



ISSUED FOR DEVELOPMENT PERMIT

SCOPE OF WORK:

RETROFIT OF EXISTING COVERED GARAGE
AREAS INTO A APARTMENT UNIT

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LEGAL ADDRESS

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MUNICIPAL ADDRESS

1631 4th STREET NW

PROJECT

-

DRAWING NUMBER

1 OF 15

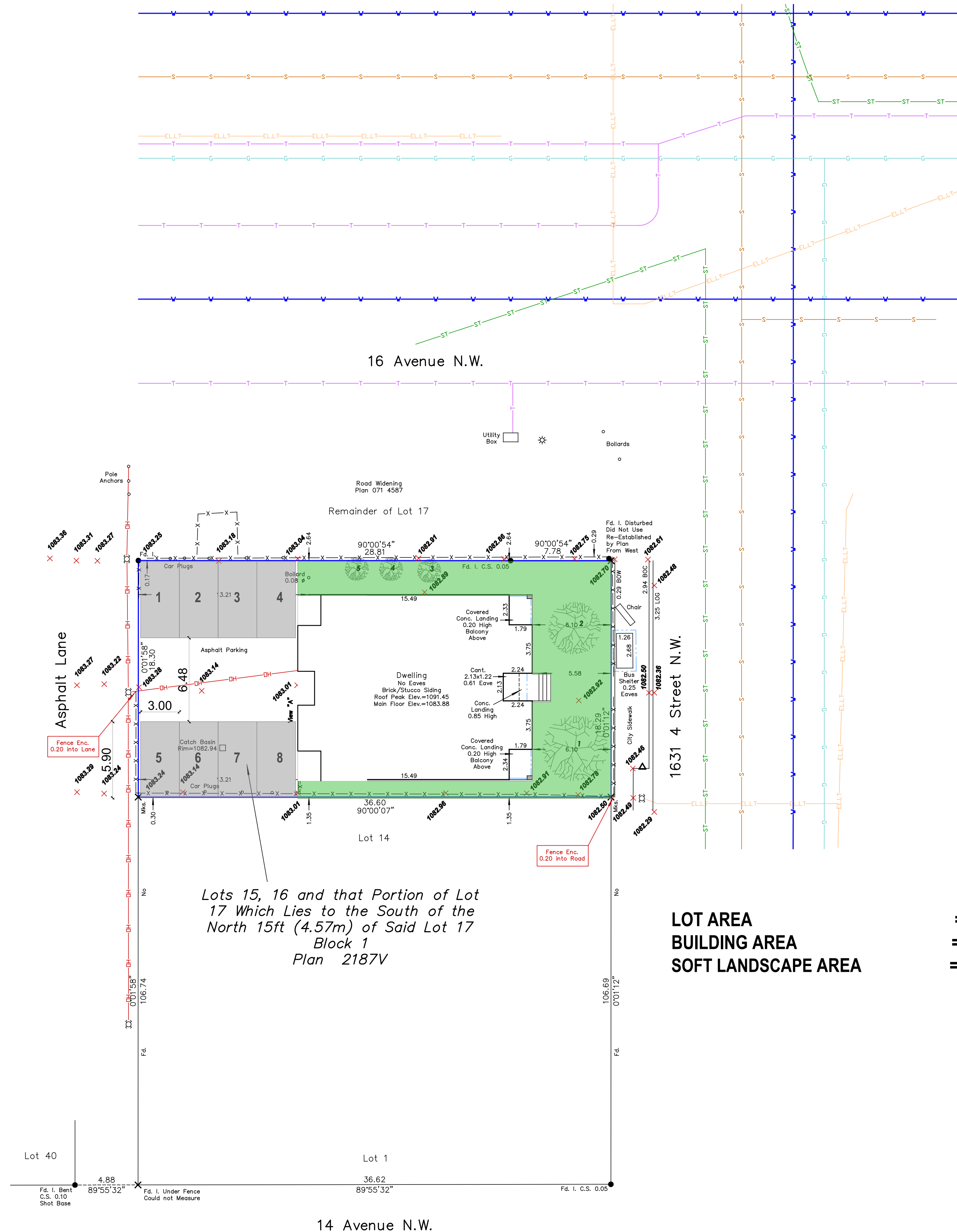
DATE

4/21/2026

SCALE

AS INDICATED





Lots 15, 16 and that Portion of Lot 17 Which Lies to the South of the North 15ft (4.57m) of Said Lot 17 Block 1 Plan 2187V

LOT AREA = 672.98m²
 BUILDING AREA = 251.47m²
 SOFT LANDSCAPE AREA = 181.34m²

SITE PLAN

LEGAL DESCRIPTION: Lots 15, 16 and that Portion of Lot 17 Which Lies to the South of the North 15ft (4.57m) of Said Lot 17 Block 1 Plan 2187V

MUNICIPAL ADDRESS: 1631 4 Street N.W. Calgary, Alberta

DATE OF SURVEY: March 11th, 2026.

- LEGEND**
- Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
 - Elevations are referred to: ASGM 397877 Elev.=1082.91
 - Distances are in metres and decimals thereof.
 - Bearings are Grid (3TM-114W) and Derived from GNSS Observations.
 - Found Iron Posts are shown thus: [Symbol]
 - Drill Holes are shown thus: [Symbol]
 - Found Iron Bars are shown thus: [Symbol]
 - Calculation points are shown thus: [Symbol]
 - Fire Hydrants are shown thus: [Symbol]
 - Water Valves are shown thus: [Symbol]
 - Gas Valves are shown thus: [Symbol]
 - Power Poles are shown thus: [Symbol]
 - Manholes are shown thus: [Symbol]
 - Lamp Standards are shown thus: [Symbol]
 - Street Signs are shown thus: [Symbol]
 - Property lines are shown thus: [Symbol]
 - Utility Right of Ways are shown thus: [Symbol]
 - Eaves are shown thus: [Symbol]
 - Fences are shown thus: [Symbol]
 - Streetlight Cables are shown thus: [Symbol]
 - Underground Electrical lines shown thus: [Symbol]
 - Stormline are shown thus: [Symbol]
 - Sanitaryline are shown thus: [Symbol]
 - Combined Storm/Sanitary are shown thus: [Symbol]
 - Telephone Lines are shown thus: [Symbol]
 - Waterline are shown thus: [Symbol]
 - Gasline are shown thus: [Symbol]
 - Overhead Electrical lines shown thus: [Symbol]

NOTE: Title information is based on the C. of T. 251 015 853 which was searched on the 12th day of March, 2026, and is subject to: No Pertinent Registration.

- ABBREVIATIONS**
- A---Arc Length
 - Acc---Accessory
 - A/C---Air Conditioner
 - Blgd---Building
 - BOC---Back of Curb
 - BOW---Back of Walk
 - Calc---Calculated
 - Canl---Cantilever
 - Conc---Concrete
 - C.S---Countersunk
 - DH---Drill Hole
 - Enc---Encroaches
 - EOA---Edge of Asphalt
 - EOR---Edge of Road
 - Fd---Found
 - I---Iron Post
 - I.B---Iron Bar
 - LOG---Lip of Gutter
 - M.A---Maintenance Access
 - Mk---Mark
 - M.N---Magnetic Nail
 - O.D---Overland Drainage
 - R---Radius
 - Reg---Registration
 - Ret---Retaining
 - R/W---Right of Way
 - W/O---Walkout Basement
 - W.W---Window Well

- [Symbol] --- denotes Coniferous
- [Symbol] --- denotes Deciduous

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Deciduous	0.40	5.00	6.00
2	Deciduous	0.30	4.00	5.00
3	Deciduous	0.30	1.80	11.00
4	Deciduous	0.30	1.80	11.00
5	Deciduous	0.30	1.80	11.00

EXISTING SITE PLAN
 SCALE: 1:200

SCOPE OF WORK:

RETROFIT OF EXISTING COVERED GARAGE AREAS INTO A APARTMENT UNIT

EXISTING UNITS: 10
 PROPOSED UNITS: 2

TOTAL UNITS: 12

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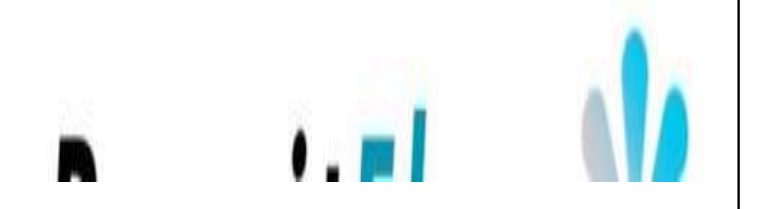
PROJECT

