

WalterFedy Project No.: 2025-1028-10
REISSUED FOR DEVELOPMENT PERMIT 04/06/26

WalterFedy Project No.: 2025-1028-10

REISSUED FOR DEVELOPMENT PERMIT 04/06/26

SITE SUMMARY AND LAND-USE BYLAW		
BYLAW ITEM	DESCRIPTION	REFERENCE
MUNICIPAL ADDRESS	10222 - 15TH STREET N.E. CALGARY ALBERTA	
LEGAL DESCRIPTION	PORTION OF LOT 1, BLOCK 2, PLAN 181 0971, WITHIN S.W. 1/4 SEC.24, TWP.25, RGE. 1, W.30	
APPLICABLE BY-LAW AND REFERENCES	CITY OF CALGARY LAND-USE BY-LAW, LG INDUSTRIAL GENERAL CITY OF CALGARY LAND-USE DISTRICT MAP	1P2007, SECTION 26
PERMITTED AND DISCRETIONARY USES	PERMITTED USE: GENERAL INDUSTRIAL - LIGHT	1P2007, LG 907.2 (N)
SITE AREA	5,466 HA. (13.51 ACRES / 54,673M ²)	
BUILDING FOOTPRINT	17,007 M ² (183,068 SF)	
TOTAL BUILDING AREA (INC. RACK-SUPPORTED MEZZ.)	20,857 M ² (224,503 SF)	
BUILDING HEIGHT	MAXIMUM HEIGHT: 16.0M (50 FT)	1P2007, 912
SITE COVERAGE	SITE AREA: 54,673 SQ.M (588,406.8 SQ.FT.) BUILDING FOOTPRINT: 17,007 SQ.M (183,068 SQ.FT.) SITE COVERAGE: 31.1%	1P2007, 911
REQUIRED SETBACKS	FRONT SETBACK: MINIMUM 6.0M REAR SETBACK: MINIMUM 6.0M SIDE SETBACK: MINIMUM 6.0M - ADJACENT STREET MINIMUM 1.2M - ADJACENT INDUSTRIAL LOT	1P2007, 915, 916, 917
PARKING PROVIDED	STALLS PROVIDED: 101 101 STALLS X 1000 SQ.FT. = 101,000 / 224,503 SQ.FT. = 0.45 STALLS PER 1000 SQ.FT.	
BARRIER-FREE PARKING	REQUIRED: 4.0 BARRIER-FREE STALLS PER 100 PARKING STALLS PROVIDED 1.0 ADDITIONAL BARRIER-FREE STALL PER EACH ADDITIONAL INCREMENT OF 100 STALLS PROVIDED: STALLS PROVIDED: 96 - 3.0M WIDE X 5.7M LONG STANDARD STALLS 4 - 3.0M WIDE X 5.7M LONG BARRIER-FREE STALLS 1 - 3.4M WIDE X 5.7M LONG VAN STALL TOTAL STALLS PROVIDED: 101 STALLS	1P2007, 120.1 NRC 2020 ALBERTA EDITION TABLE 3.6.2.5
PARKING STALL DIMENSIONS	VEHICLE PARKING STALLS MIN. REQUIRED STALL DIMENSIONS: 2.6M WIDE X 5.4M LONG PROVIDED STALL DIMENSIONS: 3.0M WIDE X 5.7M LONG BARRIER-FREE PARKING STALLS MIN. REQUIRED STALL DIMENSIONS: 2.4M WIDE X 5.6M LONG W/3.4M WIDE ADJACENT ACCESSIBILITY Aisle PROVIDED STALL DIMENSIONS: 3.0M WIDE X 5.7M LONG W/ 3.0M WIDE ADJACENT ACCESSIBILITY Aisle	1P2007, 122
BICYCLE PARKING	CLASS 1 BICYCLE STALLS CLASS 2 BICYCLE STALLS TOTAL STALLS REQUIRED: 11 CLASS 2 BICYCLE STALLS TOTAL STALLS PROVIDED: 11 CLASS 2 BICYCLE STALLS	1P2007, 203.2 (e)(F)



