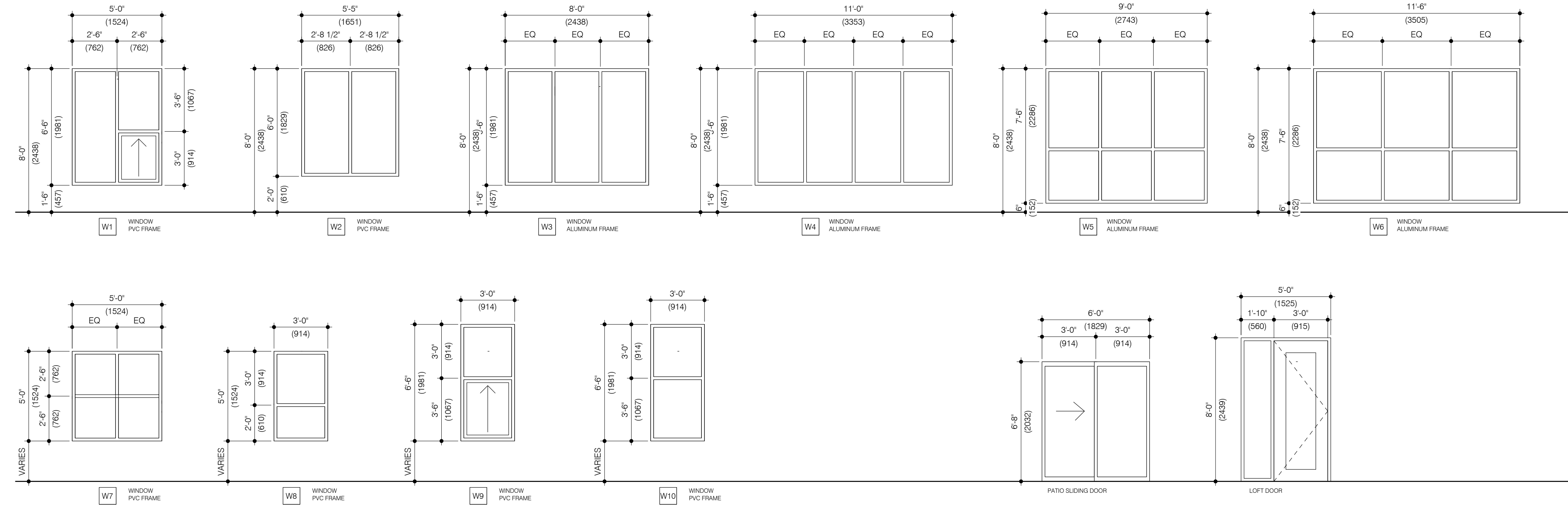
FCS-1	FIBER CEMENT LAP SIDING
FCS-2	FIBER CEMENT LAP SIDING
FCS-3	FIBER CEMENT LAP SIDING
FCS-4	FIBER CEMENT LAP SIDING
FCP-1	FIBER CEMENT PANEL
FCP-2	FIBER CEMENT PANEL
BRK-1	BRICK VENEER
BRK-2	BRICK VENEER

- EXTERIOR ELEVATION KEYNOTES:**
- | | | | |
|----|--|----|--|
| 1 | 3'-6" HIGH ALUMINUM GUARDRAIL CW GLASS INSERT | 11 | ALUMINUM DOOR GATE |
| 2 | COLUMN WRAP WITH PREFINISHED METAL CLADDING | 12 | RETAIL STOREFRONT SYSTEM |
| 3 | EXTERIOR BUILDING OUT | 13 | CANTILEVERED FLOOR STRUCTURE |
| 4 | 6'-0" HIGH BROWN PRESSURE TREATED WOOD FENCE | 14 | RETAIL METAL BLADE SIGNAGE |
| 5 | RETAINING WALL (REFER TO SITE PLAN FOR EXTENT) | 15 | WALL LIGHTING FIXTURES |
| 6 | CANTILEVERED BALCONY (TYPICAL) | 16 | 3'-6" HIGH BLACK ALUMINUM PICKETED GUARDRAIL |
| 7 | RETAIL SIGNAGE | 17 | LOFT CANOPY |
| 8 | BUILDING CANOPY | | |
| 9 | EXTERIOR BUILDING FRAME | | |
| 10 | PLANTER BOX | | |