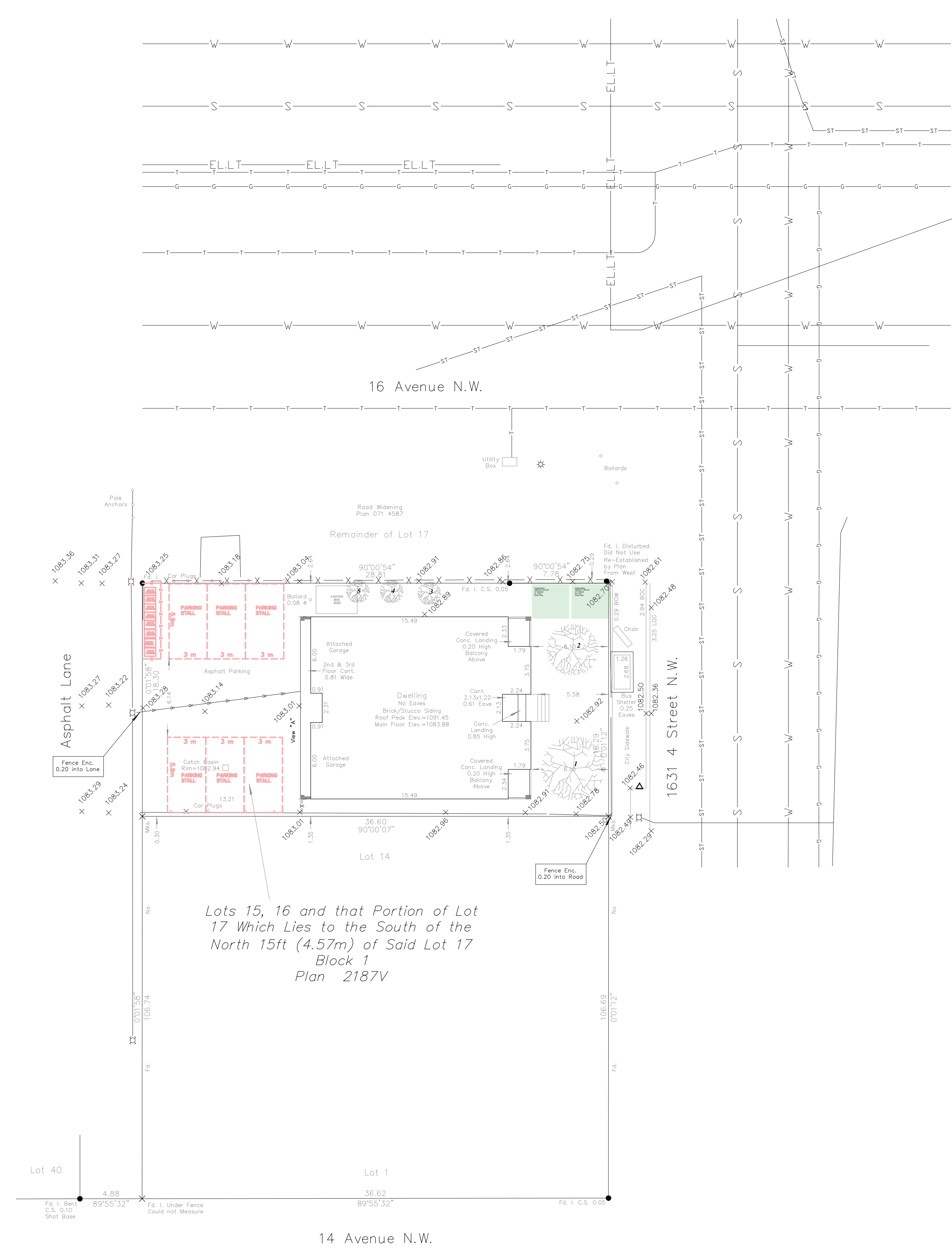
DRAWING NUMBER DATE

2 OF 15 4/21/2026

SCALE

AS INDICATED





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PROPOSE SITE PLAN
SCALE: 1:200

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 - Drill Holes are shown thus: ■
 - Found Iron Bars are shown thus: ▲
 - Calculation points are shown thus: X
 - Fire Hydrants are shown thus: ☼
 - Water Valves are shown thus: ⚙
 - Gas Valves are shown thus: ⚙
 - Power Poles are shown thus: ⚡
 - Manholes are shown thus: Ⓜ
 - Lamp Standards are shown thus: ⚡
 - Street Signs are shown thus: ⚡
 - Property lines are shown thus: ————
 - Utility Right of Ways are shown thus: ————
 - Eaves are shown thus: ————
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 - Combined Storm/Sanitary are shown thus: ————
 - Telephone Lines are shown thus: ————
 - Waterline are shown thus: ————
 - Gasline are shown thus: ————
 - Overhead Electrical lines shown thus: ————
- All fences are within 0.2 metres of the property lines unless otherwise shown. Unless noted otherwise lines outside of property are not to scale.

NOTE:
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- denotes Coniferous
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Tree Schedule

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PROPOSED UNITS: 2
TOTAL UNITS: 12

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PROJECT

DRAWING NUMBER DATE

3 OF 15 4/21/2026

SCALE

AS INDICATED



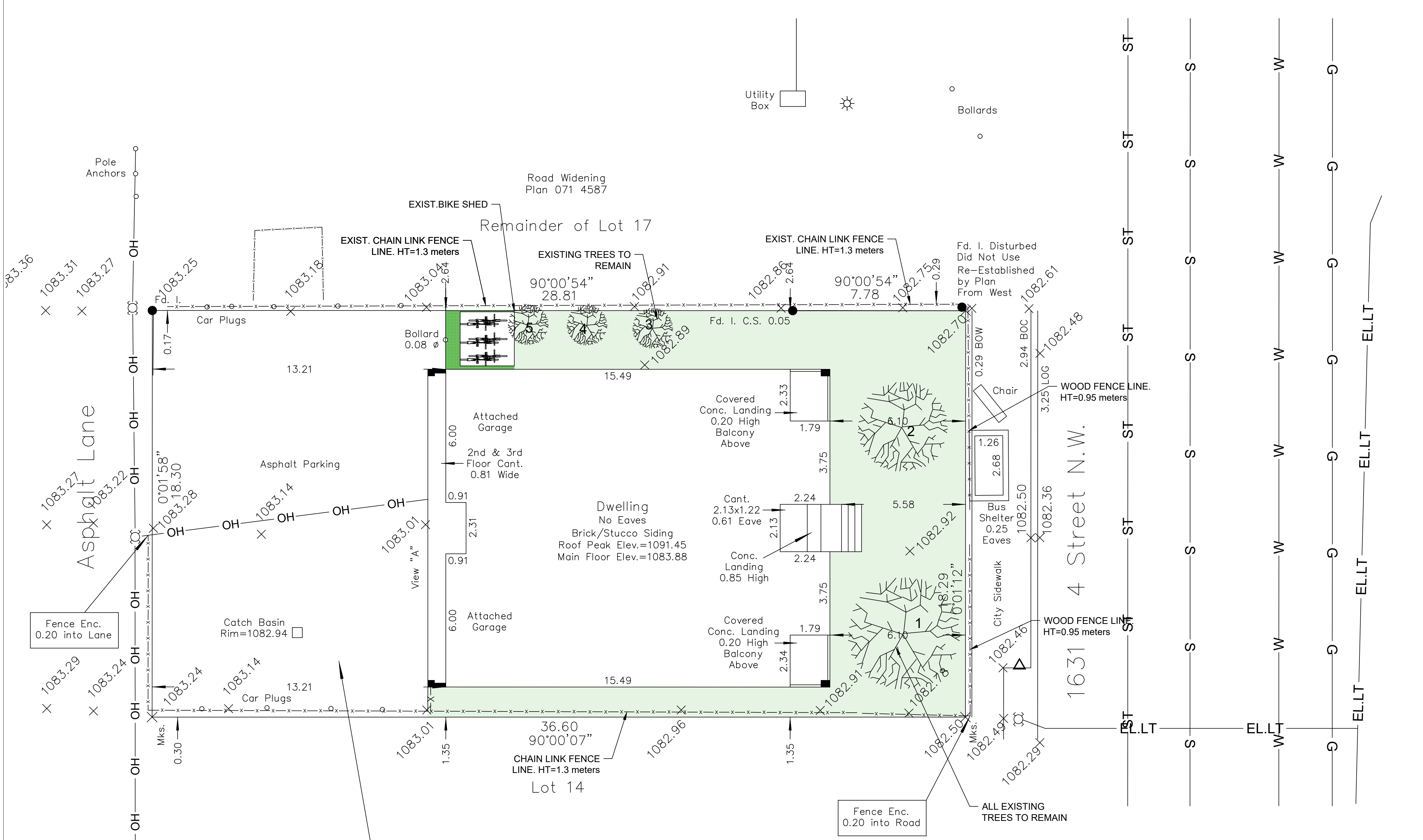
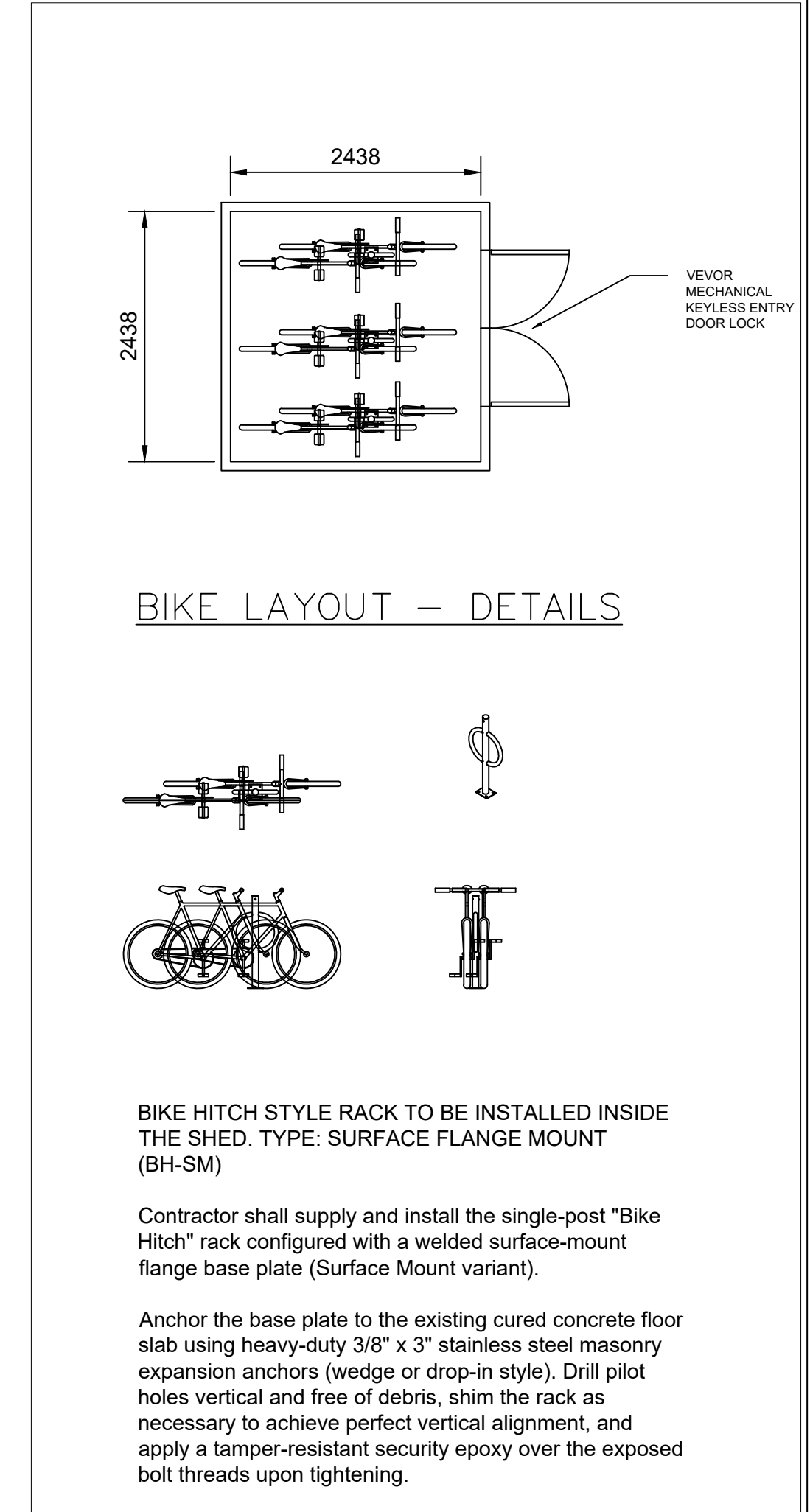