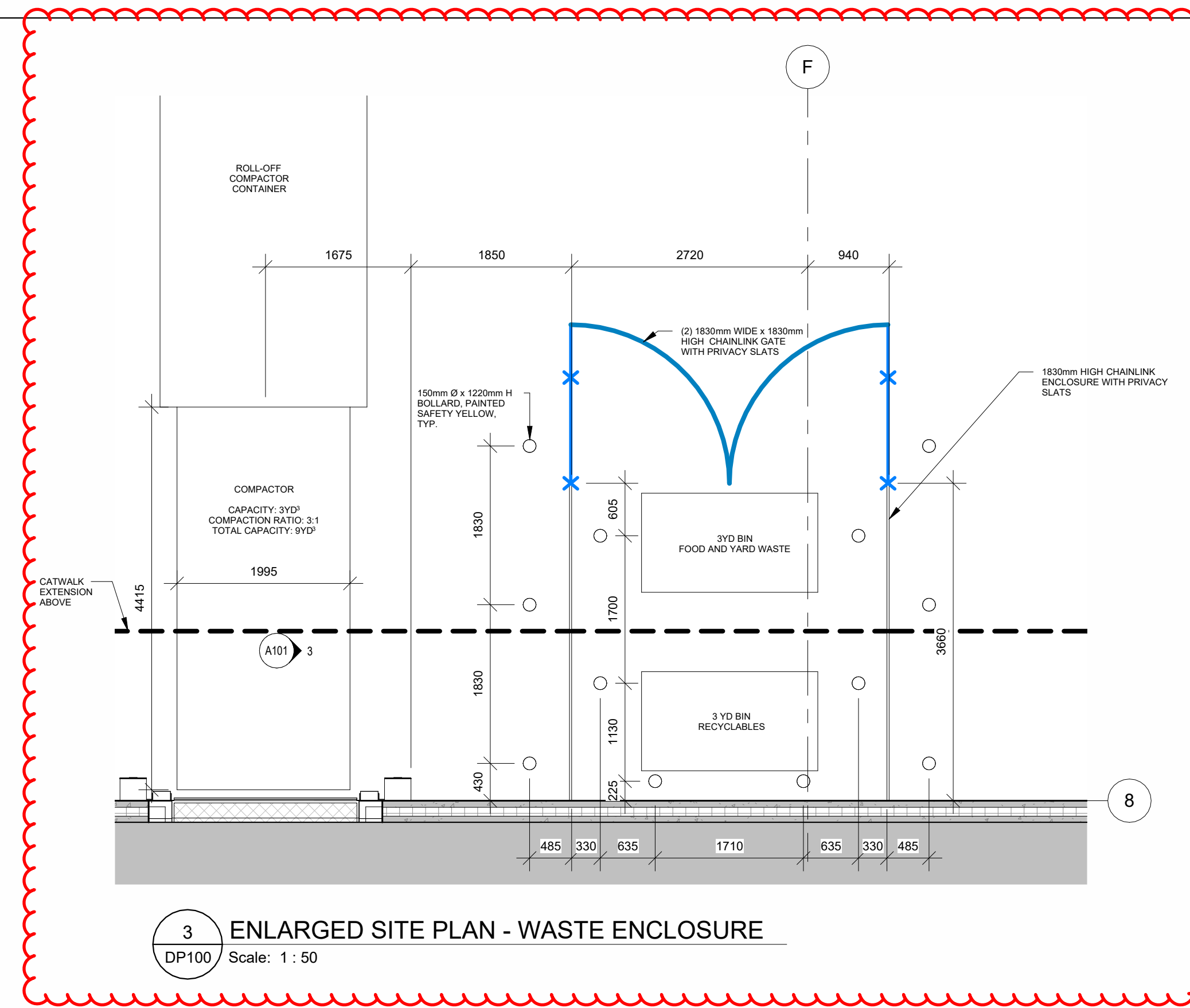
2 TRAFFIC GATES
Scale: NTS

GENERAL SITE NOTES

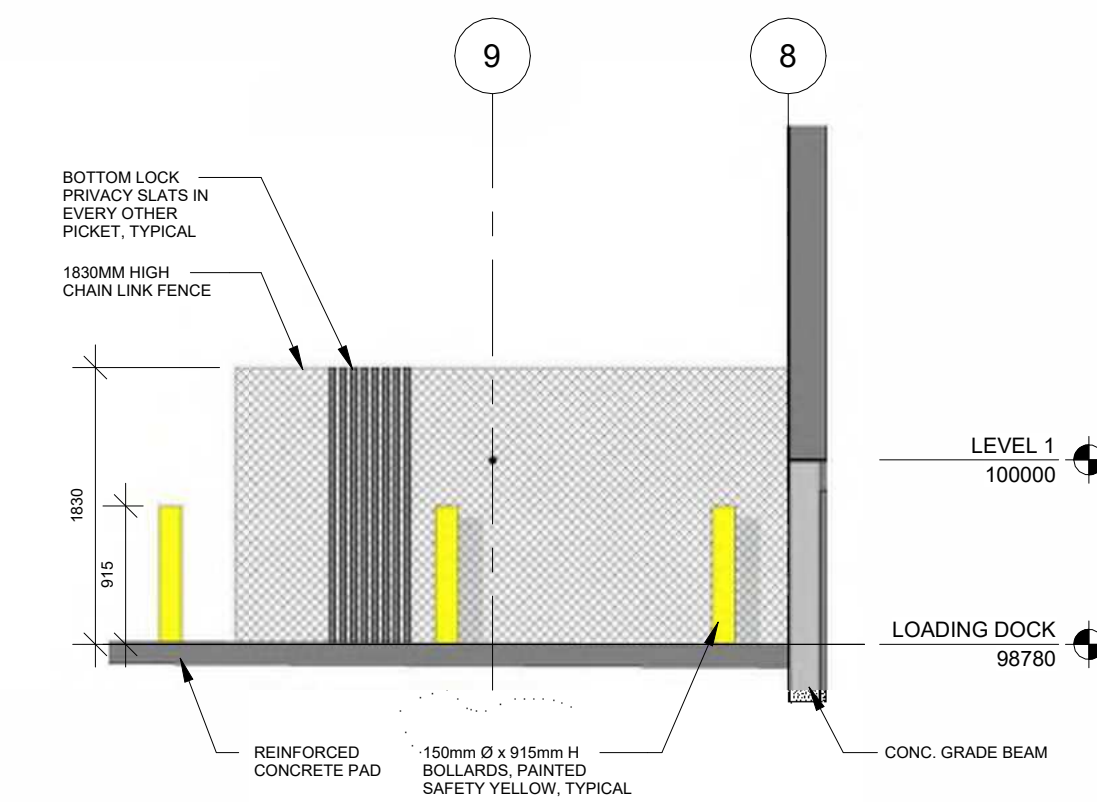
- PAVED PARKING LOT STALLS PROVIDED**
- 75 TYPICAL STALLS
 - 6 LIMITED MOBILITY STALLS
 - 8 ELECTRIC VEHICLE STALLS
 - 6 GREEN STALLS
 - 4 BARRIER FREE STALLS
 - 1 BARRIER-FREE VAN STALL
- ALL NON-BARRIER FREE PARKING STALLS**
- 3.0M X 5.0M TYPICAL
- ALL BARRIER-FREE PARKING STALLS**
- 3.0M X 5.0M TYPICAL
 - ALL BARRIER-FREE PARKING STALLS TO HAVE A 3.0M PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK CURB RAMP
- ALL BARRIER-FREE VAN PARKING STALLS**
- 3.0M X 5.0M TYPICAL
- RUBBER WHEEL STOP**
- LOCATED 0.6M FROM FACE OF CURB TO CENTERLINE OF STOP
 - TO BE PINNED TO ASPHALT
 - TYPICAL AT ALL STALLS ALONG SIDEWALKS / FRONTAGE OF BUILDING
- INTERNAL SITE CIRCULATION SIDEWALKS**
- ALL CONCRETE SIDEWALKS SIDEWALKS TO HAVE OUR TYPICAL DIMENSION, UNLESS OTHERWISE NOTED
 - MINIMUM 2.0M WIDE TYPICAL
- PARKING ISLANDS / LANDSCAPE BUFFERS**
- CURB RADIUS OF 1.0M TYPICAL, UNLESS NOTED OTHERWISE
- INTERNAL SITE CIRCULATION AISLE**
- 7.0M TYPICAL

