



COBALT
8580 19 AVE SW
changes outside of Building for DP2025-01540
DP2026-02596 - DR1 Response

ARCHITECTURAL



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ELECTRICAL



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CIVIL



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LANDSCAPE



8 - 121 Village Heights SW, Calgary, Alberta T3H 2L2
bus: (403) 618-4427

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DEVELOPMENT
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AMENDED DRAWINGS
DP No Date Received
DP2026-02596 07 17 2026
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PROJECT NAME AND ADDRESS

COBALT

8580 19 AVE SW
PLAN 211 0726, BLOCK 1, LOT 2

Slokter Homes

DRAWING

Cover Sheet

DRAWN BY	JOB NO.	Building Permit
Author	2422	#
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
2025/12		
SCALE		
AS NOTED		

DP0.0

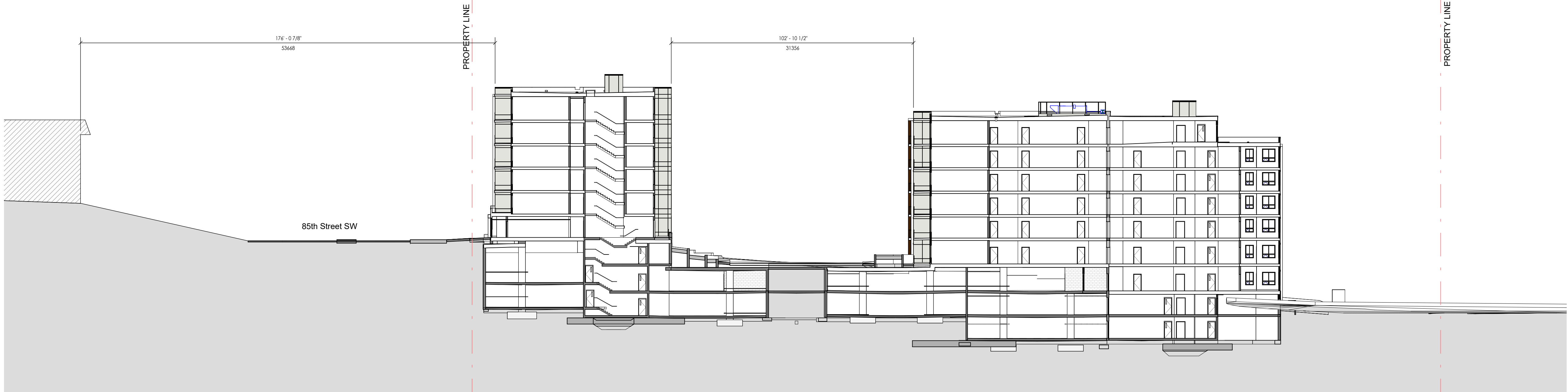
Existing Site Photos

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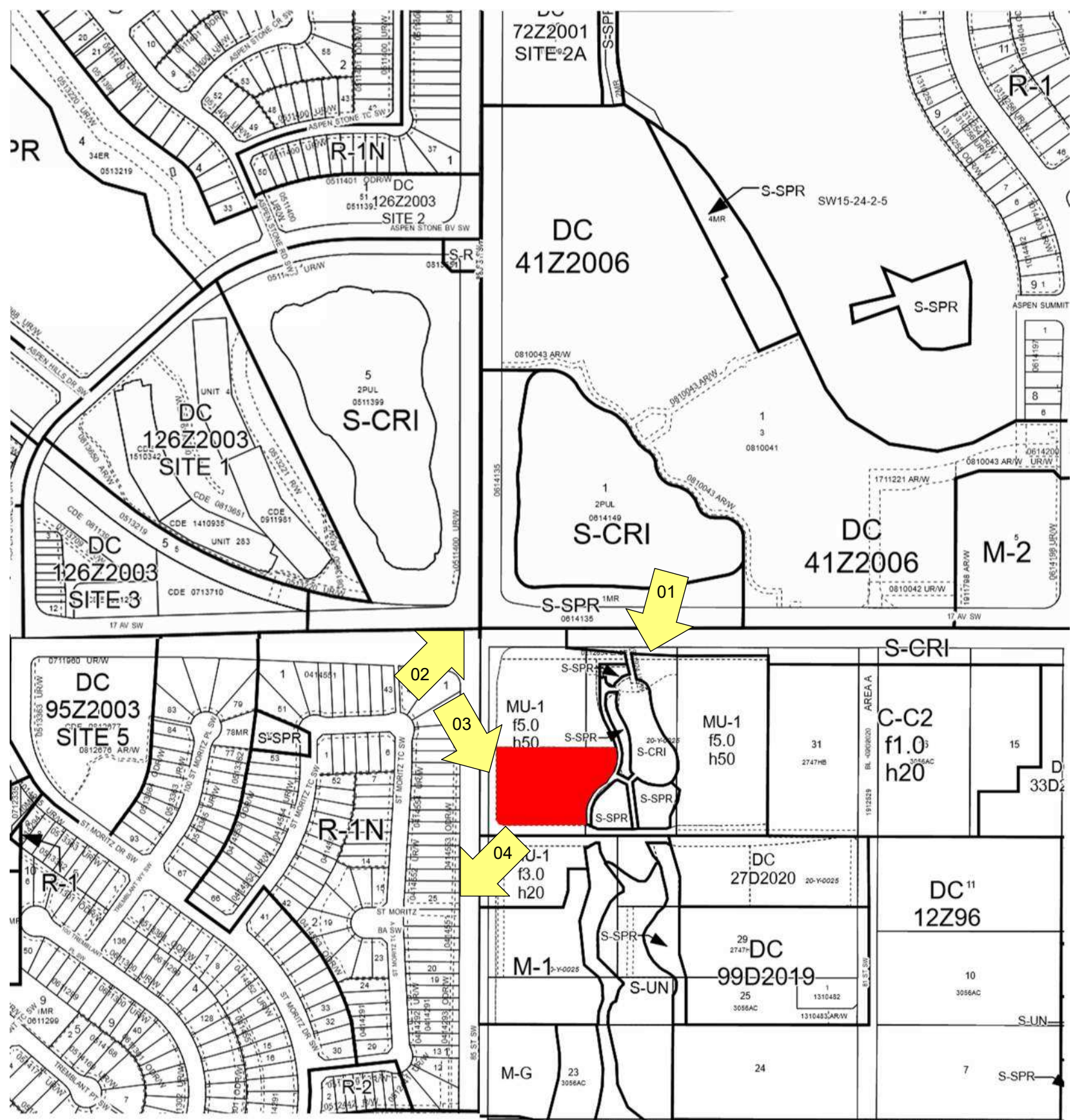
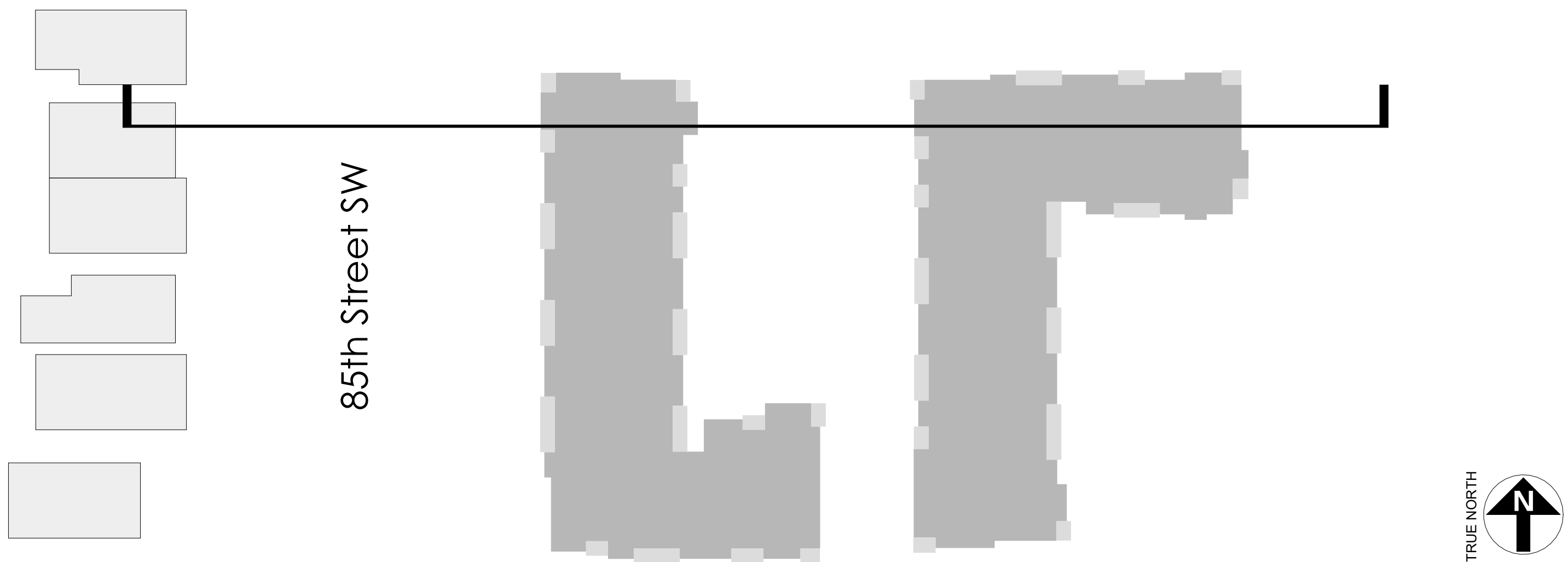
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5 DP_Community Context Section_WE
DP0.02 1 : 300