BYLAW 1P2007 (R-C2)

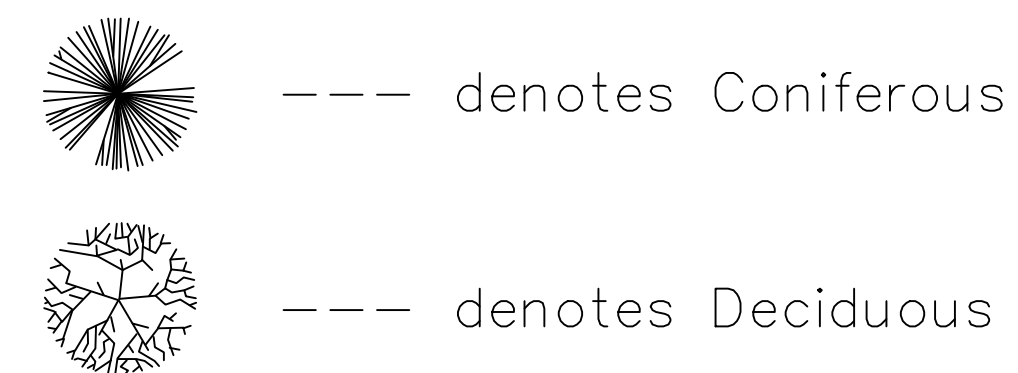
EXISTING SOFT LANDSCAPING = 178.49 sq.meters

EXISTING HARDSCAPE AREAS:
PARKING - ASPHALT = 228.38 sq.meters

BICYCLE SHED:



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Tree Schedule

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NOTE: ALL EXISTING FIVE (5) TREES TO REMAIN

1
A0 **EXISTING LANDSCAPING PLAN**
1:100

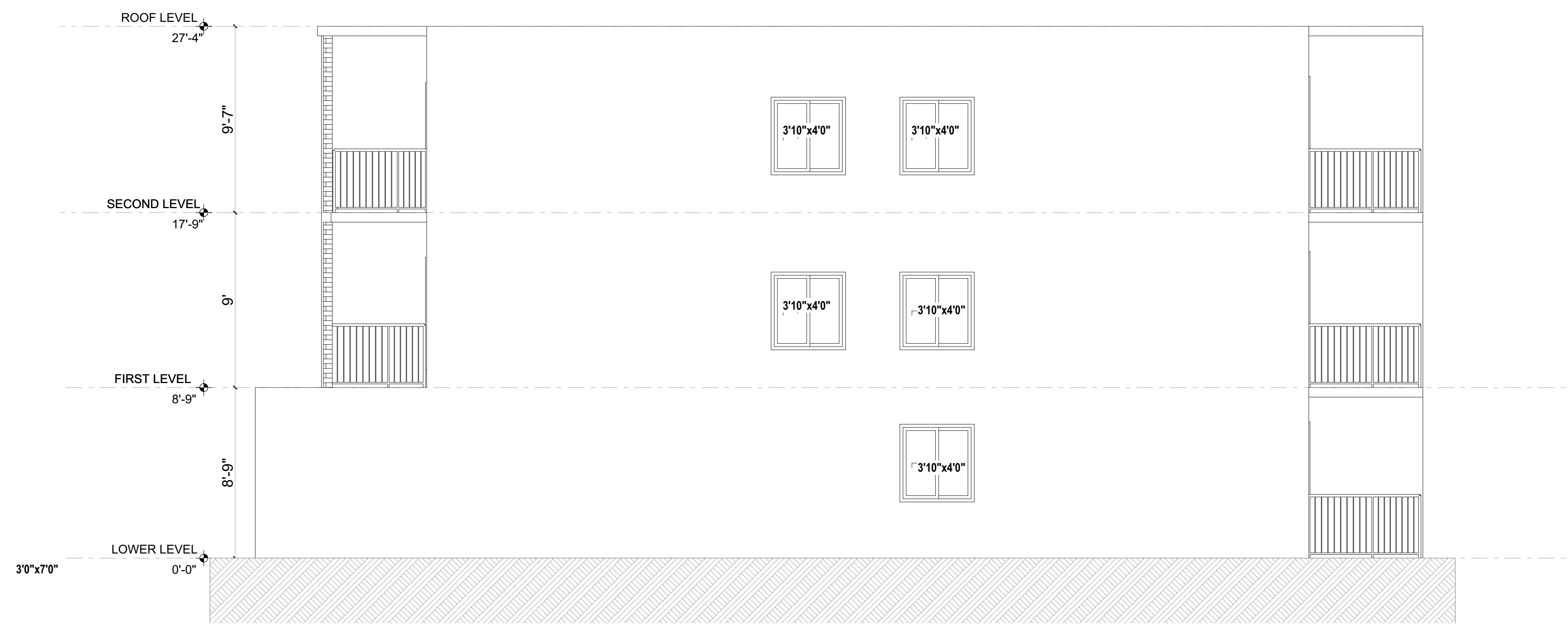
DO NOT SCALE DRAWINGS.

