



ING BUSINESS CENTER

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Address : 5225 94 Ave SE
Legal : Block 5
Lot 2
Plan 1010606

OWNER: ING DEVELOPMENTS 2009 LTD
3287 100 St SE
Calgary, AB T1X 0L4
403-540-6161
billing.ingdev@gmail.com

DP2026-02584

REVISIONS Aug 14, 2026

- 1) Revise elevation of Building B to +300mm = 1038.40
- 2) Construct new Building C 2760 sq m = elevation 1038.4
- 3) All elevations and RIM of Manholes and Catchbasins to be +300mm
- 4) Add an additional waste bin area

Scale 1:400

EXISTING BUILDING TO BE DEMOLISHED
AND REPLACED WITH PROPOSED BUILDING "C"
BUILDING "B" UNDER CONSTRUCTION MAIN FLOOR 122,608 SQ FT
PROPOSED BUILDING "C" MAIN FLOOR = 29,797 SQ FT
BUILDINGS ARE SPRINKLERED

BUILDING TO CONFORM TO 3.2.2.76

COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION.
OCCUPANCY: F2
FLOOR ASSEMBLIES TO BE 45 MIN. RATED FIRE SEPARATIONS.
MEZZANINE TO HAVE 45 MIN. RATING IF COMBUSTIBLE.
9 INDUSTRIAL BAYS, EACH 2 HR RATED

3.4.2.5.(1)(F): MAX. 30M TRAVEL DISTANCE TO EXIT.

LOADBEARING WALLS, COLUMNS & ARCHES SUPPORTING A RATED

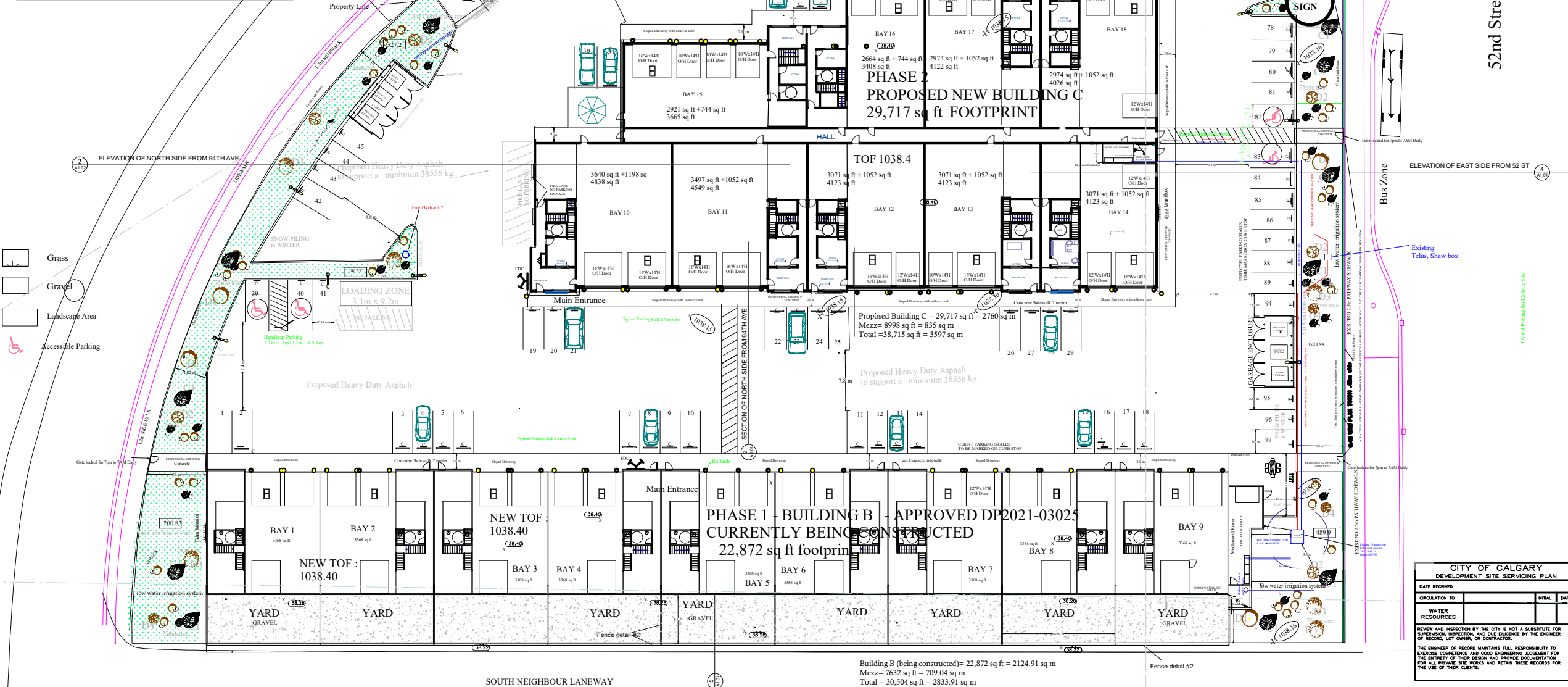
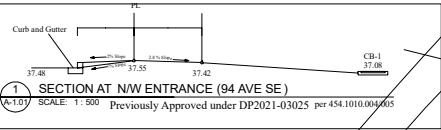
LOADBEARING MEMBERS SUPPORTING RATED FIRE SEPARATION TO