Site Context Plan



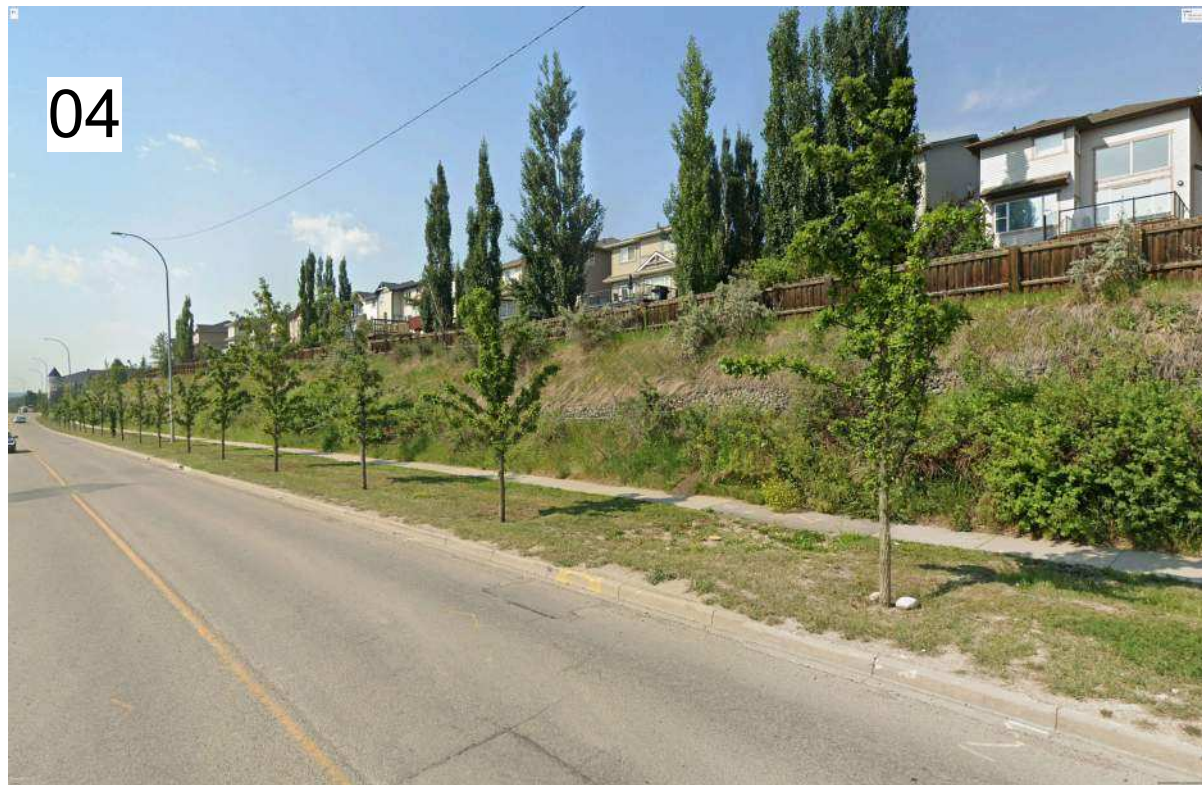
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ALONG 17th AVE SW



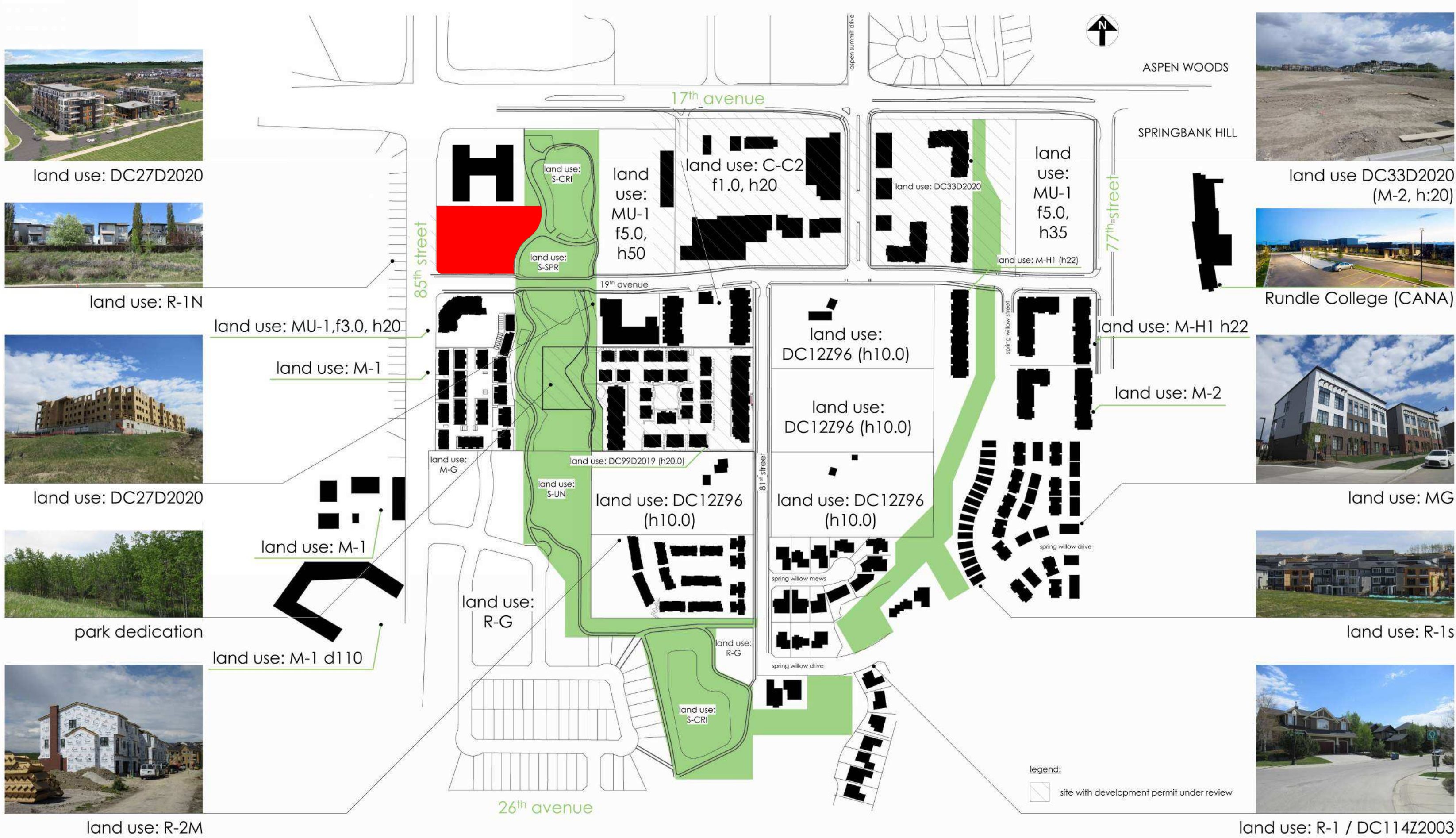
02 NORTH OF SITE - LOOKING NORTH
ACROSS 17th AVE SW



03 NORTH-WEST OF SITE - LOOKING SE
ALONG 85th ST SW



04 NORTH-WEST OF SITE - LOOKING WEST
ACROSS 85th ST SW



Shadow Studies

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8580 19 AVE SW
PLAN 211 0726, BLOCK 1, LOT 2