SITE INFORMATION FROM LEGAL SURVEY PLAN
DATED: MARCH 11, 2026

Legal Address	
LOT 15,16, BLOCK 1, PLAN 2187V	
Municipal Address	
1639 4 ST NW, CALGARY	
Project	
AUBURN MANOR	
Drawing Number	Date
A0-3	MAY 2026
Scale	
AS INDICATED	

SCOPE OF WORK:

RETROFIT OF EXISTING COVERED GARAGE
AREAS INTO A APARTMENT UNIT



EXISTING SIDE ELEVATION
SCALE: 1/4" : 1'-0"

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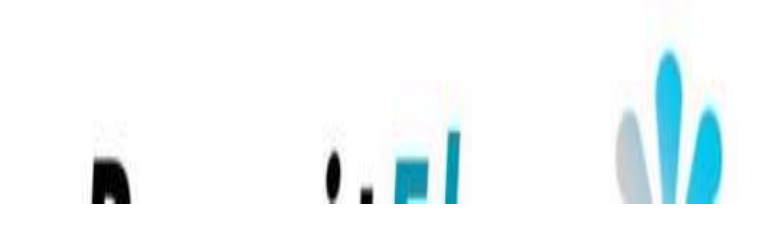
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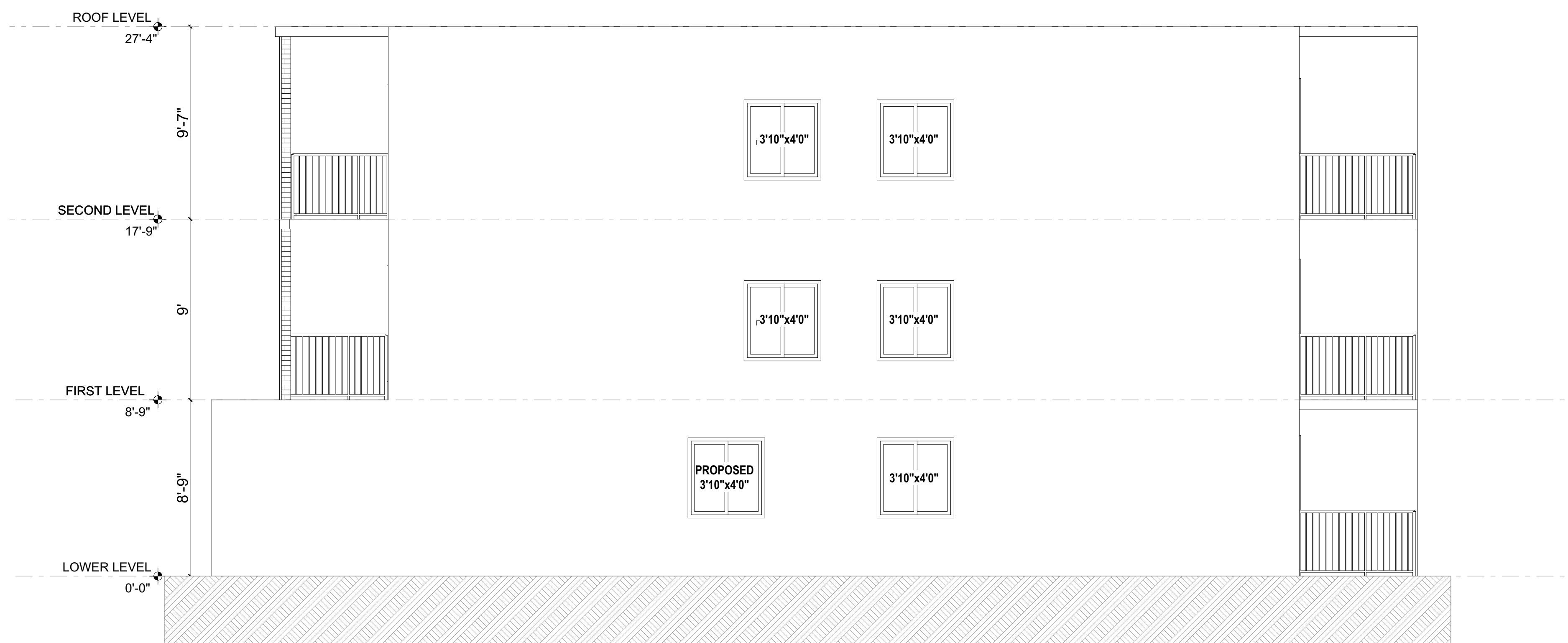
DRAWING NUMBER	DATE
6 OF 15	4/21/2026

SCALE
AS INDICATED



SCOPE OF WORK:

RETROFIT OF EXISTING COVERED GARAGE
AREAS INTO A APARTMENT UNIT



PROPOSED SIDE ELEVATION
SCALE: 1/4" : 1'-0"

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DRAWING NUMBER	DATE
7 OF 15	4/21/2026

SCALE
AS INDICATED



SCOPE OF WORK:

RETROFIT OF EXISTING COVERED GARAGE
AREAS INTO A APARTMENT UNIT



EXISTING REAR ELEVATION
SCALE: 1/4" : 1'-0"

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PROPOSED REAR ELEVATION
SCALE: 1/4" : 1'-0"

SCOPE OF WORK:

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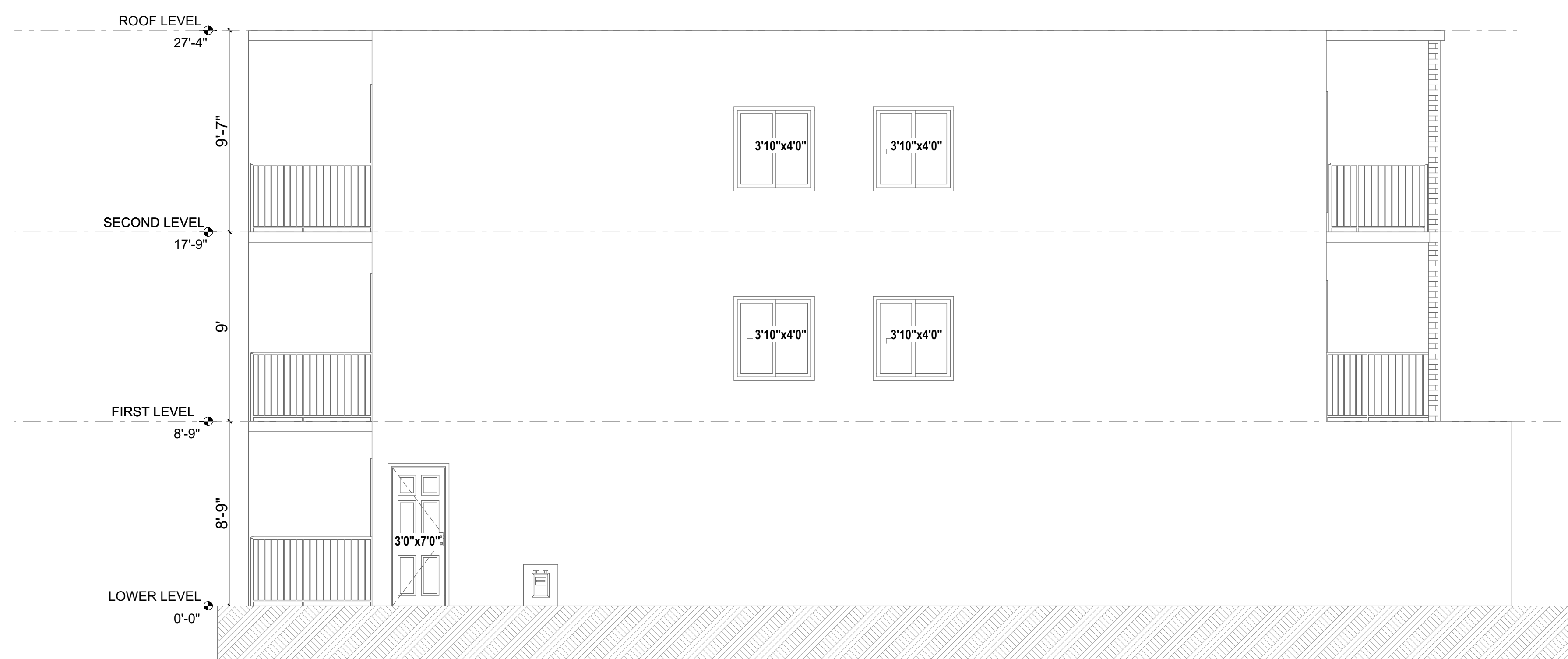
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SCALE
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SCOPE OF WORK:

RETROFIT OF EXISTING COVERED GARAGE
AREAS INTO A APARTMENT UNIT



EXISTING SIDE ELEVATION
SCALE: 1/4" : 1'-0"