ALL CONCRETE SIDEWALKS WILL ALL BE RAISED 150mm ABOVE THE ASPHALT PARKING
EXCEPT AT THE OVERHEAD DOOR ENTRANCES WHERE THEY WILL BE RAMPED
ALL ASPHALT SHALL BE HEAVY DUTY EXCEPT WHERE NOTED

Fire access route, fire apparatus setup area, and outrigger support zones are designed to support a
38,556 kg / 85,000 lb and an NFPA 1901 point load of 517 kPa (75 psi) over a 2 ft x 2 ft area.
Minimum overhead clearance along the fire access route: 5.0 m.

All sidewalks adjacent to parking areas raised 150 mm above parking surface unless noted otherwise.
All parking areas are asphalt unless otherwise noted

There are ROW on the east side of the property
URW PLAN 731011



DP2026-02584

NOTES

1. ALL COORDINATES SHOWN ARE IN 3TM NAD 83 DATUM
REFERENCE MERIDIAN 114°.
2. ALL ELEVATIONS, DIMENSIONS AND COORDINATES ARE IN
METRES AND DECIMALS UNLESS NOTED OTHERWISE.
3. GEODETIC ELEVATIONS SHOWN MINUS 1000.
4. EXISTING SURVEY DATA FROM ALPHA GEOMATICS FILE
20-015, PERFORMED BETWEEN APRIL 29TH AND MAY
4TH, 2020.

LEGEND

EXISTING UTILITIES

- PROPERTY LINE (1.45ha)
- STORM SEWER
- SANITARY SEWER
- WATER LINE
- EXISTING MANHOLE

PROPOSED UTILITIES

- PROPERTY LINE (1.45ha)
- STORM SEWER
- SANITARY SEWER
- WATER LINE
- EXISTING FENCE
- CATCHMENT AREA
- PROPOSED RETAINING WALL
- ST 250 PVC STORM SEWER, PIPE SIZE AND TYPE
- S 250 PVC SANITARY SEWER, PIPE SIZE AND TYPE
- W 150 PVC WATER, PIPE SIZE AND TYPE
- TOF TOP OF FLOOR
- LOG LIP OF GUTTER
- BOC BACK OF CURB
- GRATED TOP CATCH BASIN/MANHOLE (TYPE 5)
- MANHOLE (TYPE 5A)
- HYDRANT C/W VALVE
- WATER VALVE
- WATER METER
- CATCHMENT NUMBER
- CATCHMENT AREA CUBIC METRES
- CATCHMENT TRAP LOW VOLUME

PROPOSED FINISHED GRADE

NO.	DESCRIPTION	DATE
1	Response to June 18	Aug 14, 2026

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to -300mm = 1038.40
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2760 sq m = elevation 1038.4
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Manholes and Catchbasins to
be -300mm
- 4) Add an additional waste bin area

ING DEVELOPMENTS
2009 LTD.