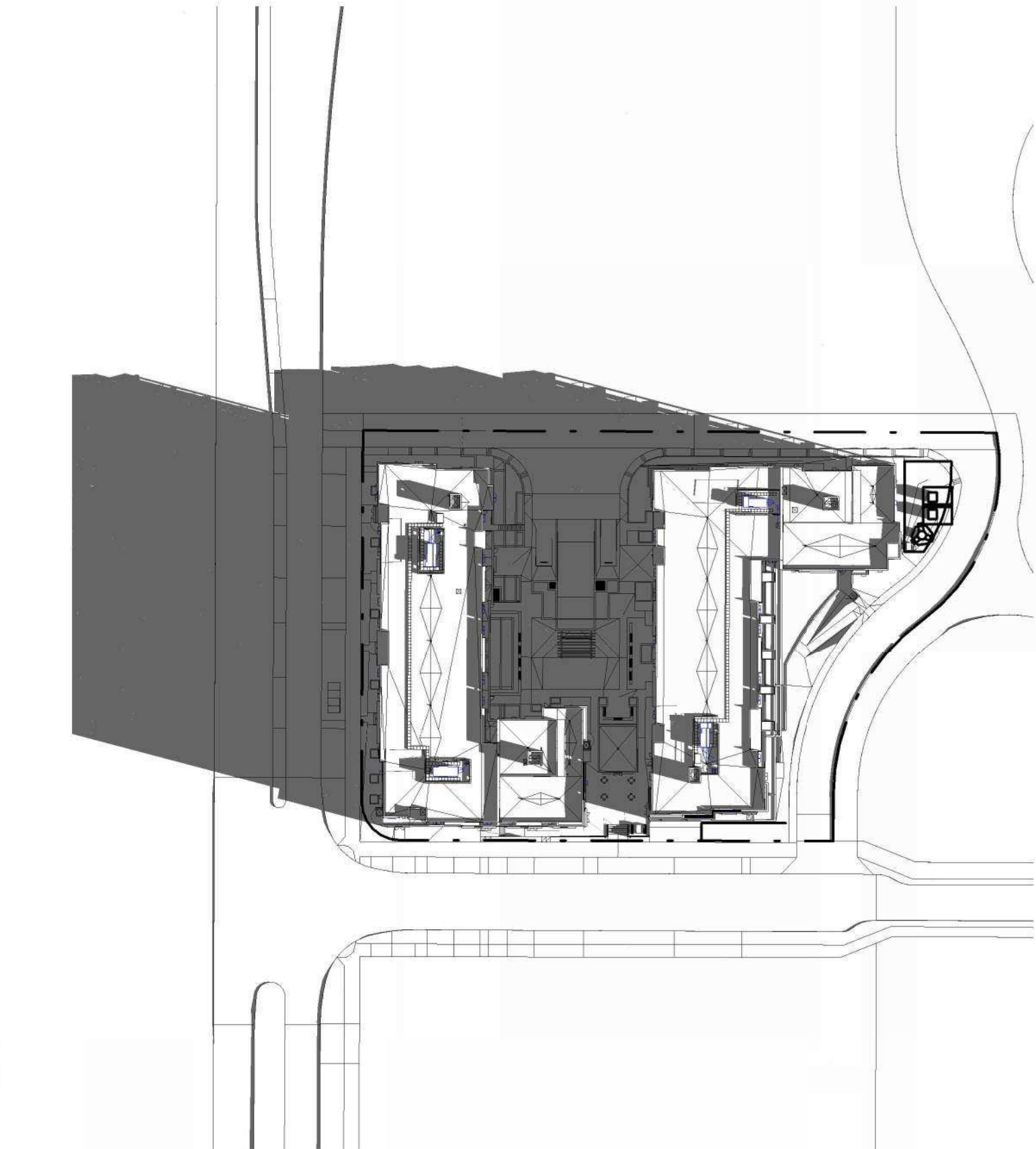
Slokter Homes

DRAWING

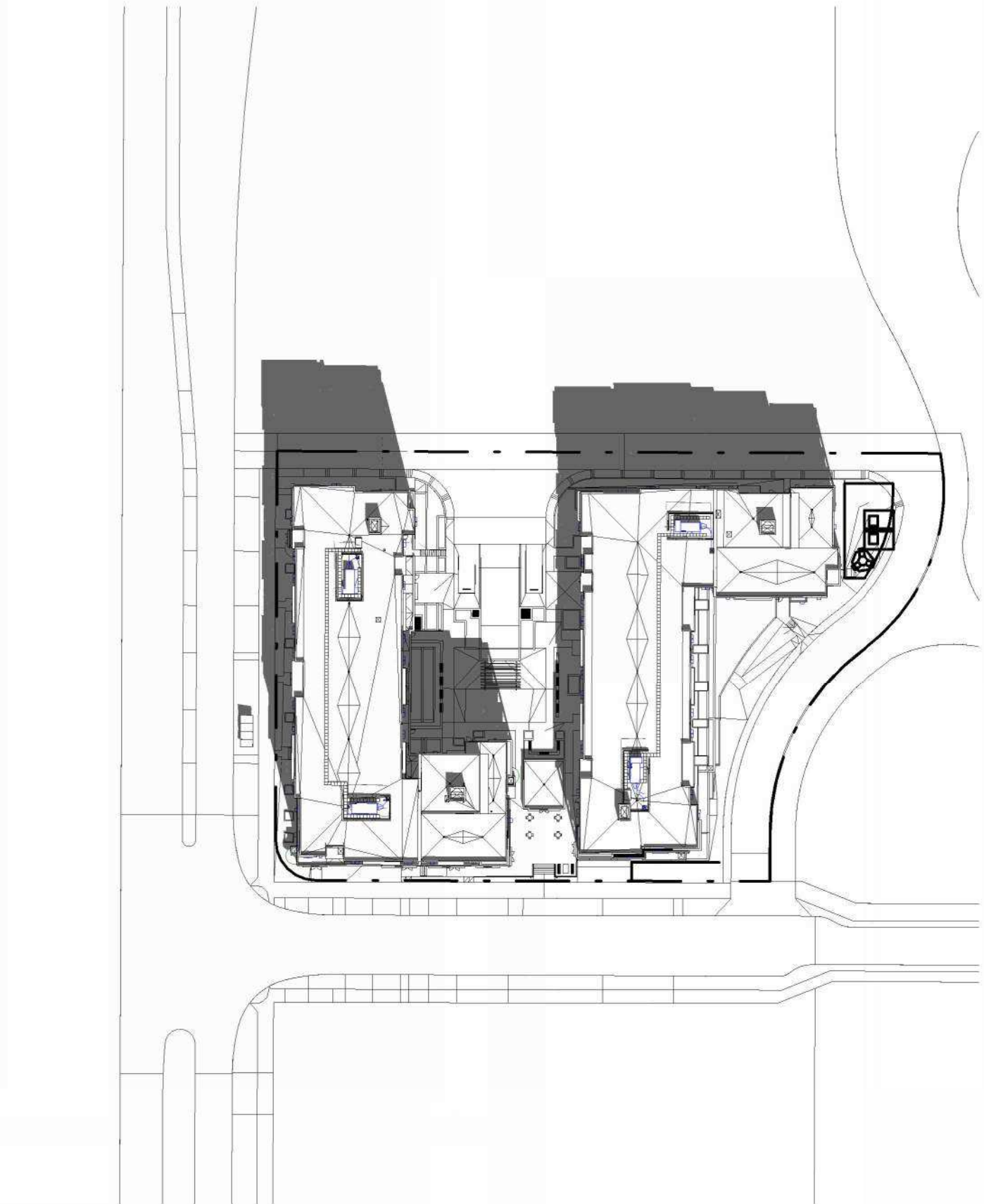
Shadow Studies

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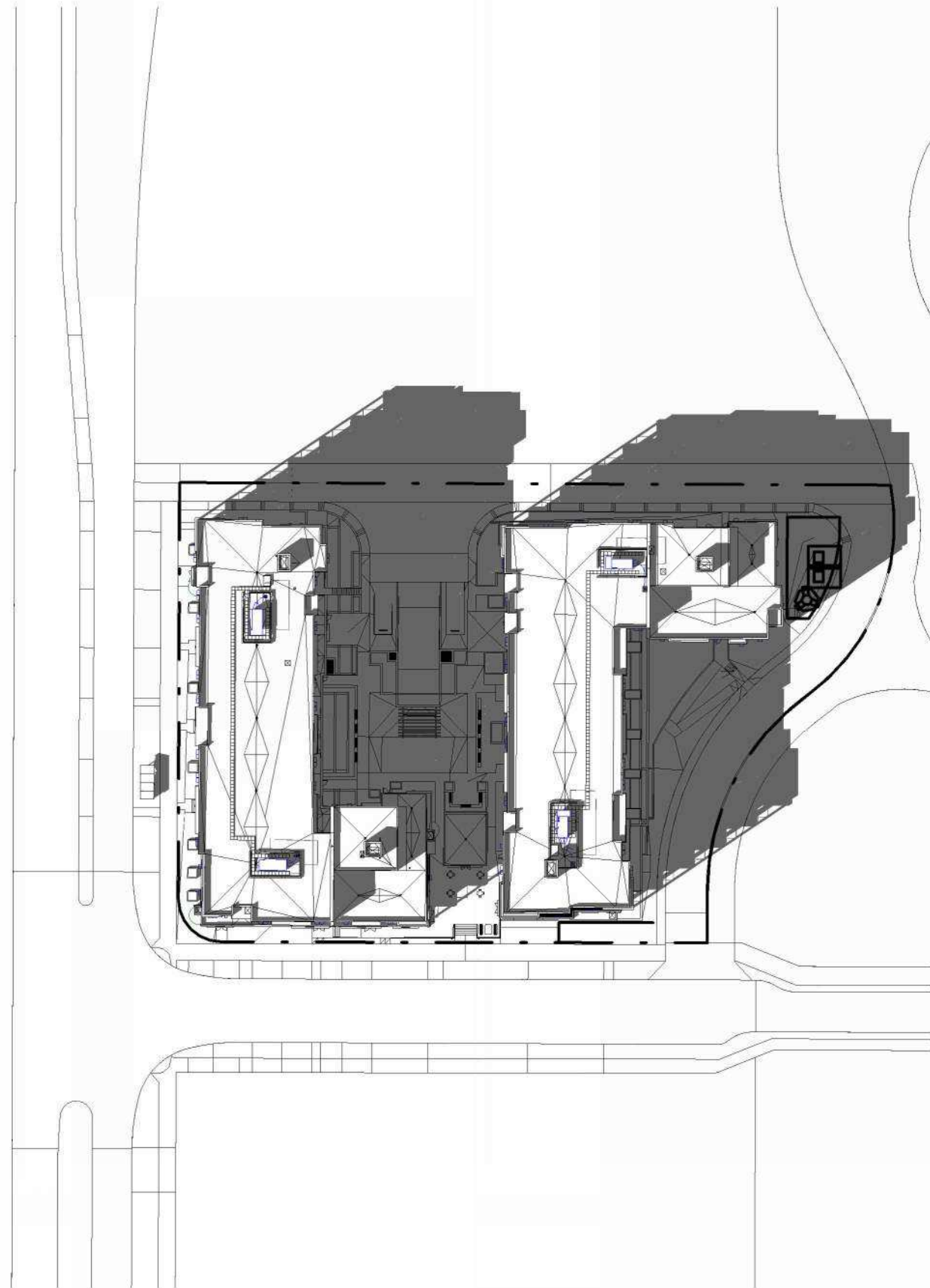
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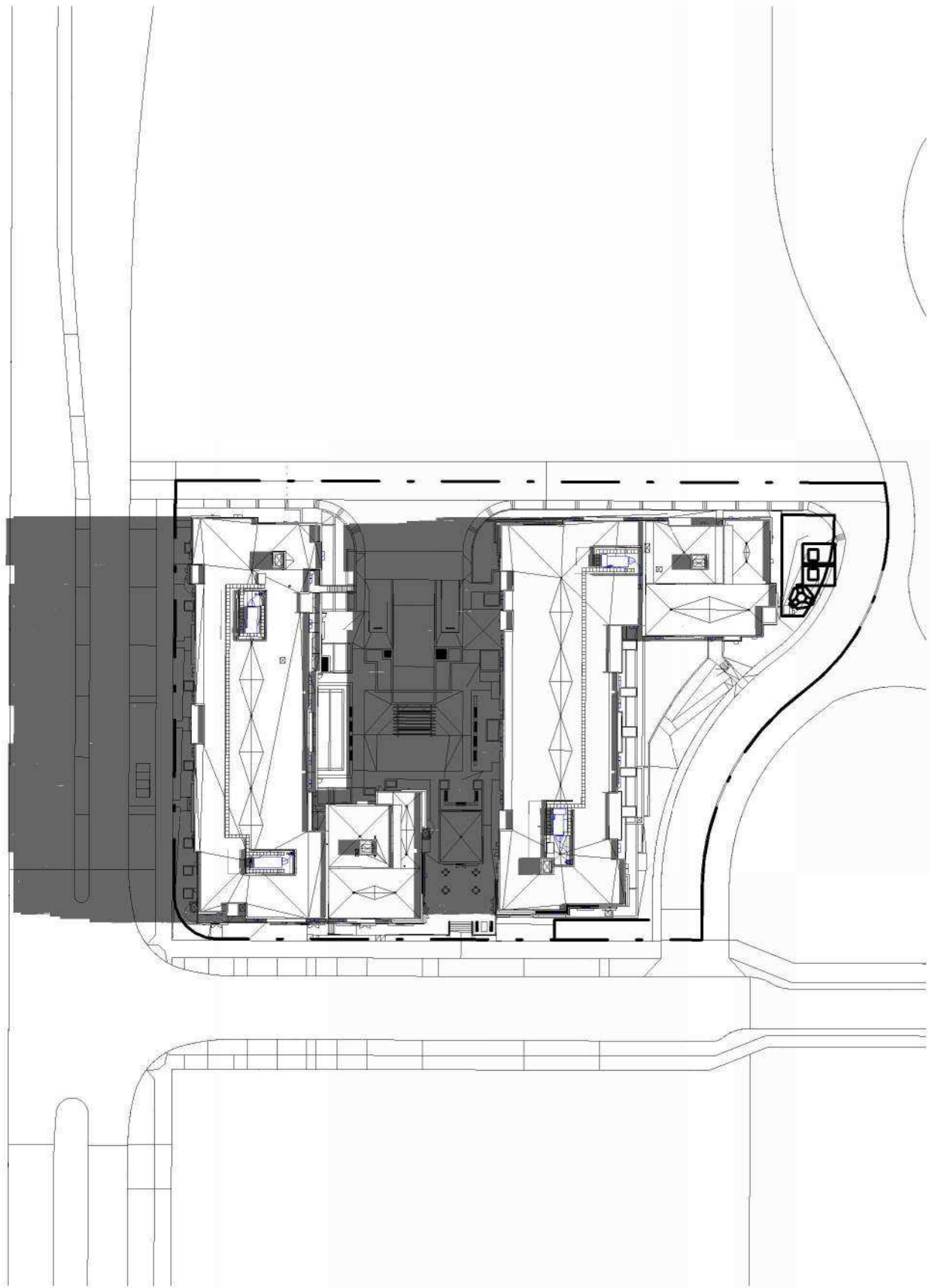
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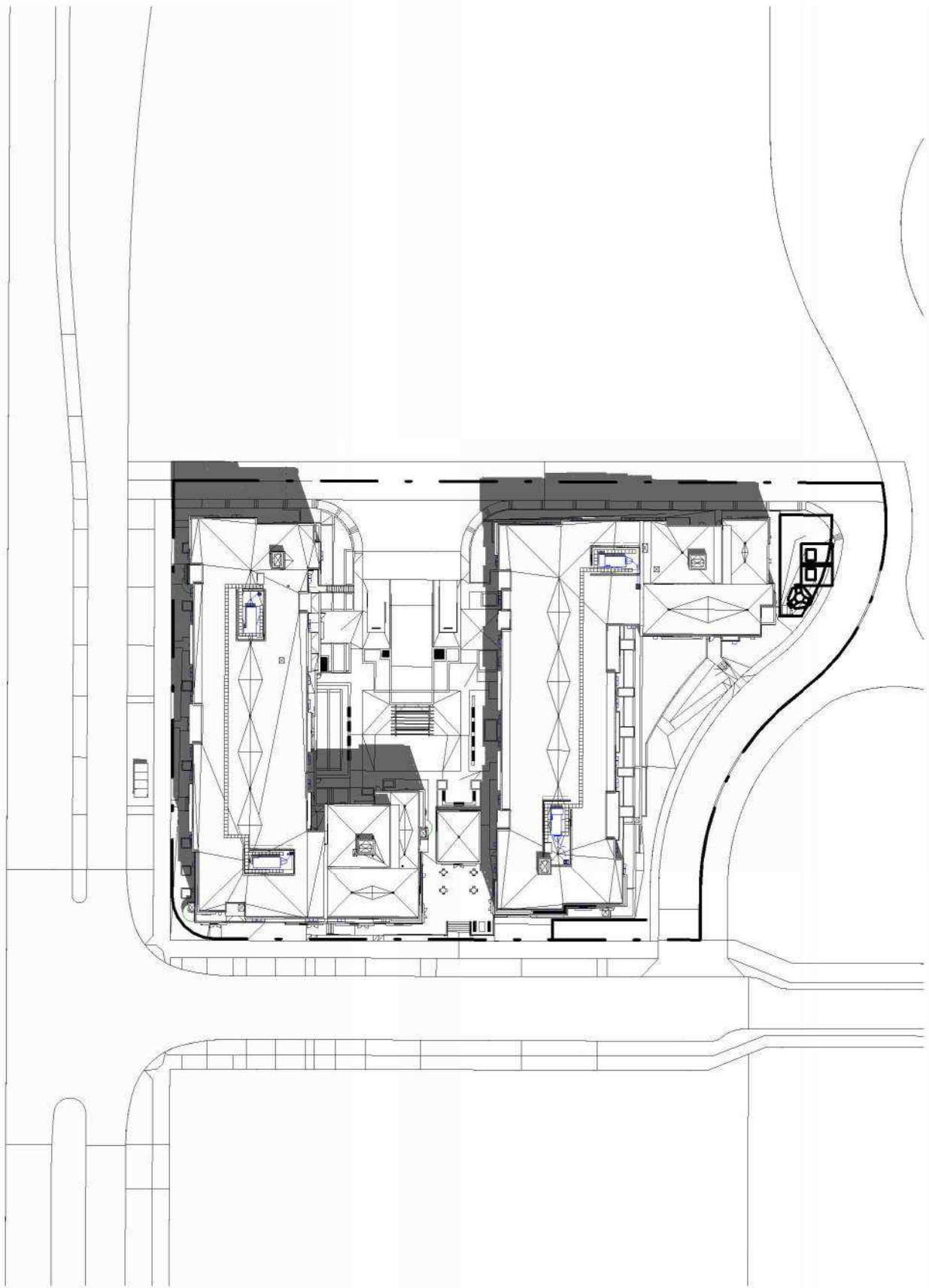
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Shadow Study_06-21_16
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Shadow Studies