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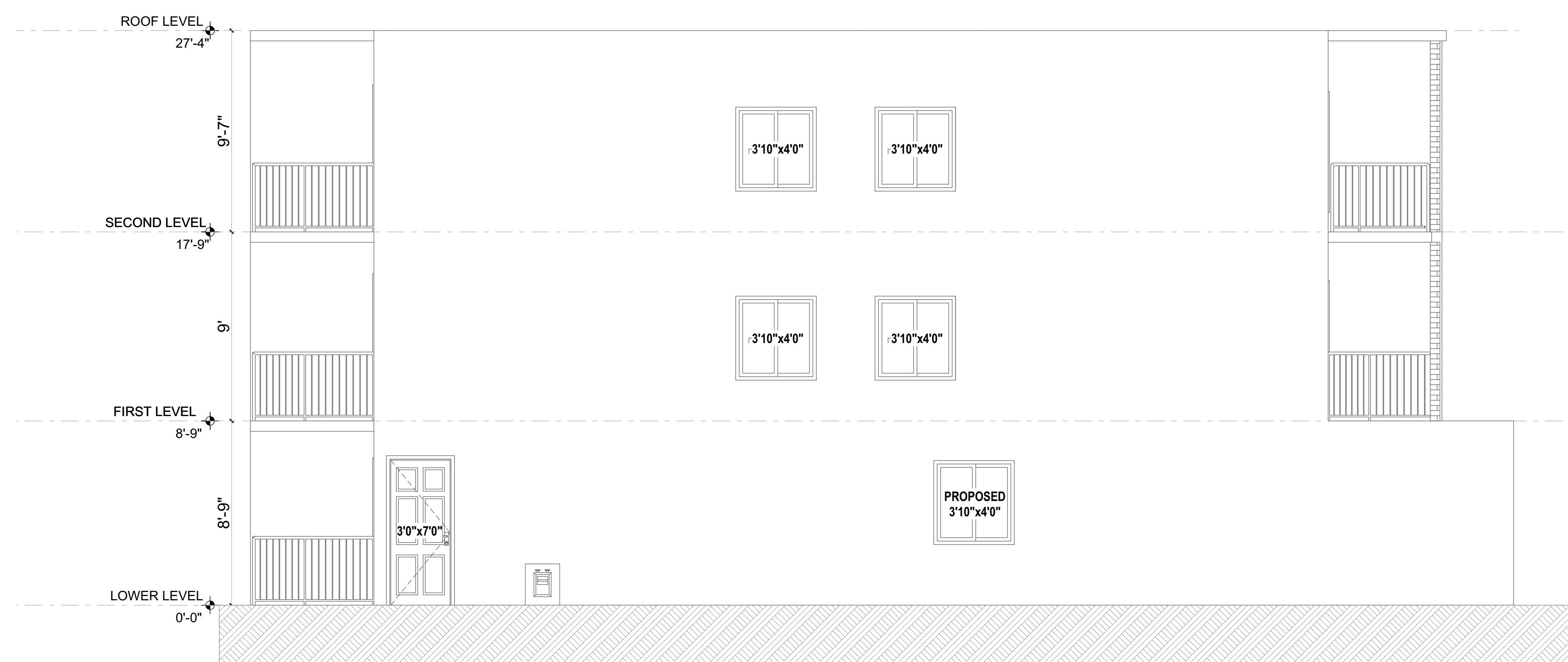
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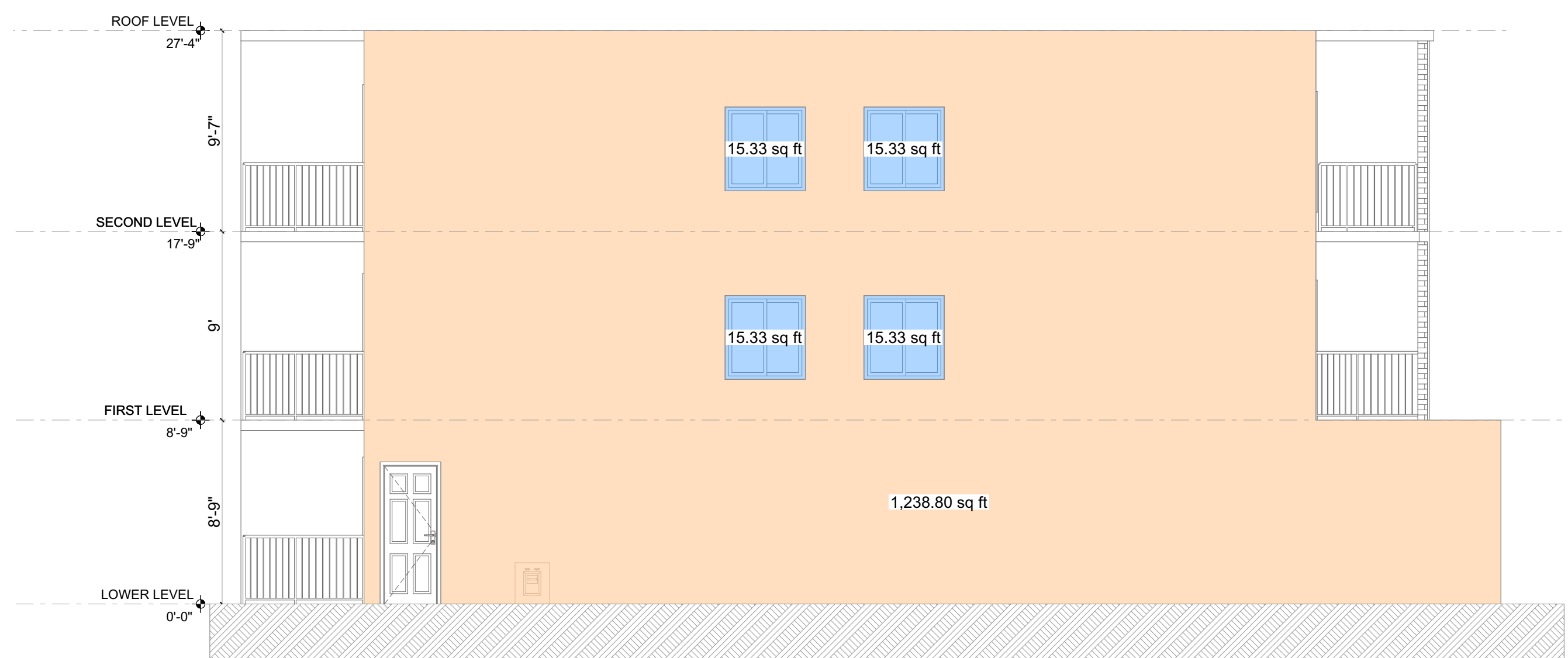
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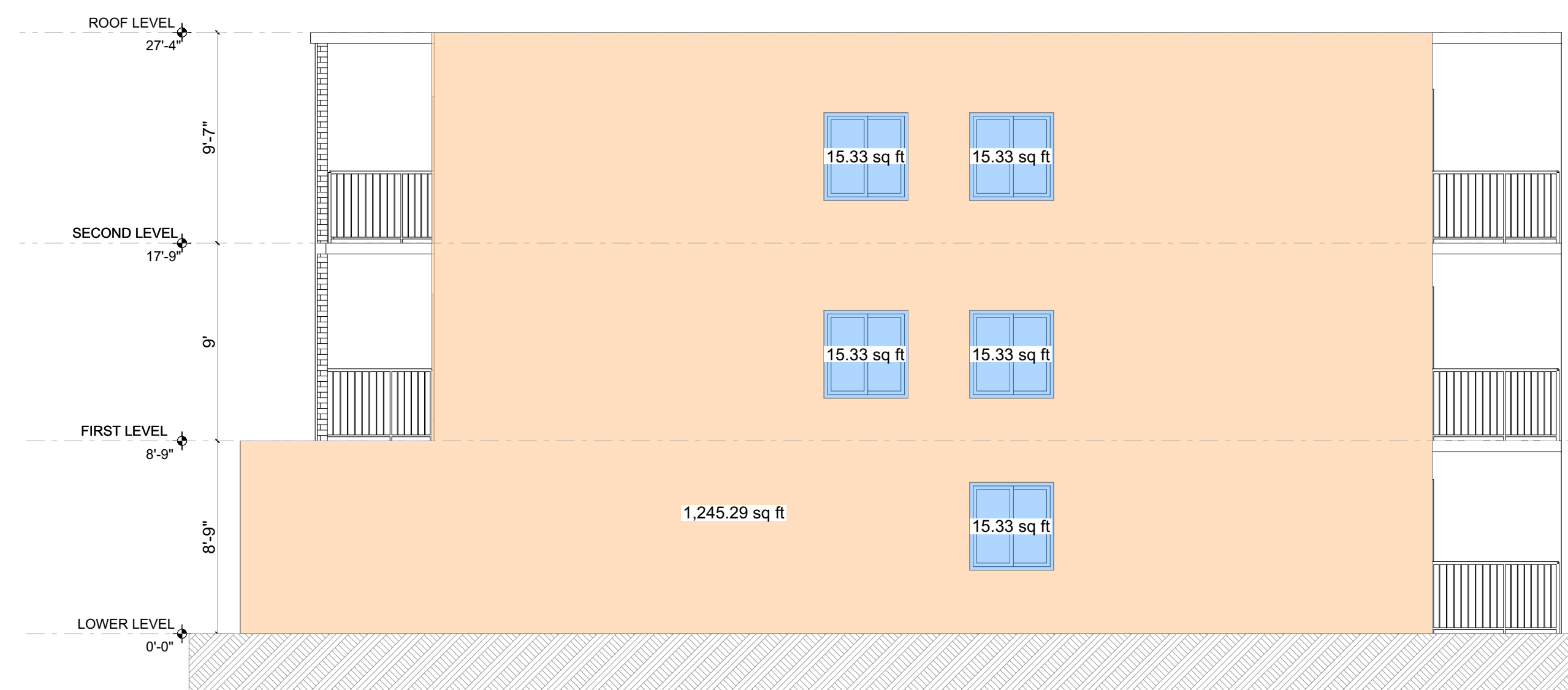