SITE PLAN LEGEND

- PRIMARY ENTRANCE**
- SECONDARY ENTRANCE**
- BUILDING EXITING**
- OVERHEAD DOOR**
- EXISTING BUILDINGS TO REMAIN**
- FIRE ACCESS ROUTE**
- CATCH BASIN - REFER TO CIVIL**
- FIRE HYDRANT - REFER TO CIVIL**
- EXISTING FIRE HYDRANT - REFER TO CIVIL**
- LIGHT STANDARD - REFER TO ELEC**
- 200MM DIA. CONCRETE FILLED STEEL PIPE BOLLARD, PAINTED YELLOW**
- ELECTRICAL VEHICLE CHARGING STATION (ON TWO 100MM DIA. X 100MM HIGH POLYMER CONCRETE PILLARS)**
- WATER METER LOCATION**
- FIRE DEPARTMENT CONNECTION**
- RECYCLED ASPHALT**
- FENCING - REFER TO LANDSCAPE**
- SETBACKS**
- PROPERTY LINES (LEGAL METES & BOUNDS)**
- EASEMENT**
- EXISTING CURBS TO REMAIN**
- EXTENT OF NEW CURB**
- EXTENT OF OVERHEAD CANOPY ABOVE**
- DESIGNED TO SUPPORT A 38,556 KG / 85,000 LBS LOAD AND A MPA 180 POINT LOAD OF 517 KPA (75 PSI) OVER A 2.0 X 2.0 (4 SQ. FT.) AREA (PER CITY OF CALGARY FIRE DEPARTMENT)**
- HEAVY DUTY ASPHALT**
- DESIGNED TO SUPPORT A MINIMUM 38,556 KG LOAD, MINIMUM LAD FOR GARBAGE AND RECYCLING VEHICLES (20,000 KG)**
- REINFORCED CONCRETE CURBS, SIDEWALKS, APRONS, RAMP**
- HARDSCAPE FOR AMENITY SPACE (DECORATIVE PAVING)**
- REFER TO LANDSCAPE DRAWINGS**
- SOFTSCAPE (SOD, BARK, OR ROCK MULCH)**
- REFER TO LANDSCAPE DRAWINGS**
- NEW BUILDING**
- EASEMENT**
- 7.0M NO SMOKING ZONE AT ALL ENTRY DOORS**



3 ENLARGED SITE PLAN - WASTE ENCLOSURE
Scale: 1:50



4 WASTE ENCLOSURE - SIDE ELEVATION
Scale: 1:50

ADJACENT LOT

WAREHOUSE
164,108 SF
71'E - 1083.0'

OFFICE
10,063 SF

VEHICLE STORAGE

1 SITE PLAN
Scale: 1:400

TOYOTA

TRUE NORTH PROJECT NORTH

CLIENT LOGO

ISSUANCE DATE
1 ISSUED FOR DEVELOPMENT PERMIT 2025-04-29
2 REISSUED FOR DEVELOPMENT PERMIT 2025-07-02

DISCLAIMER:
NOT FOR CONSTRUCTION

CLIENT
TOYOTA CANADA INC.