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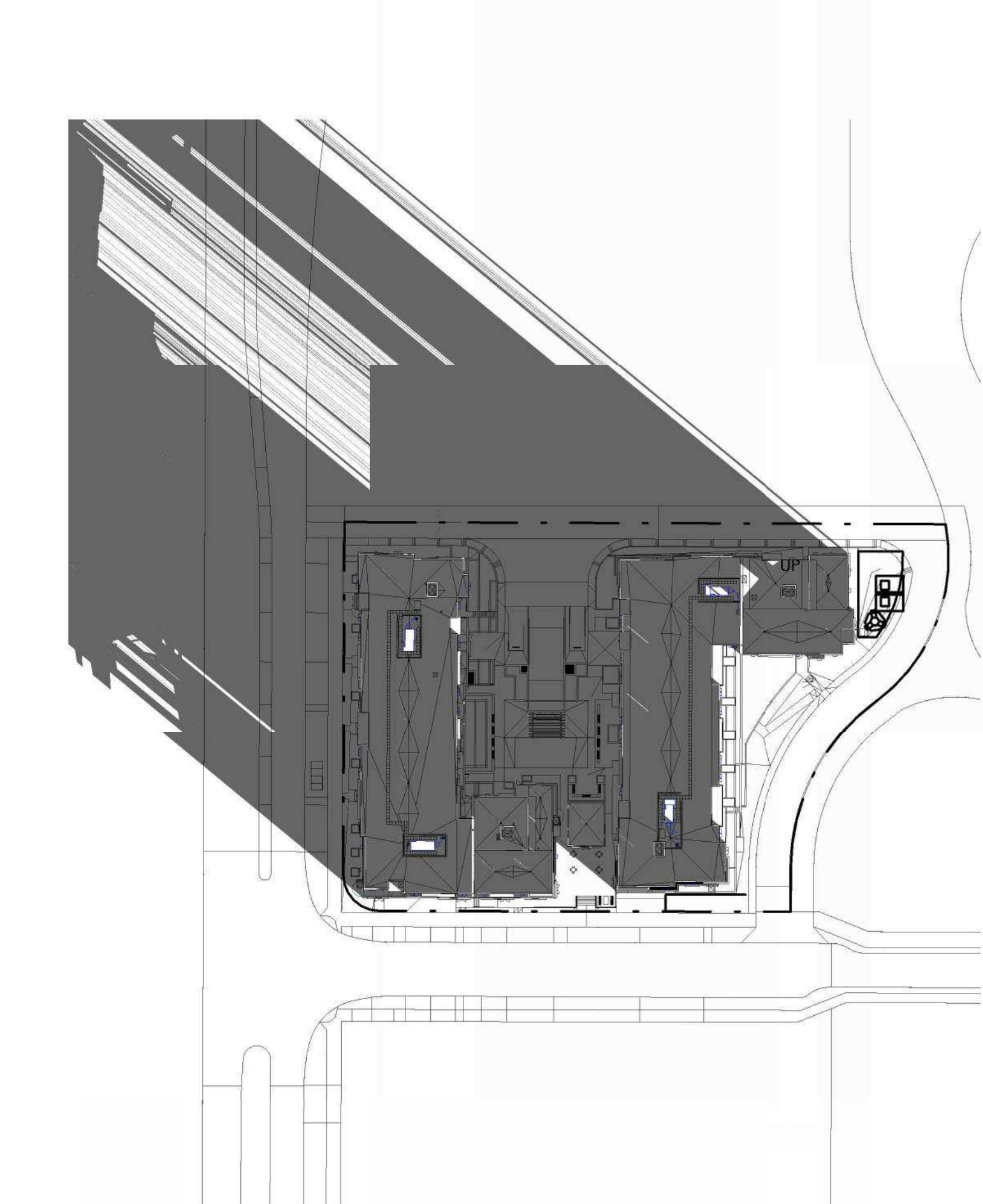
COBALT
8580 19 AVE SW
PLAN 211 0726, BLOCK 1, LOT 2
SLOKKER HOMES