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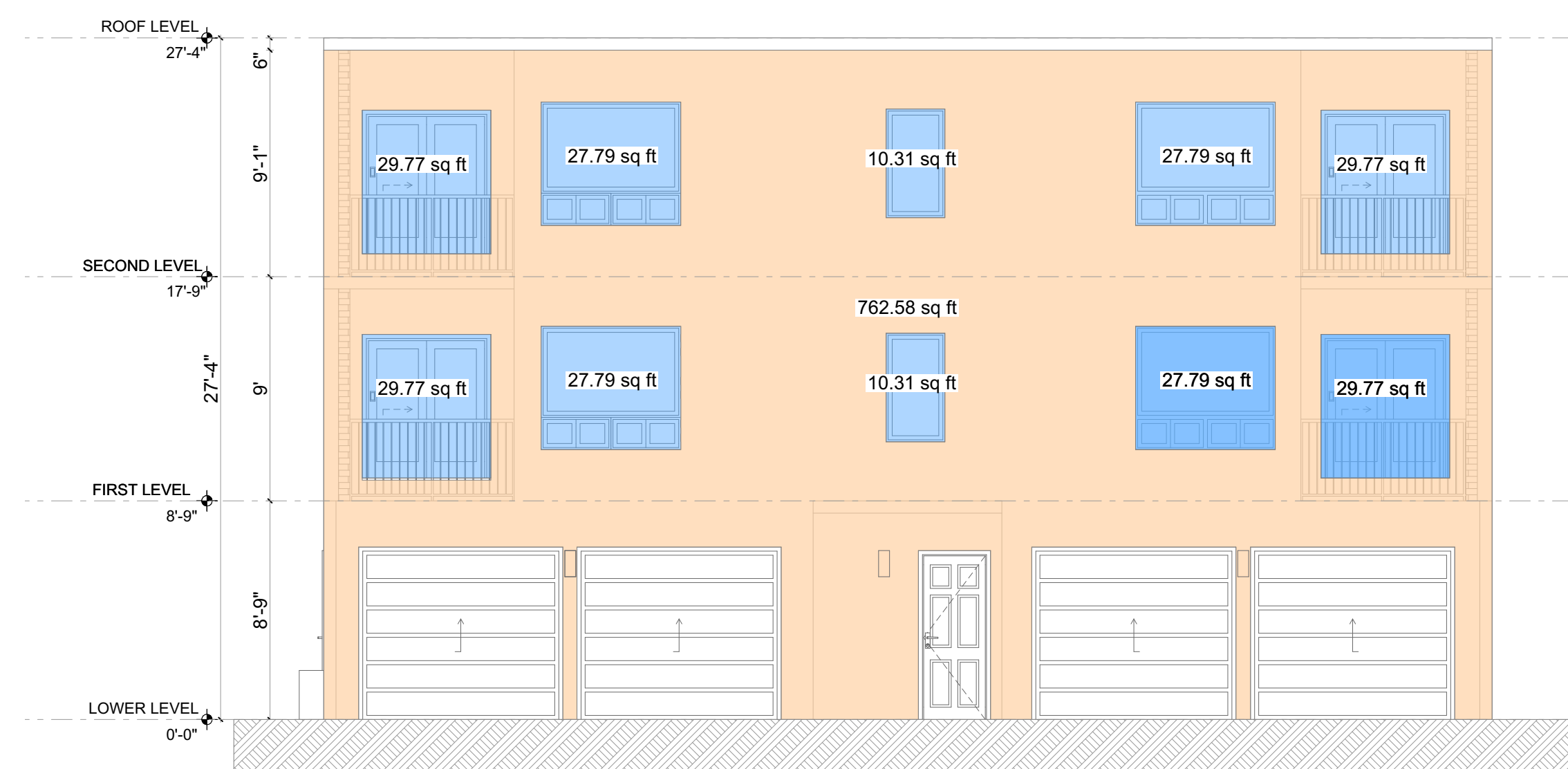
RETROFIT OF EXISTING COVERED GARAGE AREAS INTO A APARTMENT UNIT



WALL AREA = 1,238.80 sq.ft.
EXISTING GLAZING AREA = 61.32 sq.ft.



WALL AREA = 1,245.29 sq.ft.
EXISTING GLAZING AREA = 76.65 sq.ft.



WALL AREA = 762.58 sq.ft.
EXISTING GLAZING AREA = 250.88 sq.ft.