5225 94 AVENUE SE CALGARY, ALBERTA

DEVELOPMENT SITE SERVICING PLAN
SITE SERVICING
PLAN

A-01 PHASE 2
SITE PLAN

REV.
A

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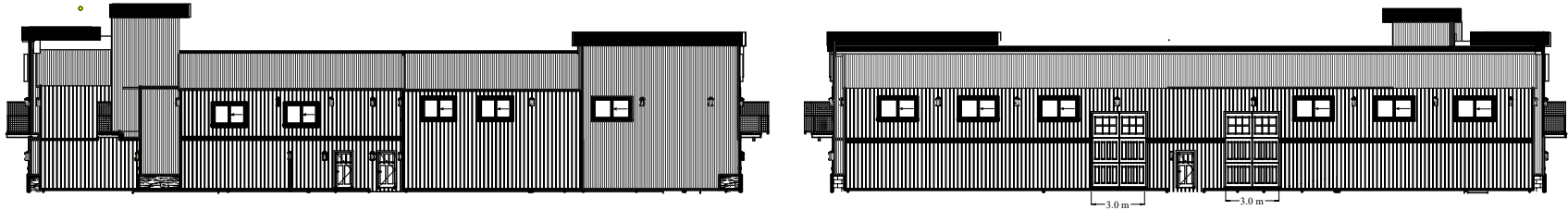


BAY SIGNAGE

- BACKLIT LED SIGN BOX
10 ft x 4 ft
6m height to bottom
- BACKLIT LED SIGN BOX
13 ft x 5 ft
6m height to bottom

EXTERIOR LIGHTING

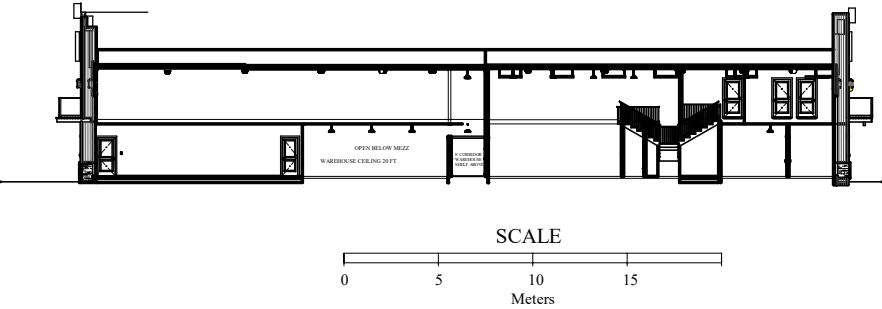
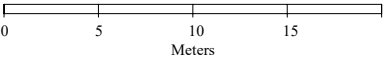
- LED WALLPACK, 100W
13,000 Lumens,
downward facing
5m height
over front Overhead doors



EXTERIOR FINISHES

- PREFINISHED METAL SIDING
RED - 24 gauge
- STONE TILE
VINEER
- PREFINISHED METAL SIDING
GREY - 26 gauge
- GALVANIZED METAL ROOF
SILVER - 29 gauge

SCALE



WINDOW & DOOR SCHEDULE BLDG 2

- D1 5- Aluminum/glass 3'x7' doors
- D2 5- Steel Commercial 3'x7' doors
- D3 5- Steel 6 Panel 3'x6'8" doors
- W1 5- Aluminum 5' x 3' Windows
- W2 4 - Aluminum 6' x 3' Windows
- W3 10 - Vinyl Sliding 5' x 3' Windows
- O1 16 - 12'x14' Overhead doors with windows