DRAWING

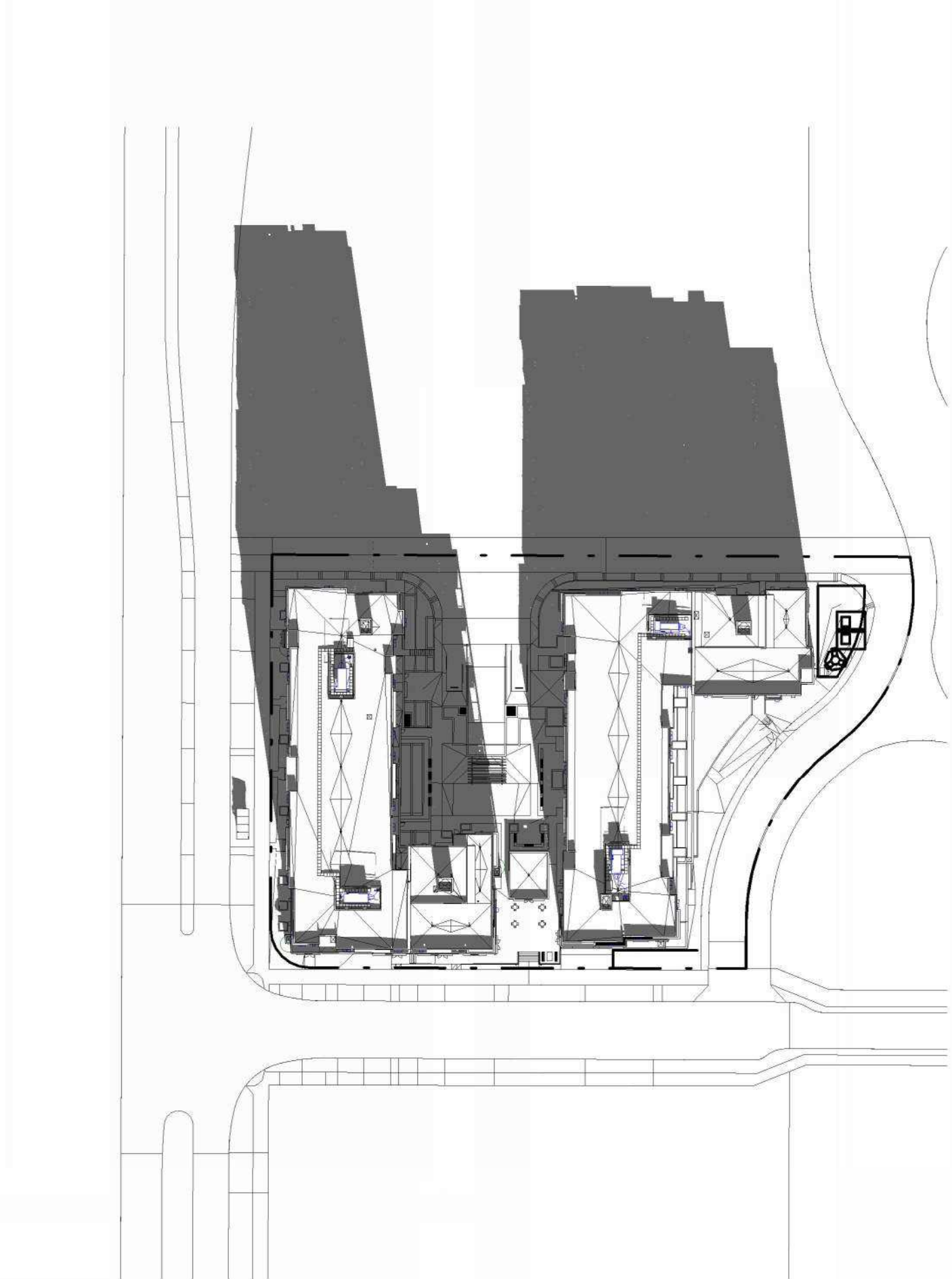
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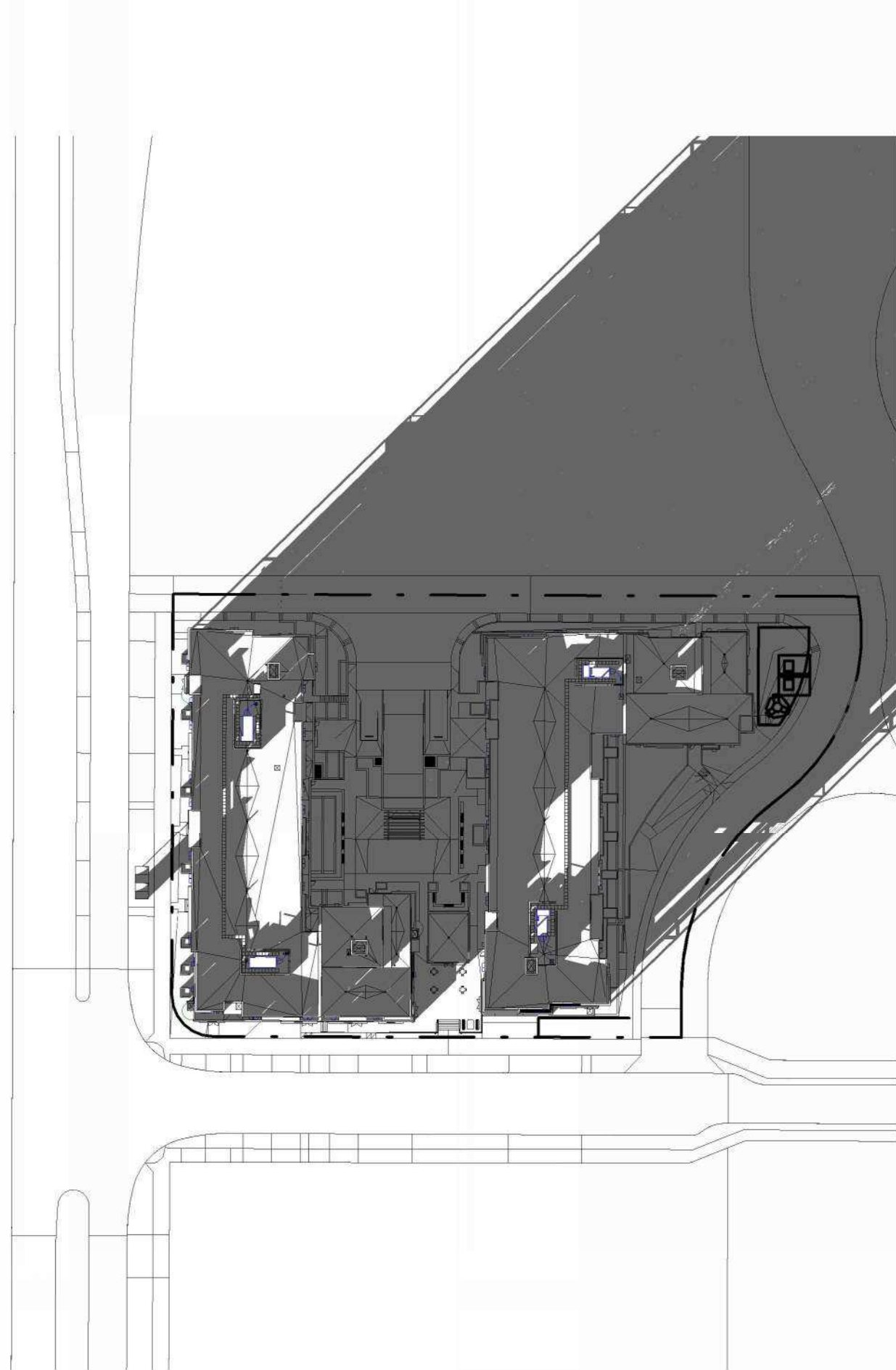
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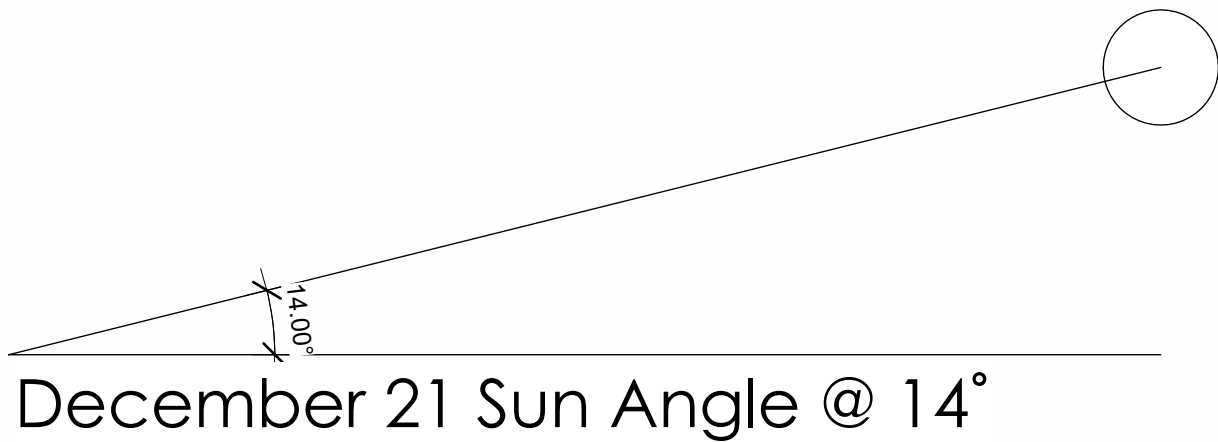
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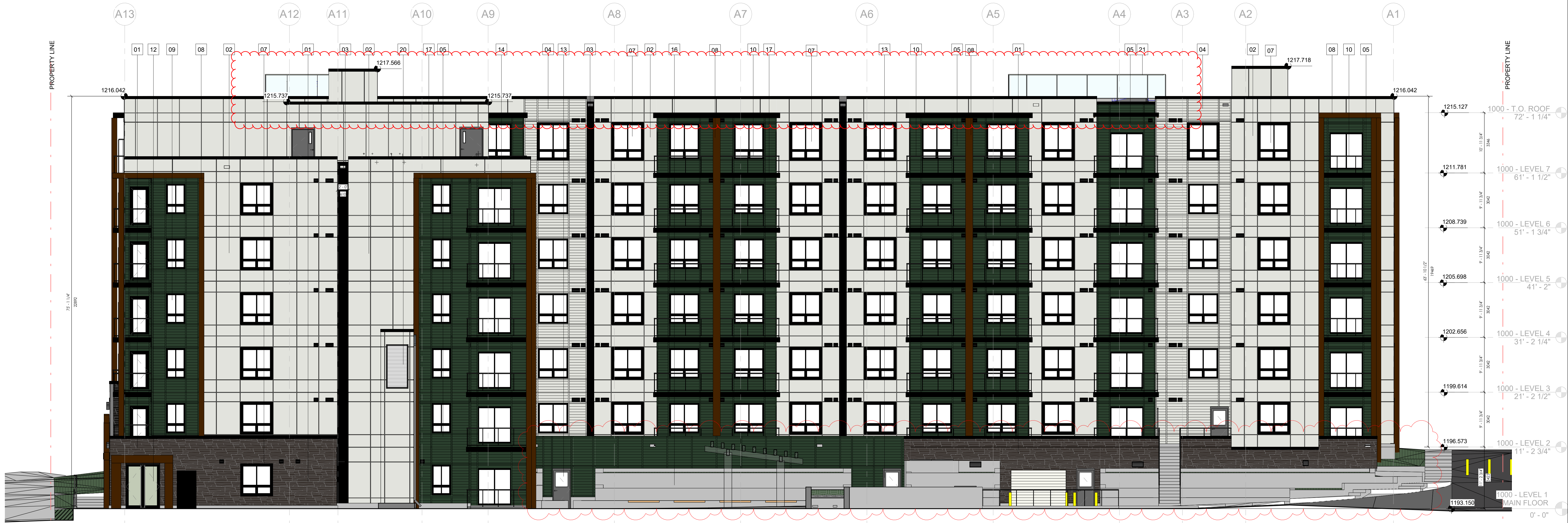
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Shadow Study_12-21_16
1 : 1000