2 EAST BUILDING ELEVATION
SCALE: 3/32" = 1'-0"

EXTERIOR WINDOW & DOOR TYPES:



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RANCHMAN - BUILDING 3
CALGARY, ALBERTA

BUILDING 3 - EXTERIOR ELEVATIONS

project
sheet title
consultant

scale: As indicated
date: 2026-04-30
drawn by: RCLB
checked by: LB
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sheet no. DP-3-201

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MATERIALS LEGEND:
REFER TO DP-003 FOR MATERIAL COLOUR

FCS-1	FIBER CEMENT LAP SIDING
FCS-2	FIBER CEMENT LAP SIDING
FCS-3	FIBER CEMENT LAP SIDING
FCS-4	FIBER CEMENT LAP SIDING
FCP-1	FIBER CEMENT PANEL
FCP-2	FIBER CEMENT PANEL
BRK-1	BRICK VENEER
BRK-2	BRICK VENEER

- EXTERIOR ELEVATION KEYNOTES:**
- EXTERIOR ELEVATION KEYNOTE
- | | | | |
|----|--|----|--|
| 1 | 3'-6" HIGH ALUMINUM GUARDRAIL, CW GLASS INSERT | 11 | ALUMINUM DOOR GATE |
| 2 | COLUMN WRAP WITH PREFINISHED METAL CLADDING | 12 | RETAIL STOREFRONT SYSTEM |
| 3 | EXTERIOR BUILDING OUT | 13 | CANTILEVERED FLOOR STRUCTURE |
| 4 | 6'-0" HIGH BROWN PRESSURE TREATED WOOD FENCE | 14 | RETAIL METAL BLADE SIGNAGE |
| 5 | RETAINING WALL (REFER TO SITE PLAN FOR EXTENT) | 15 | WALL LIGHTING FIXTURES |
| 6 | CANTILEVERED BALCONY (TYPICAL) | 16 | 3'-6" HIGH BLACK ALUMINUM PICKETED GUARDRAIL |
| 7 | RETAIL SIGNAGE | 17 | LOFT CANOPY |
| 8 | BUILDING CANOPY | | |
| 9 | EXTERIOR BUILDING FRAME | | |
| 10 | PLANTER BOX | | |



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RANCHMAN - BUILDING 3
CALGARY, ALBERTA

project

BUILDING 3 - EXTERIOR ELEVATIONS

sheet title

consultant

seal
drawn by: RCLB
checked by: LB
project no. 2026002

scale: As indicated
date: 2026-04-30
sheet no. DP-3-202

2026-05-01 12:47:11 PM

BUILDING 4

CALGARY, ALBERTA

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FROM MAIN ENTRANCE



FROM BUILDING 3 CORNER

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RANCHMAN - BUILDING 4
 CALGARY, ALBERTA

BUILDING 4 - COVER PAGE

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 drawn by: TN
 checked by: LB
 project no. 2026002