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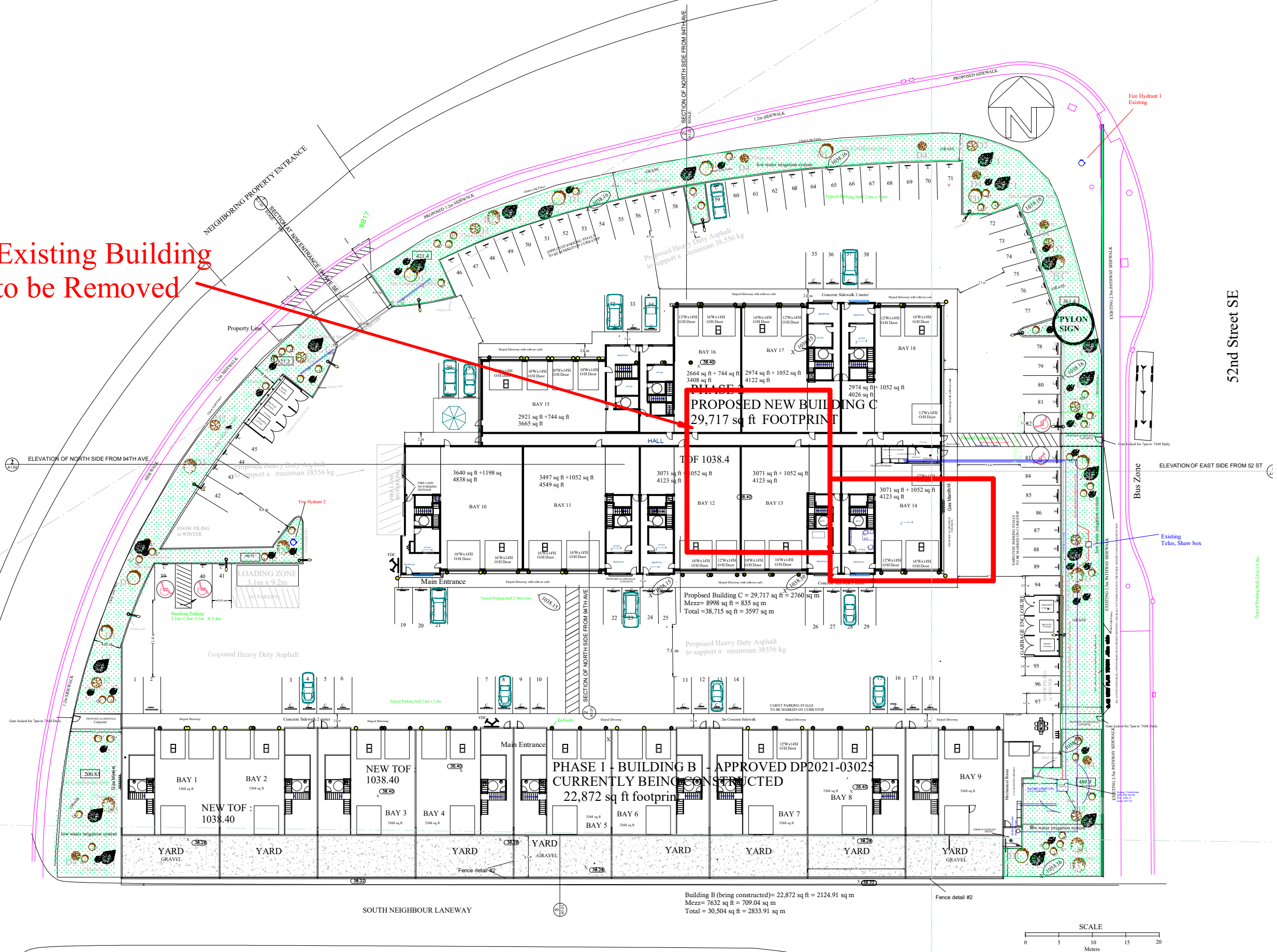
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Existing Building
to be Removed



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- 5) 2026 PHASE 2 2026.04.01