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1631 4th STREET NW

PROJECT

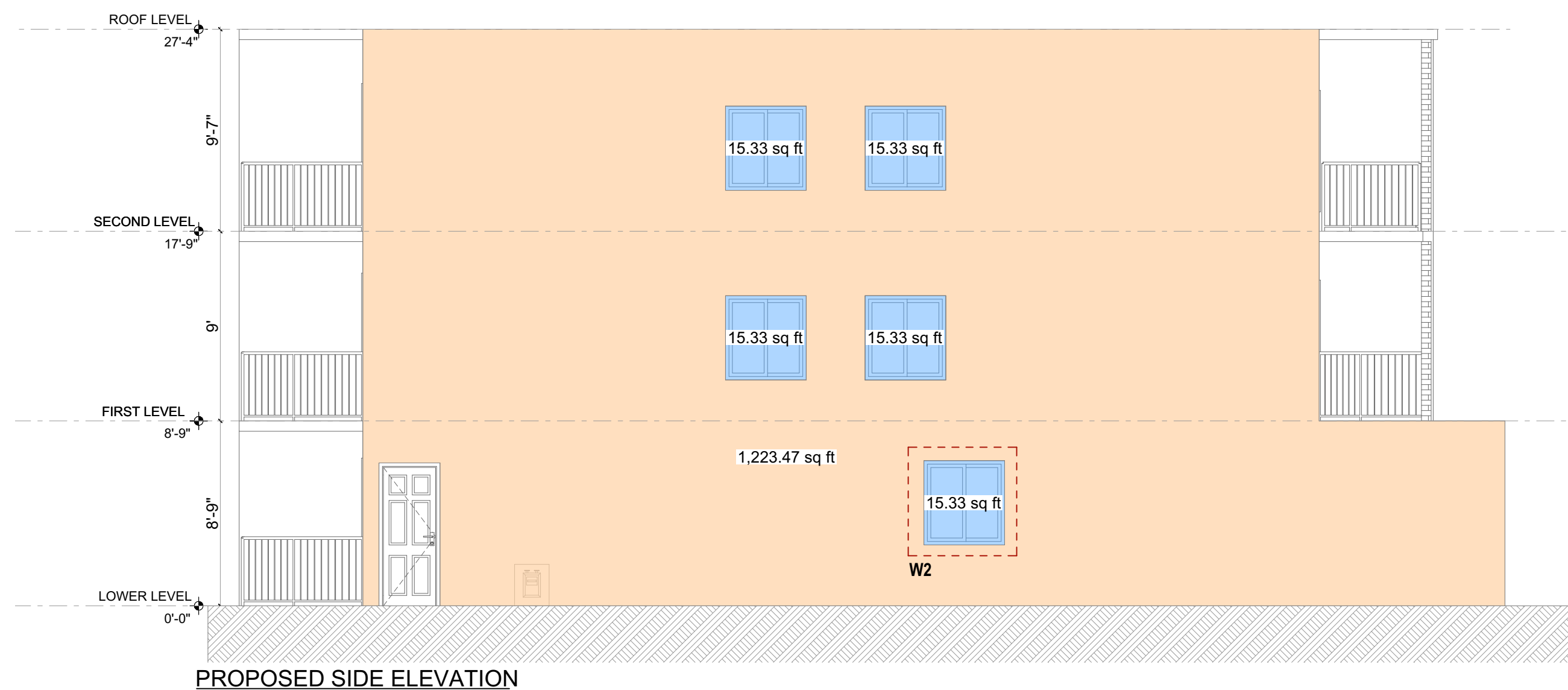
DRAWING NUMBER	DATE
12 OF 15	4/21/2026

SCALE
AS INDICATED

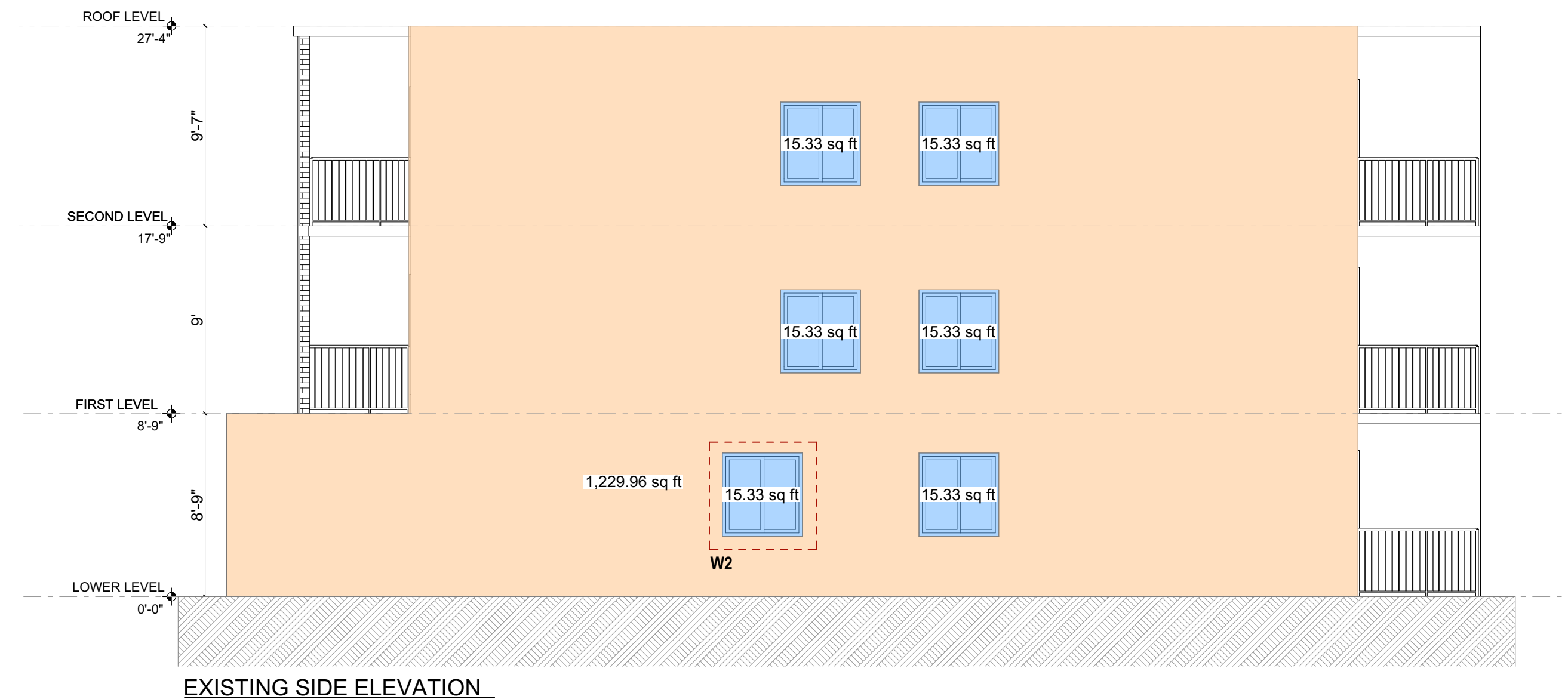


SCOPE OF WORK:

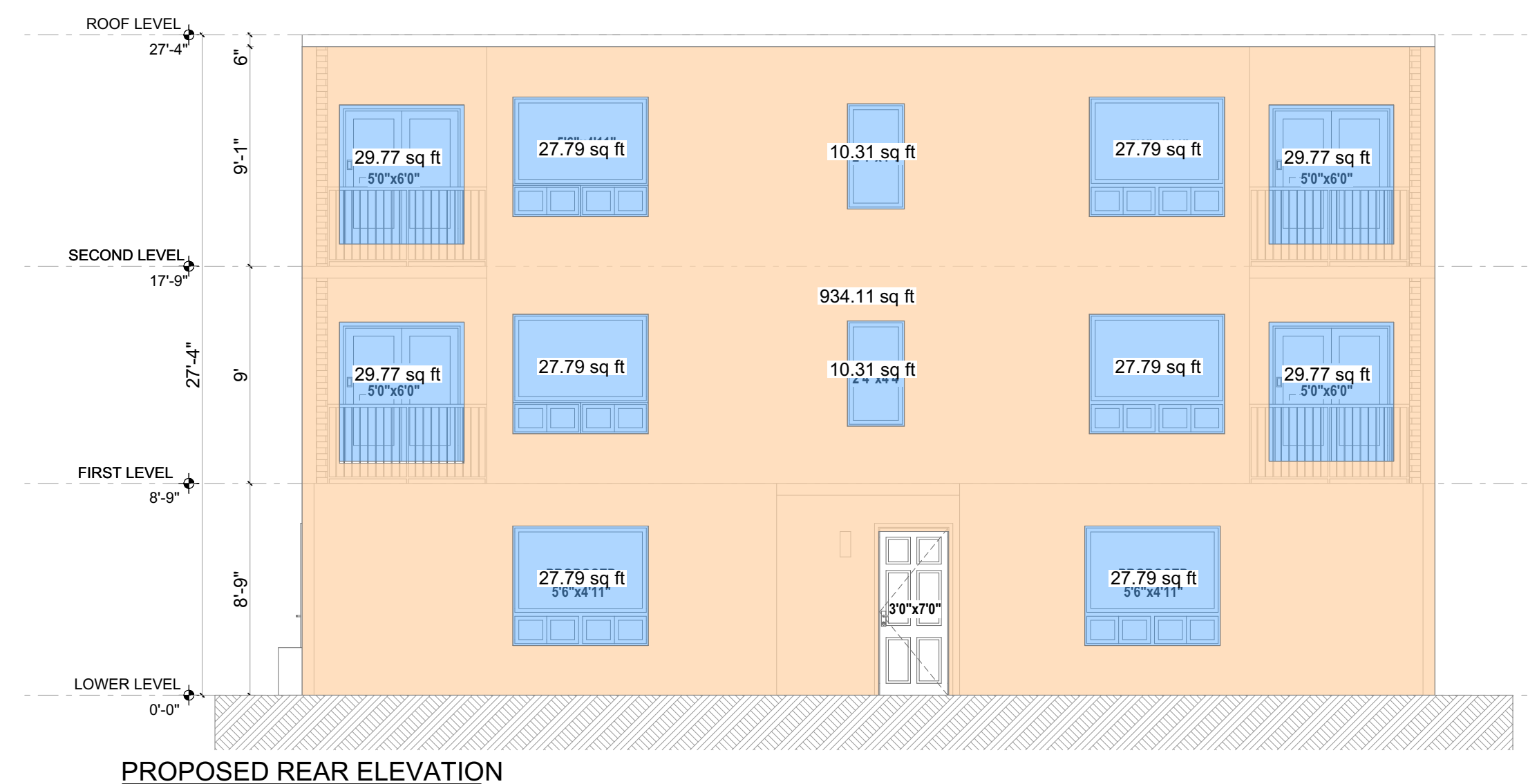
RETROFIT OF EXISTING COVERED GARAGE AREAS INTO A APARTMENT UNIT



WALL AREA = 1,223.47 sq.ft.
EXISTING GLAZING AREA = 76.65 sq.ft.



WALL AREA = 1,229.96 sq.ft.
EXISTING GLAZING AREA = 91.98 sq.ft.



WALL AREA = 934.11 sq.ft.
EXISTING GLAZING AREA = 306.44 sq.ft.