December 21 Sun Angle @ 14°



1 DP - East Bldg A
1/8" = 1'-0"



2 DP - South Bldg A
1/8" = 1'-0"

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Keynotes

01	Stone Masonry - Creative Mines (Split Mod Panel Castiron)
02	Hardie Panel - Artic White (Smooth)
03	Hardie Panel - Midnight black (Smooth)
04	Hardie Plank - Artic White (Cedar Mill)
05	Hardie Plank - Mountain Sage (Cedar Mill)
07	Windows Trim - Black
08	Woodtone Rustic Series - Chestnut Grove Smooth
09	Glazing
10	Black Aluminum Railing - Clear Glazing
11	Overhead Door
12	Storefront Glazing
13	Man Door
14	Patio Door
15	Transformer
16	Concrete
17	Aluminum Flashing - Black
18	Signage
20	Mechanical Grille
21	Mechanical Screen - Frosted Glass
22	Pergola

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PROJECT NAME AND ADDRESS

COBALT

8580 19 AVE SW
PLAN 211 0726, BLOCK 1, LOT 2

Slokter Homes

DRAWING

Bldg A Elevations

DRAWN BY JOB NO. Building Permit

Author 2422 #

CHECKED BY SHEET

Checker

ISSUE DATE (yy/mm)

2025/12

SCALE

AS NOTED

DP3.0

ALL VENTING MATERIALS
WILL MATCH THE COLOURS
OF THE PROPOSED BUILDINGS



1 DP - West Bldg A
1/8" = 1'-0"



2 DP - North Bldg A
1/8" = 1'-0"

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13	Man Door
14	Patio Door
15	Transformer
16	Concrete
17	Aluminum Flashing - Black DP
18	Signage
20	Mechanical Grille
21	Mechanical Screen - Frosted Glass
22	Pergola

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PROJECT NAME AND ADDRESS

COBALT
8580 19 AVE SW
PLAN 211 0726, BLOCK 1, LOT 2

Slokter Homes

DRAWING

Bldg A Elevations

DRAWN BY	JOB NO.	Building Permit
Author	2422	#
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Checker		
ISSUE DATE (yy/mm)		
2025/12		

SCALE
AS NOTED

DP3.1

ALL VENTING MATERIALS
WILL MATCH THE COLOURS
OF THE PROPOSED BUILDINGS



1 DP - West Bldg B
1/8" = 1'-0"



2 DP - South Bldg B
1/8" = 1'-0"

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Slokter Homes

DRAWING

Bldg B Elevations

DRAWN BY Author	JOB NO. 2422	Building Permit #
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ISSUE DATE (yy/mm) 2025/12		

SCALE
AS NOTED

DP3.2

ALL VENTING MATERIALS
WILL MATCH THE COLOURS
OF THE PROPOSED BUILDINGS



1
DP3.3
DP - East Bldg B
1/8" = 1'-0"



2
DP3.3
DP - North Bldg B
1/8" = 1'-0"

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Slokter Homes

DRAWING

Bldg B Elevations

DRAWN BY

Author

JOB NO. 2422

CHECKED BY

Checker

ISSUE DATE (yy/mm)

2025/12

SCALE

AS NOTED

Building Permit

#

SHEET

DP3.3

ALL VENTING MATERIALS
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1 DP - North Overall
1/16" = 1'-0"



2 DP - South Overall
1/16" = 1'-0"

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PLAN 211 0726, BLOCK 1, LOT 2

Slokker Homes

DRAWING

Overall Elevations

DRAWN BY	JOB NO.	Building Permit
Author	2422	#
CHECKED BY		SHEET
Checker		
ISSUE DATE (yy/mm)		
2025/12		

SCALE
AS NOTED

DP3.4

ALL VENTING MATERIALS
WILL MATCH THE COLOURS
OF THE PROPOSED BUILDINGS



SE Corner Perspective



NW Corner Perspective



PARKADE RAMP Perspective



WEST ELEVATION

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Revision Schedule		
Number	Date (yy/mm/dd)	Description
A	2025-03-14	Issued for Development Permit
B	2025-07-04	DTR1 Response
C	2025-07-15	DTR1 Response 2
D	2025-09-08	DTR2 Response
E	2025-12-03	PTR Response / Revised DP
F	2026-06-24	Revisions to DP2025-01540
G	2026-07-17	DRI Response

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2026-02596 07 17 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

PERMIT TO PRACTICE

STAMP

ARCHITECT
casola koppe
ARCHITECTS
#500 - 394 11 ave sw, calgary, alberta T2R 0C5
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

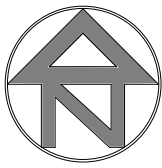
PROJECT NAME AND ADDRESS
COBALT
8580 19 AVE SW
PLAN 211 0726, BLOCK 1, LOT 2

Slokker Homes

DRAWING
3D Perspectives

DRAWN BY Author	JOB NO. 2422	Building Permit #
CHECKED BY Checker		SHEET
ISSUE DATE (yy/mm) 2025/12		
SCALE AS NOTED		

DP5.0



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REVISIONS		
Revision Schedule		
Number	Date [yy/mm/dd]	Description
1	2025-07-04	ISSUED FOR DEVELOPMENT PERMIT

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2026-02596 07/17/2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DESIGNCORE
ARCHITECTS
100, 4721 - 1ST STREET S.W. TEL: (403) 269-3125
CALGARY, ALBERTA, T2C 4H6 www.designcore.ca

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ARCHITECT
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#500 - 396 11 ave sw, calgary, alberta T2R 0C5
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PROJECT NAME AND ADDRESS
COBALT 2
8580 19 AVE SW
PLAN 211 0726, BLOCK 1, LOT 2

Slokker Homes

DRAWING
DP ELECTRICAL KEY PLAN

DRAWN BY ER	JOB NO. 25063	Building Permit #
CHECKED BY Checker		SHEET
ISSUE DATE [yy/mm]		
2025-07		
SCALE AS NOTED		

DPE1.0



1 DP ELECTRICAL KEY PLAN
DPE1.0 Scale: 1:175

DP SHEET LIST		
SHEET NUMBER		SHEET NAME
DPE1.0		DP ELECTRICAL KEY PLAN
DPE1.1		ELECTRICAL SITE PLAN
DPE1.2		DP LIGHTING POINT-BY-POINT

- REFERRAL NOTES:
- 1 PROPOSED ENMAX UTILITY TRANSFORMER LOCATION.
 - 2 PROPOSED ENMAX SWITCHING CUBICLE LOCATION.
 - 3 APPROXIMATE LOCATION OF PROPERTY LINE.
 - 4 PROPOSED LOCATION OF ROGERS/ TELUS PEDESTALS. SUPPLIED AND INSTALLED BY TELECOMMUNICATIONS PROVIDERS.
 - 5 PROPOSED LOCATION OF BUILDING 'B' ELECTRICAL ROOM LOCATED WITHIN PARKADE.
 - 6 PROPOSED LOCATION OF BUILDING 'A' ELECTRICAL ROOM LOCATED WITHIN PARKADE.

DESIGN CRITERIA:
NATIONAL BUILDING CODE 2023 - ALBERTA EDITION
CSA C22.1-24 CANADIAN ELECTRICAL CODE 2024
NATIONAL ENERGY CODE FOR BUILDINGS (NECB) 2020

MUNICIPAL ADDRESS:
1880 85 ST SW
CALGARY, AB

LEGAL DESCRIPTION:
PLAN 211 0726, BLOCK 1, LOT 2

DEVELOPMENT PERMIT LEGEND OF SYMBOLS					
LIGHTING					
	RECESSED / SEMI RECESSED STEP LIGHT		SURFACE MOUNTED LUMINAIRE		WALL MOUNTED LINEAR LUMINAIRE
	POLE MOUNTED LUMINAIRE		RECESSED DOWNLIGHT		RECESSED LINEAR LUMINAIRE
	LIGHTING BOLLARD		WALL MOUNTED LUMINAIRE		SURFACE MOUNTED LINEAR LUMINAIRE
	LIGHT TAPE		LIGHTING LUMINAIRE TYPE TAG		TRACK LIGHTING C/W LIGHTING HEADS AS SHOWN
POWER & SYSTEMS					
	WALL MOUNTED FIRE ALARM STROBE		SITE TRANSFORMER		



1 overall plan
Scale: 1:200

trees	
	Dwarf Korean Lilac (tree form)
	Ivory Silk Tree Lilac
	Tower Poplar
	Lodgepole Pine
	Dropmore Linden
	Red Rocket Red Maple
	Columnar Spruce

shrubs	
	Alpine Currant
	Arctic Fire Red Twig Dogwood
	Little Devil Ninebark
	Wild Rose
	Red Garden Astilbe
	Anise Hyssop
	Double play candy corn spirea
	Russian Sage