scale:
 date: 2026-04-30
 sheet no. DP-4-000

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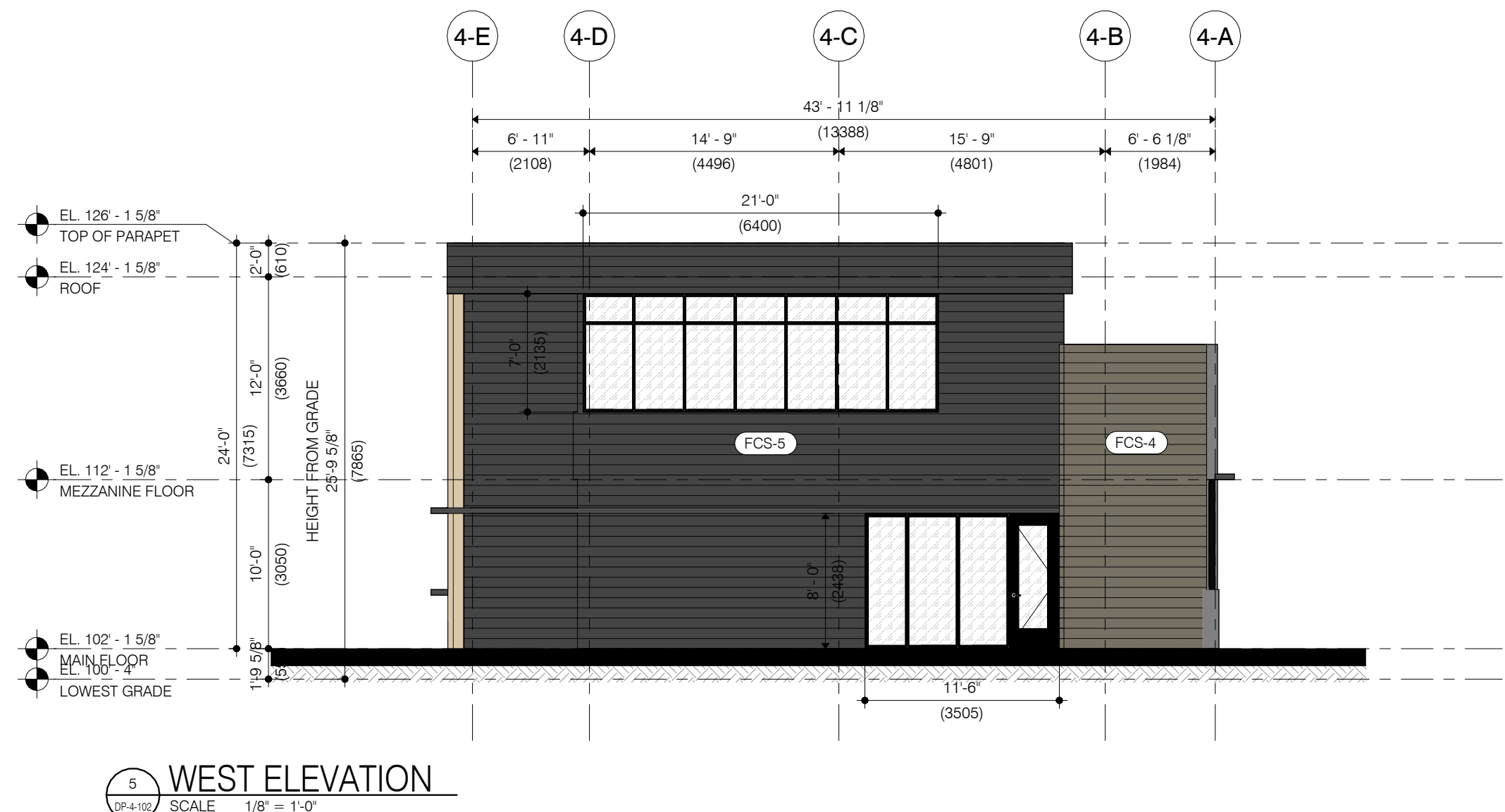
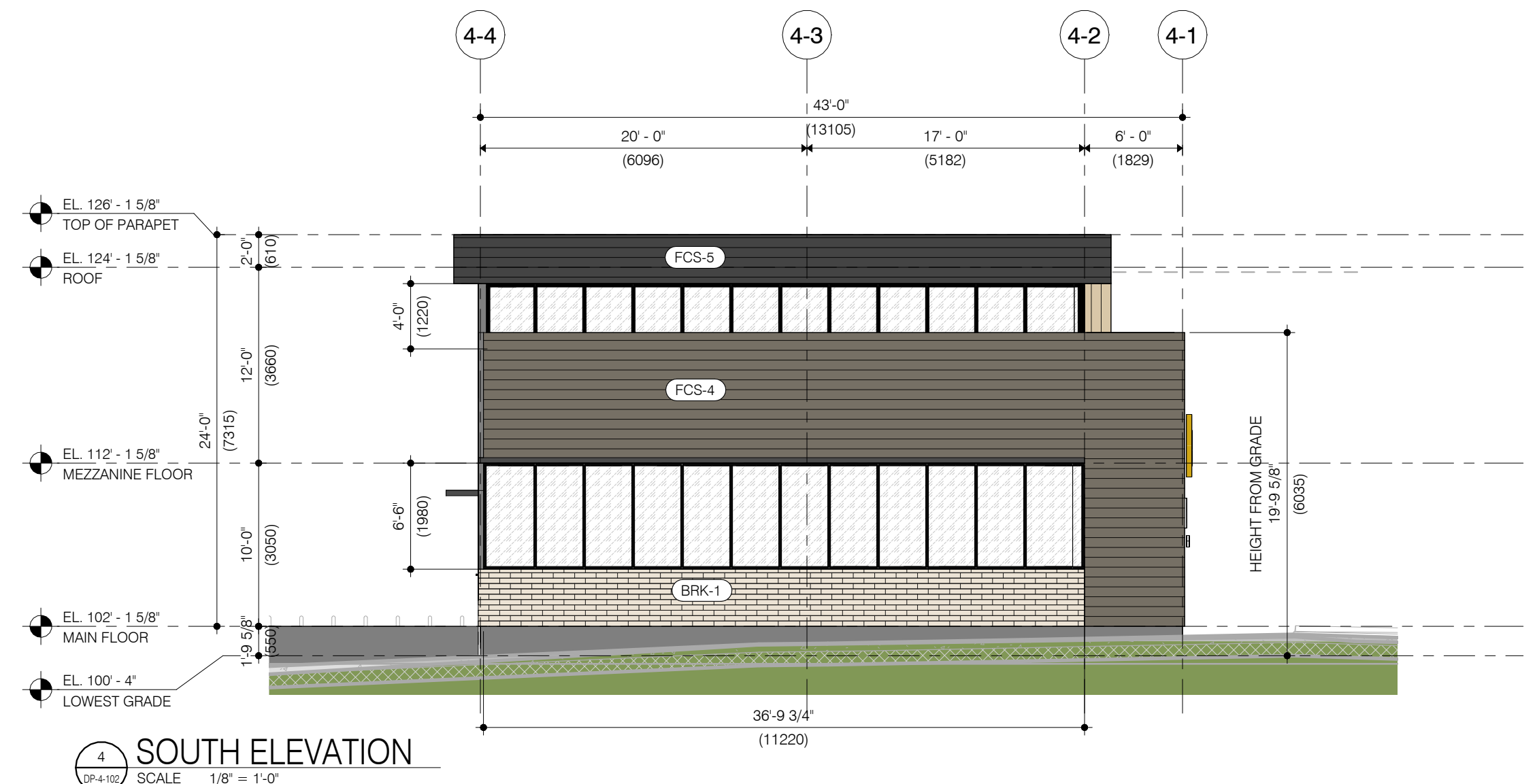
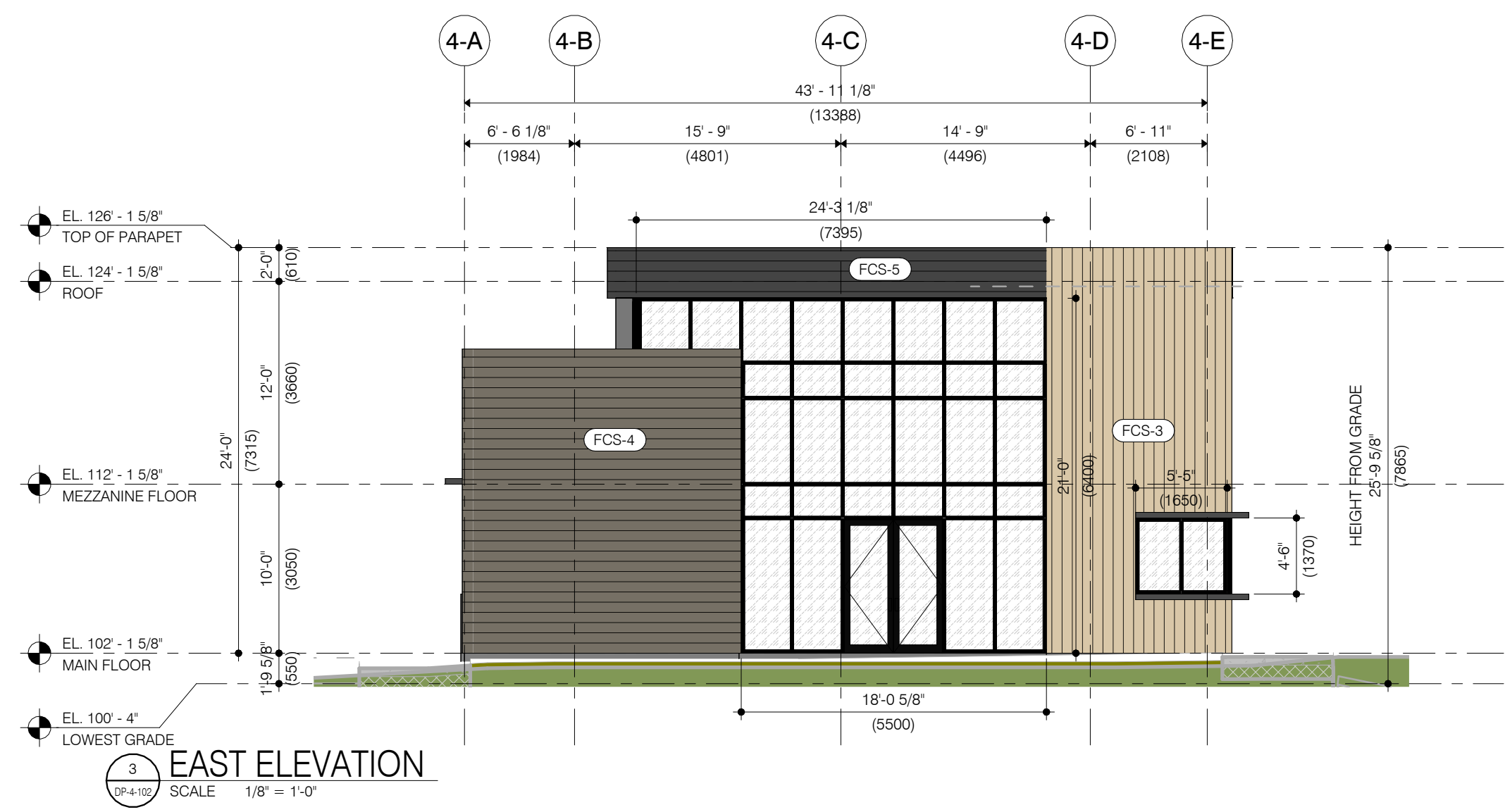