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LEGAL ADDRESS

MUNICIPAL ADDRESS

1631 4th STREET NW

PROJECT

DRAWING NUMBER
13 OF 15

DATE
4/21/2026

SCALE

AS INDICATED



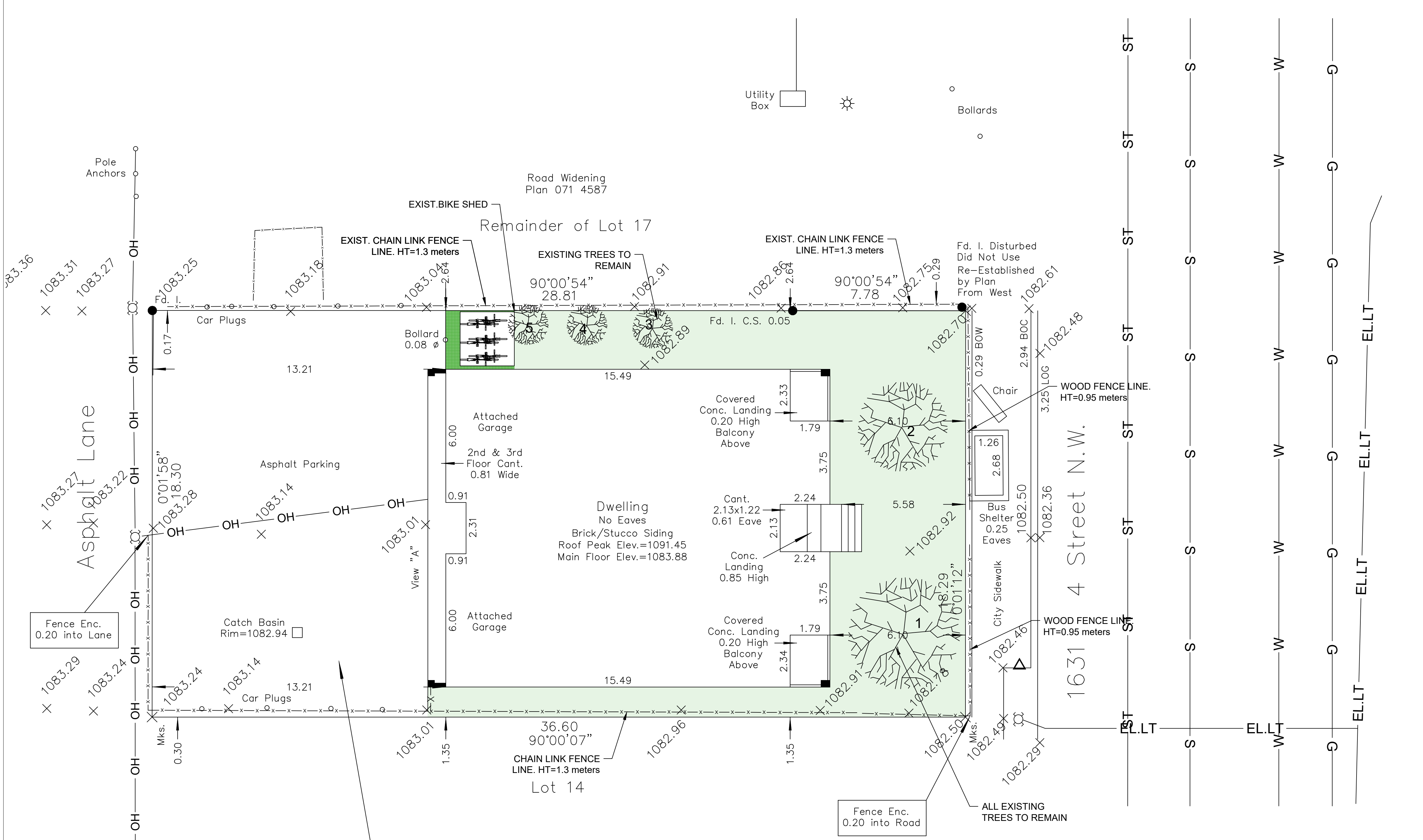
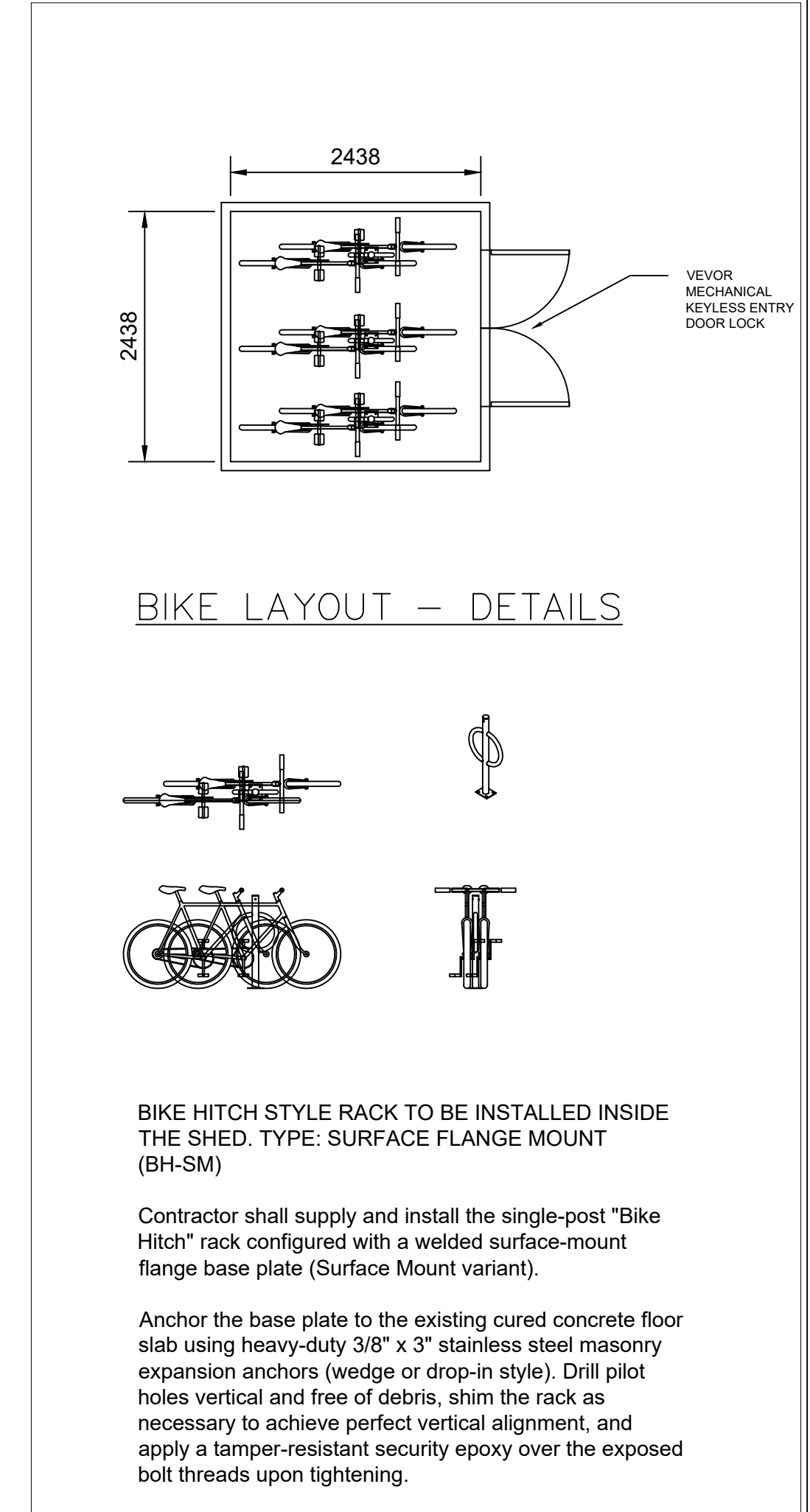


BYLAW 1P2007 (R-C2)

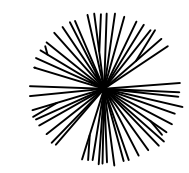

EXISTING SOFT LANDSCAPING = 178.49 sq.meters

EXISTING HARDSCAPE AREAS:
PARKING - ASPHALT = 228.38 sq.meters

BICYCLE SHED:



Lots 15, 16 and that Portion of Lot 17 Which Lies to the South of the North 15ft (4.57m) of Said Lot 17 Block 1 Plan 2187V

-  --- denotes Coniferous
-  --- denotes Deciduous

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia.	Height
1	Deciduous	0.40	5.00	6.00
2	Deciduous	0.30	4.00	5.00
3	Deciduous	0.30	1.80	11.00
4	Deciduous	0.30	1.80	11.00
5	Deciduous	0.30	1.80	11.00

NOTE: ALL EXISTING FIVE (5) TREES TO REMAIN

1
A0 **EXISTING LANDSCAPING PLAN**
1:100

DO NOT SCALE DRAWINGS.

SITE INFORMATION FROM LEGAL SURVEY PLAN
DATED: MARCH 11, 2026

Legal Address	
LOT 15,16, BLOCK 1, PLAN 2187V	
Municipal Address	
1639 4 ST NW, CALGARY	
Project	
AUBURN MANOR	
Drawing Number	Date
A0-3	MAY 2026
Scale	
AS INDICATED	