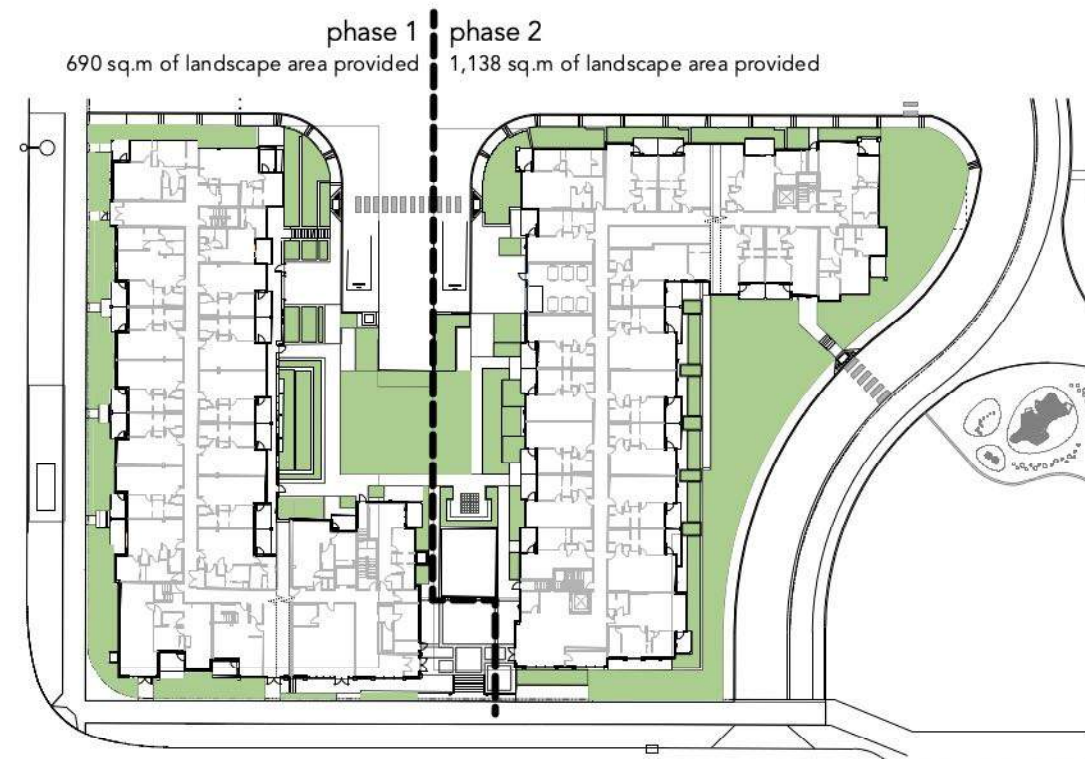
grasses	
	Foerster's Feather Reed Grass
	Variegated Moor Grass

softscape	
	Wood Mulch
	Rock Mulch
	Dought tolerant sod

paving	
	concrete pathways stamped concrete, exposed aggregate or similar
	concrete pathways with accent colour stamped concrete, exposed aggregate or similar

Site Information
Address: 1880 85th Street SW
Calgary, AB
City of Calgary Zoning: MU-1
High Density Residential

Landscape Statistics			
Site Area	8,711.80 sq m		
Landscape area provided	1,828.47 sq m	20.99%	
Soft Landscape area	1,828.47 sq m		
Tree requirements		required	provided
1 tree per 45 sq m	Total	40.6	65
Deciduous Trees		30.5	45.00
	75mm cal	15.2	34
	50mm cal	15.2	11
Coniferous Trees		10.2	20.00
	3m height	5.1	13.00
	2m height	5.1	7.00
Shrub Requirements		required	provided
2 Shrubs per 45 sq m	Total	81.3	964
	Deciduous		811.00
	Coniferous		92.00
	Ornamental Grass		61.00

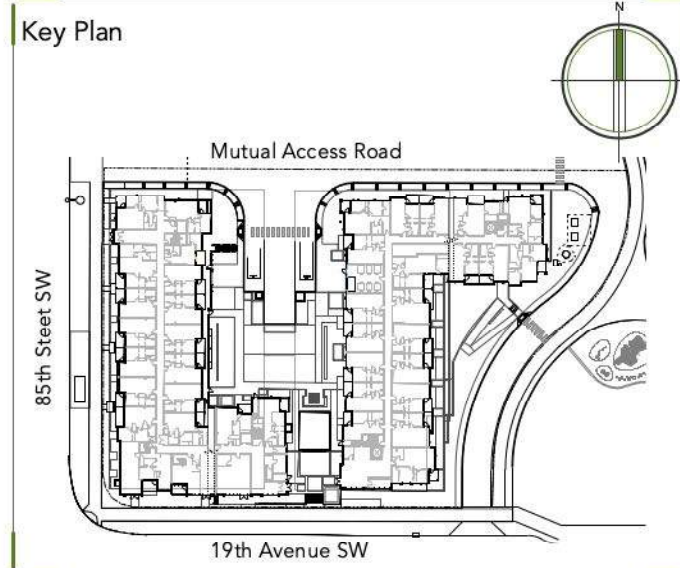


2 landscape area calculations
Scale: 1:1000

Plant List			
Qty	Common Name	Botanical Name	Size
Ornamental Grasses and Groundcovers			
51	Foerster's Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	5 gal pot
10	Variegated Moor Grass	Molinia caerulea 'Variegata'	2 gal pot
Shrubs			
Coniferous			
92	Russian Sage	Perovskia atriplicifolia	600mm min
Deciduous			
40	Alpine Currant	Ribes alpinum	600mm min
175	Anise Hyssop	Agastache 'Blue Fortune'	600mm min
99	Arctic Fire Red Twig Dogwood	Cornus sericea 'Farrow'	600mm min
202	Double play candy corn spirea	Spiraea japonica 'candy corn'	600mm min
89	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	600mm min
178	Red Garden Astilbe	Astilbe x arendsii 'Fanal'	600mm min
28	Wild Rose	Rosa woodsii	600mm min

Trees			
Coniferous			
13	Columnar Spruce	Picea pungens 'Fastigiata'	3m ht
7	Lodgepole Pine	Pinus contorta 'var. latifolia'	2m ht
Deciduous			
6	Dropmore Linden	Tilia x flavescens 'Dropmore'	
26	Ivory Silk Tree Lilac	Syringa reticulata 'Ivory Silk'	75mm cal
2	Tower Poplar	Populus x canescens 'Tower'	75mm cal
6	Dwarf Korean Lilac (tree form)	Syringa meyeri 'Palibin (tree form)'	50mm cal
5	Red Rocket Red Maple	Acer rubrum 'Red Rocket'	50mm cal

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- Irrigation Notes**
- All landscape areas shall be watered by an automatic underground irrigation system as per municipal standards. Contractor is responsible for coordination with other trades and subconsultants regarding the specifics of the system, including location of power and water sources. If possible, connect to existing irrigation system. Ensure power and water meters are properly installed and operating prior to utilization of the system.



AMENDED DRAWINGS
DP No Date Received
DP2026-02596 07 17 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

10	revisions to DP2025-01540	26.07.14
9	revisions to DP2025-01540	26.04.23
8	development permit PTR	25.11.27
7	development permit DR	25.10.02
6	development permit DR	25.09.04
Issued for:		Date: (yy.mm.dd)

Project No: 12-007
Project Title:

**Cobalt
Mixed Use**

Calgary, A.B.

Drawing Title:

Overall Landscape Plan

Drawn by:

Drawing No.

cmp

Checked by:

L-0

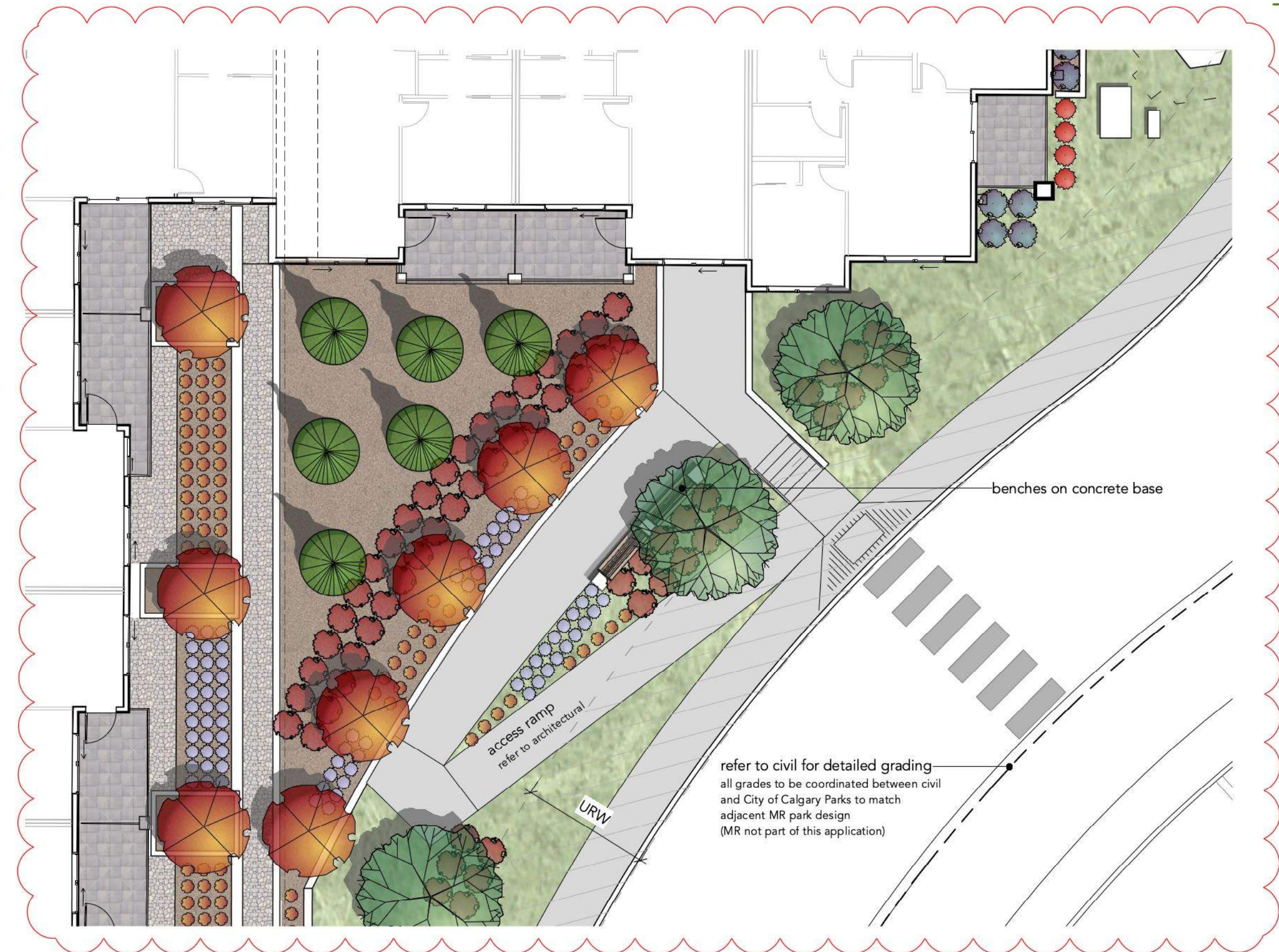
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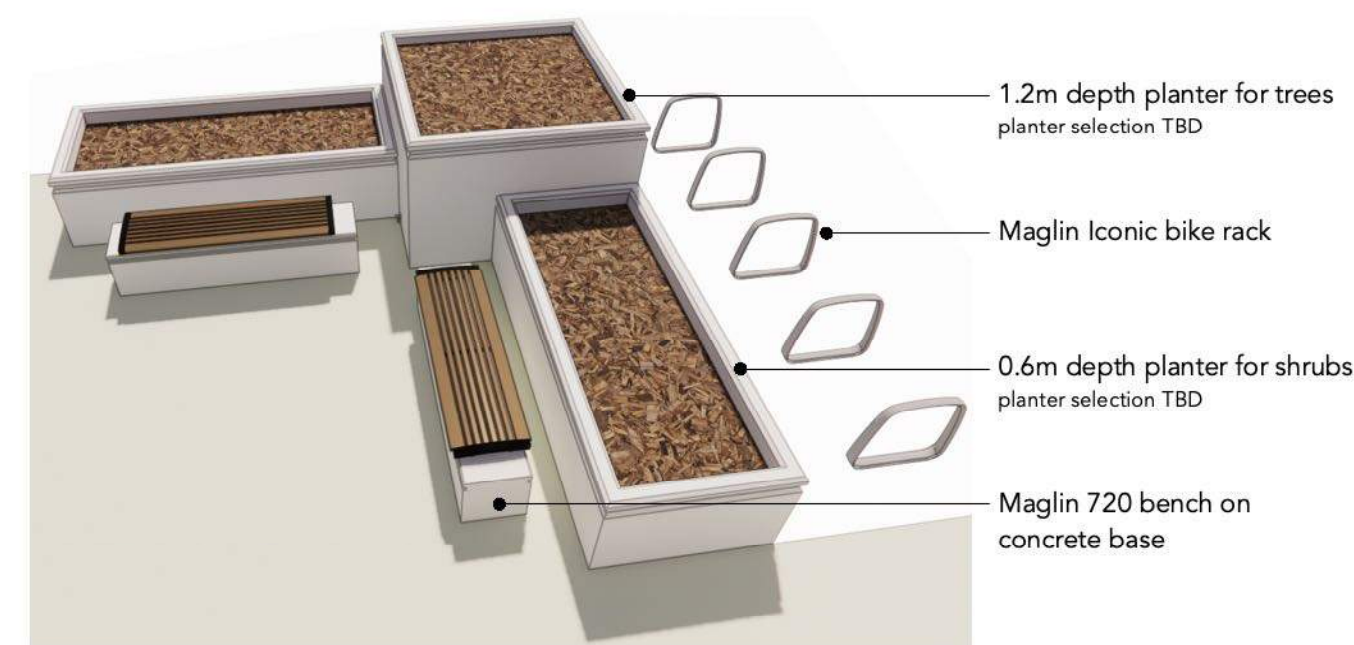




1 central amenity area
Scale: 1:125



2 east access and open space
Scale: 1:125



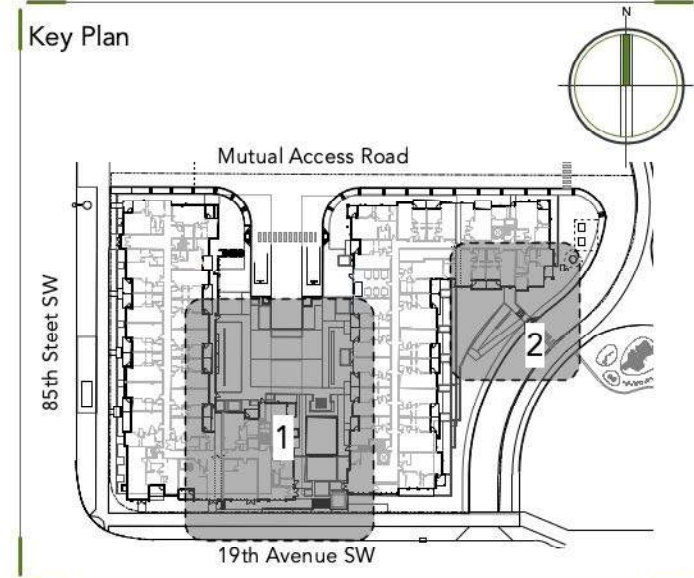
3 typical proposed site furnishings
Scale: n.t.s.

trees	shrubs	grasses
Dwarf Korean Lilac (tree form)	Alpine Currant	Foerster's Feather Reed Grass
Dropmore Linden	Red Garden Astilbe	Variegated Moor Grass
Ivory Silk Tree Lilac	Arctic Fire Red Twig Dogwood	
Red Rocket Red Maple	Anise Hyssop	
Tower Poplar	Little Devil Ninebark	
Columnar Spruce	Double play candy corn spirea	
Lodgepole Pine	Wild Rose	
	Russian Sage	
		softscape
		Wood Mulch
		Rock Mulch
		Drought tolerant sod
		paving
		concrete pathways stamped concrete, exposed aggregate or similar
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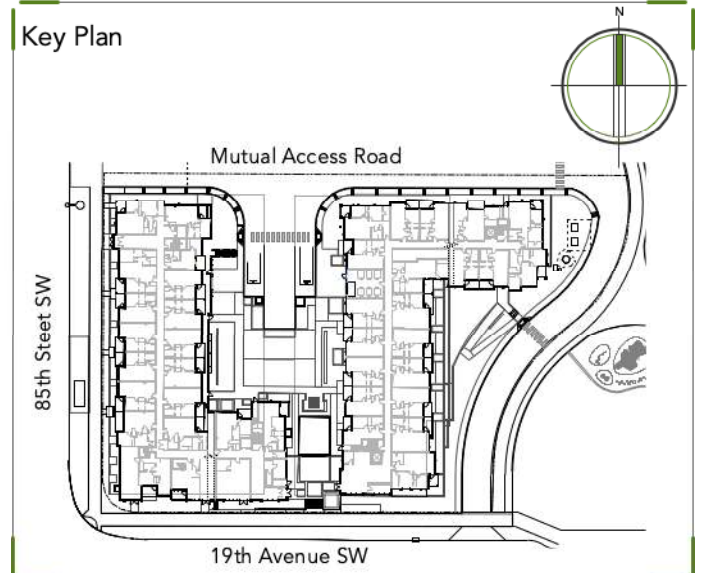
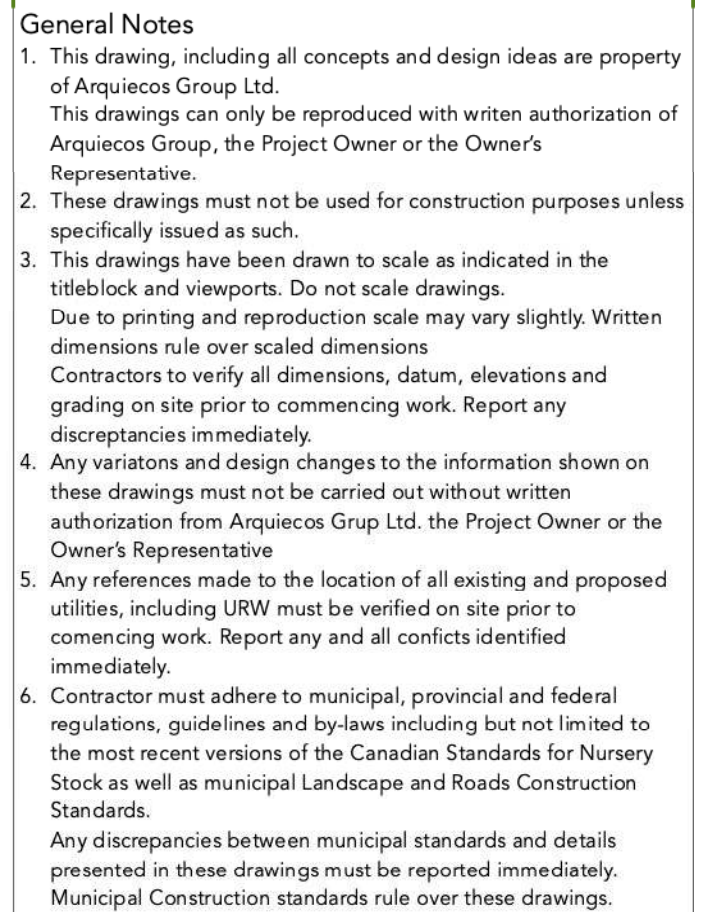
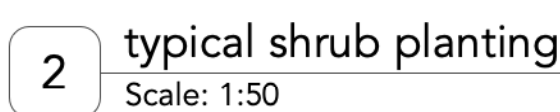
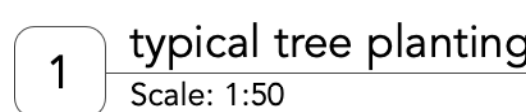
AMENDED DRAWINGS
DP No: DP2026-02596 Date Received: 07 17 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

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6	development permit DR	25.09.04
Issued for:		Date: (yy.mm.dd)
Project No. 12-007		
Project Title. Cobalt Mixed Use		
Calgary, A.B.		
Drawing Title: Central Plaza Plan		
Drawn by: cmp		Drawing No. L-1
Checked by: cmp		
Scale: 1:100		
		



Project No.	12-007	
Project Title.	Cobalt Mixed Use	
Calgary, A.B.		
Drawing Title:		
Details		
Drawing by:	Drawing No.	L-2
Checked by:		
Scale:	as noted	