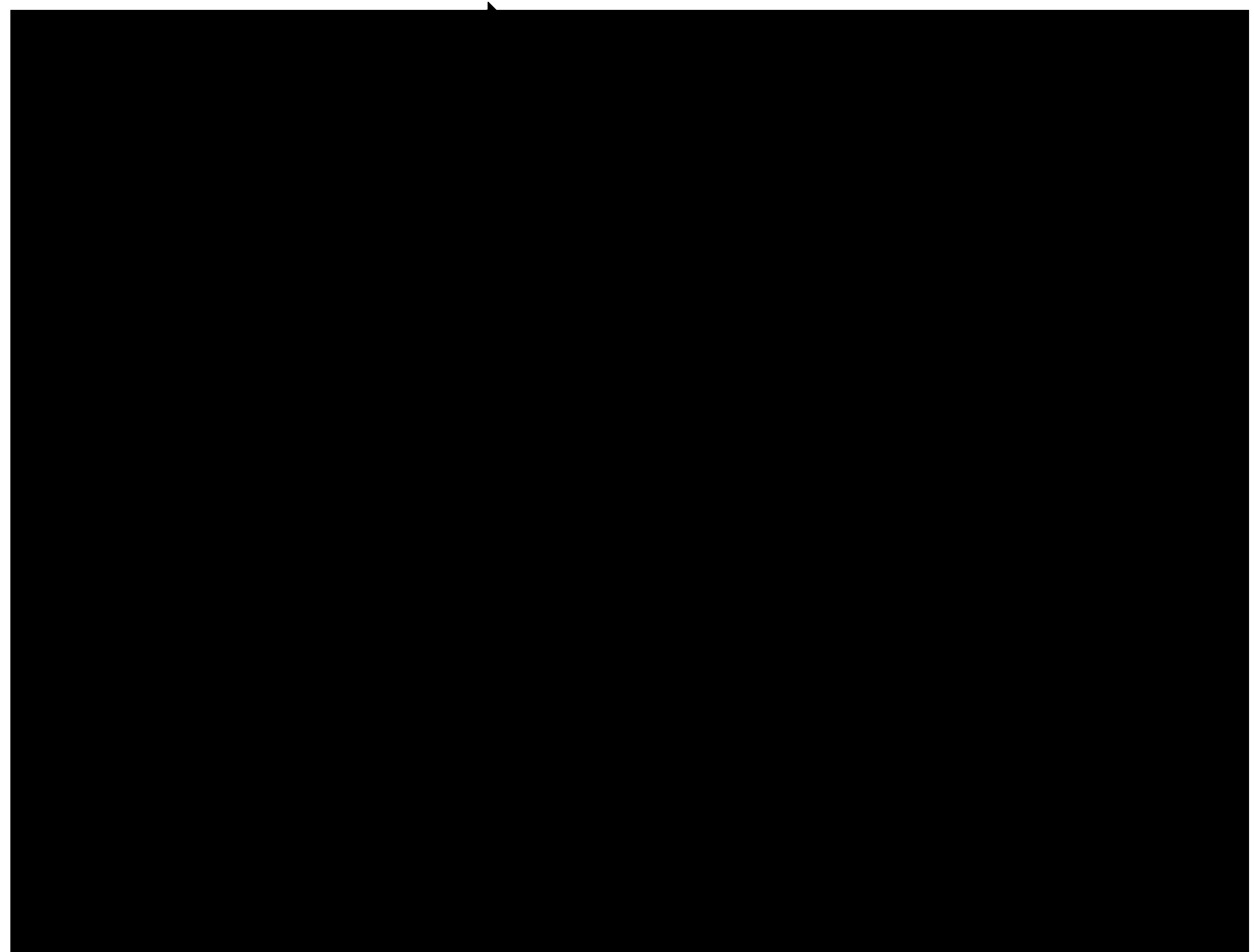
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REVISION NO.	DESCRIPTION	REVISION ISSUED/ PLOTTED
DP-0	ISSUED FOR DEVELOPMENT PERMIT	APRIL 30, 2026