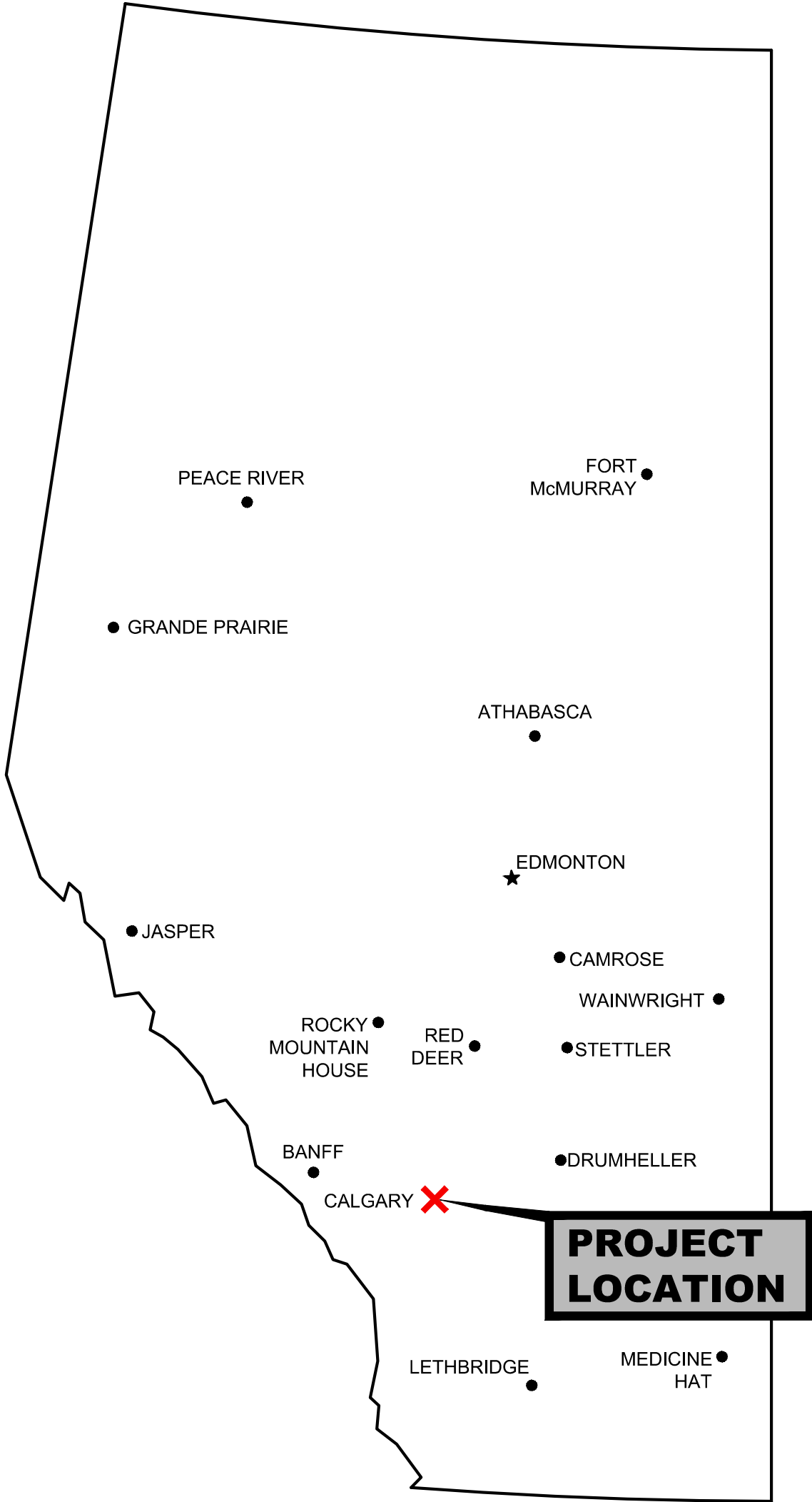
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Scale 1:600

A-05 EXISTING BUILDING
REMOVAL

ING DEVELOPMENTS 2009 LTD.
5225 94 AVENUE SE CALGARY, ALBERTA
DEVELOPMENT AND SITE SERVICING

DWG: ING21001-CID-000
DATE: 2026.AUG.14



CITY OF CALGARY			
DEVELOPMENT SITE SERVICING PLAN			
DATE RECEIVED			
CIRCULATION TO		INITIAL	DATE
WATER RESOURCES			
REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.			
THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.			

DRAWING NUMBER	DRAWING TITLE	REVISION	REVISION DESCRIPTION	REVISION DATE
ING21001-CID-000	COVER SHEET & DRAWING INDEX	0	ISSUED FOR CONSTRUCTION	2026.AUG.14
ING21001-CID-001	SITE SERVICING PLAN	0	ISSUED FOR CONSTRUCTION	2026.AUG.14
ING21001-CID-002	OVERALL SITE GRADING PLAN	0	ISSUED FOR CONSTRUCTION	2026.AUG.14
ING21001-CID-003	STORMWATER MANAGEMENT PLAN	0	ISSUED FOR CONSTRUCTION	2026.AUG.14
ING21001-CID-004	STORMWATER MANAGEMENT DETAILS & CALCULATIONS	0	ISSUED FOR CONSTRUCTION	2026.AUG.14
ING21001-HYD-001	HYDRANT COVERAGE PLAN	0	ISSUED FOR CONSTRUCTION	2026.AUG.14



ING
DEVELOPMENTS
2009 LTD.

PLOTTER: 2026-08-14 11:15:57 AM BY: RAMEEZ
LAST SAVED: 2026-08-14 11:05:47 AM BY: RAMEEZ