MATERIALS LEGEND:
REST TO TOP OF FINISH MATERIAL COLOR

- FCS-3 FIBER CEMENT LAP SIDING
- FCS-4 FIBER CEMENT LAP SIDING
- FCS-5 FIBER CEMENT LAP SIDING
- FCP-1 FIBER CEMENT PANEL
- BRK-1 BRICK VENEER



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RANCHMAN - BUILDING 4
 CALGARY, ALBERTA

project

FLOOR PLANS, ELEVATIONS & SECTIONS

sheet title

consultant

seal

drawn by: TN

checked by: LB

project no. 2026002

scale: 1/8" = 1'-0"

date: 2026-04-30

sheet no. DP-4-102

BUILDING 5

CALGARY, ALBERTA

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FROM BUILDING 2 TOWARDS BUILDING 5 ENTRANCE



FROM HORTON ROAD TOWARDS BUILDING 5



project
RANCHMAN BUILDING 5
CALGARY, ALBERTA

sheet title
BUILDING 5 - COVER PAGE

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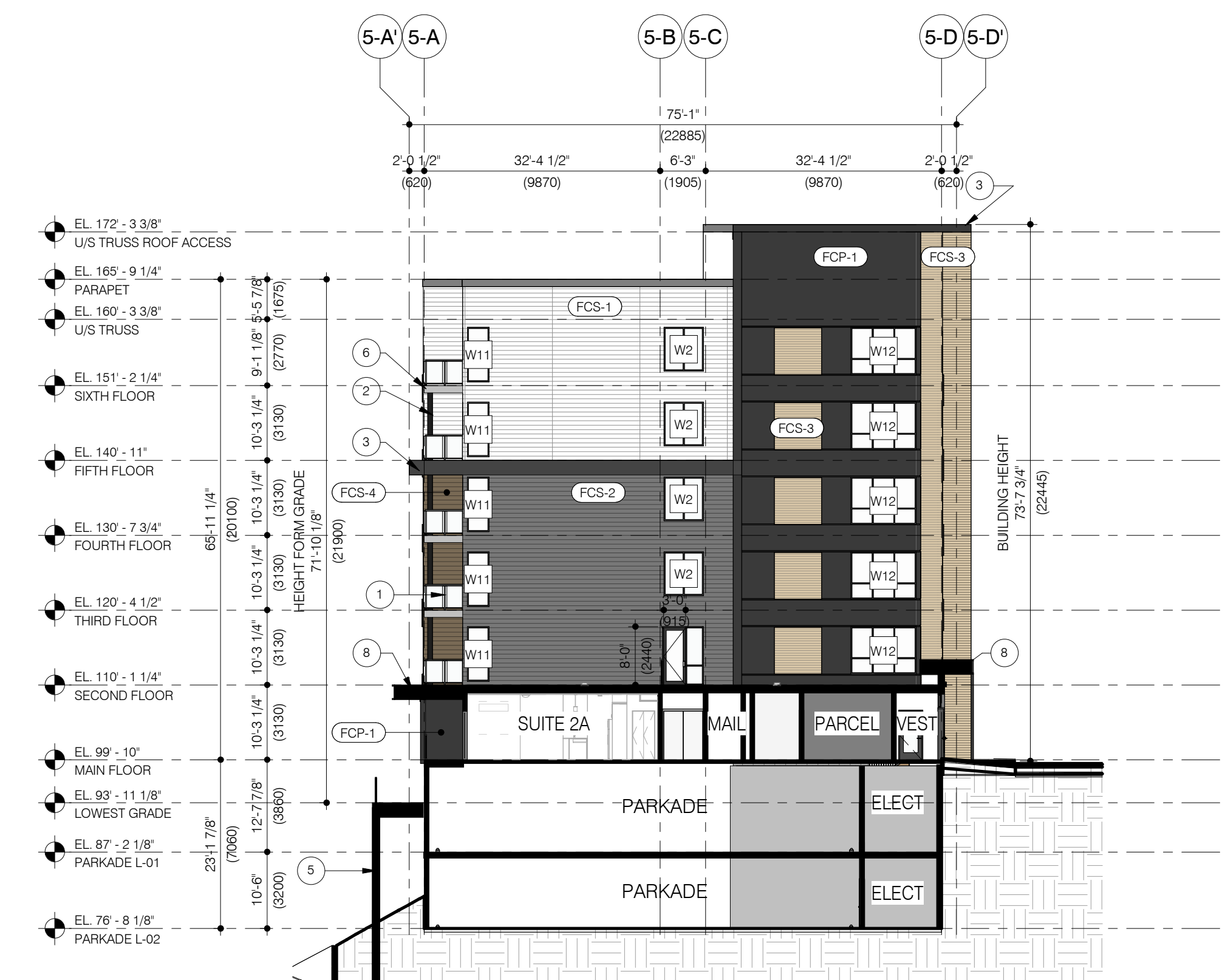
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REVISION NO.	DESCRIPTION	REVISION ISSUED FOR DEVELOPMENT PERMIT	REVISION DATE
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1 SOUTH BUILDING ELEVATION
 SCALE 1/16" = 1'-0"



2 GRID 5-15 SOUTH BUILDING ELEVATION
 SCALE 1/16" = 1'-0"



3 WEST BUILDING ELEVATION
 SCALE 1/16" = 1'-0"

MATERIALS LEGEND:
 REFER TO SPECIFICATIONS FOR MATERIALS, CCM-001

FCS-1	FIBER CEMENT LAP SIDING
FCS-2	FIBER CEMENT LAP SIDING
FCS-3	FIBER CEMENT LAP SIDING
FCS-4	FIBER CEMENT LAP SIDING
FCP-1	FIBER CEMENT PANEL
FCP-2	FIBER CEMENT PANEL
BRK-1	BRICK VENEER
BRK-2	BRICK VENEER

EXTERIOR ELEVATION KEYNOTES:

1	3'-6" HIGH ALUMINUM GUARDRAIL, C/W GLASS INSERT	11	ALUMINUM DOOR GATE
2	COLUMN WRAP WITH PREFINISHED METAL CLADDING	12	STOREFRONT SYSTEM
3	EXTERIOR BUILDING OUT	13	CANTILEVERED FLOOR STRUCTURE
4	6'-0" HIGH BROWN PRESSURE TREATED WOOD FENCE	14	RETAL METAL BLADE SIGNAGE
5	RETAINING WALL (REFER TO SITE PLAN FOR EXTENT)	15	WALL LIGHTING FIXTURES
6	CANTILEVERED BALCONY (TYPICAL)	16	3'-6" HIGH BLACK ALUMINUM PICKETED GUARDRAIL
7	RETAL SIGNAGE	17	LOFT CANOPY
8	BUILDING CANOPY		
9	BUILDING SIGNAGE		
10	PLANTER BOX		

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RANCHMAN BUILDING 5
 CALGARY, ALBERTA
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