CLIENT ADDRESS
TCI-ABPDC

PROJECT
15222 15 STREET NE
CALGARY, AB

TITLE
SITE PLAN

WALTERFEDY
TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

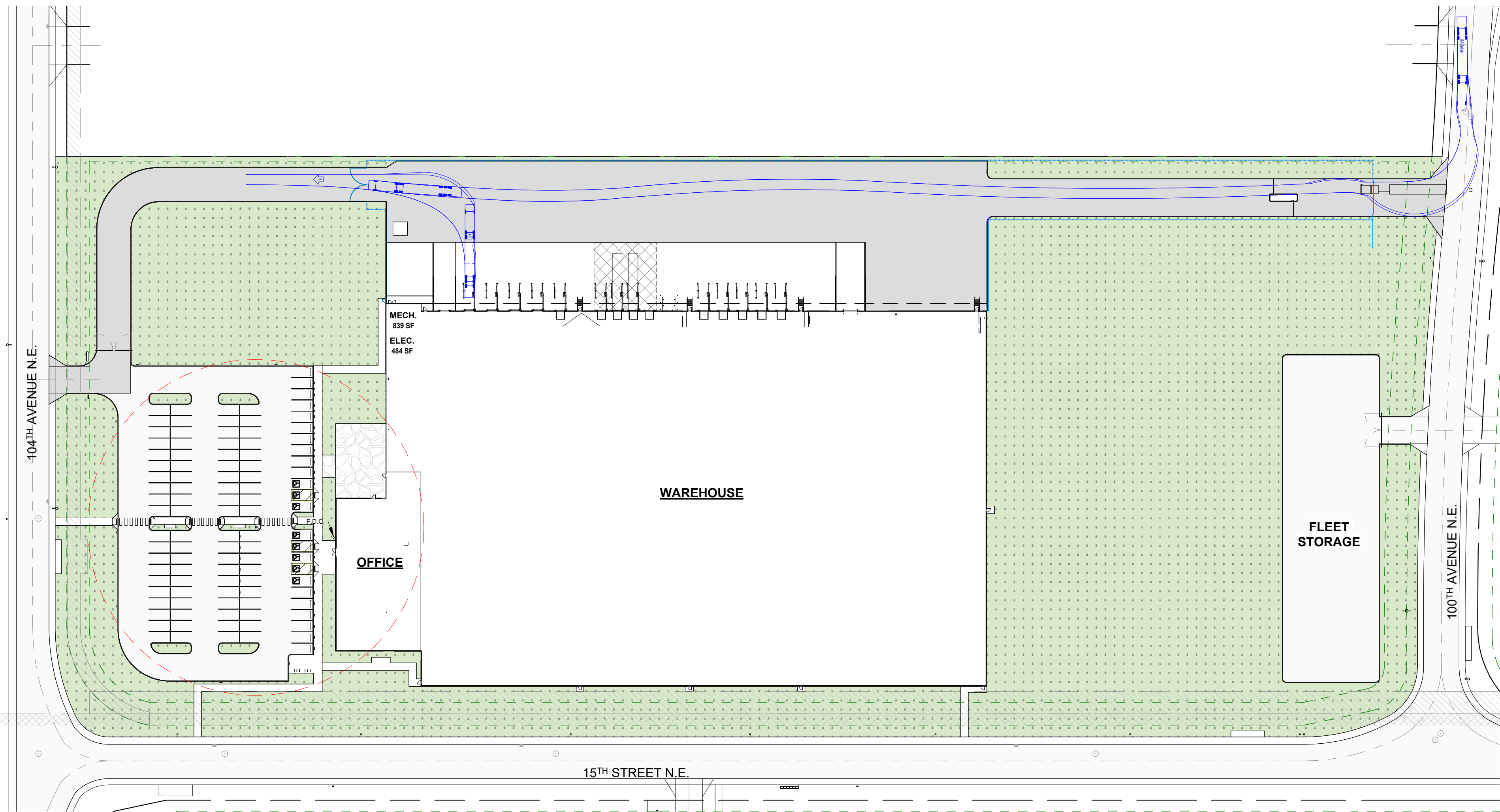
500.885.1378 walterfedy.com

DISCLAIMER
This document is the property of Walterfedy Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Walterfedy Inc. The information contained herein is for informational purposes only and does not constitute an offer of any financial product or service. The information is not to be used for any purpose other than that for which it was provided. The information is not to be used for any purpose other than that for which it was provided. The information is not to be used for any purpose other than that for which it was provided.

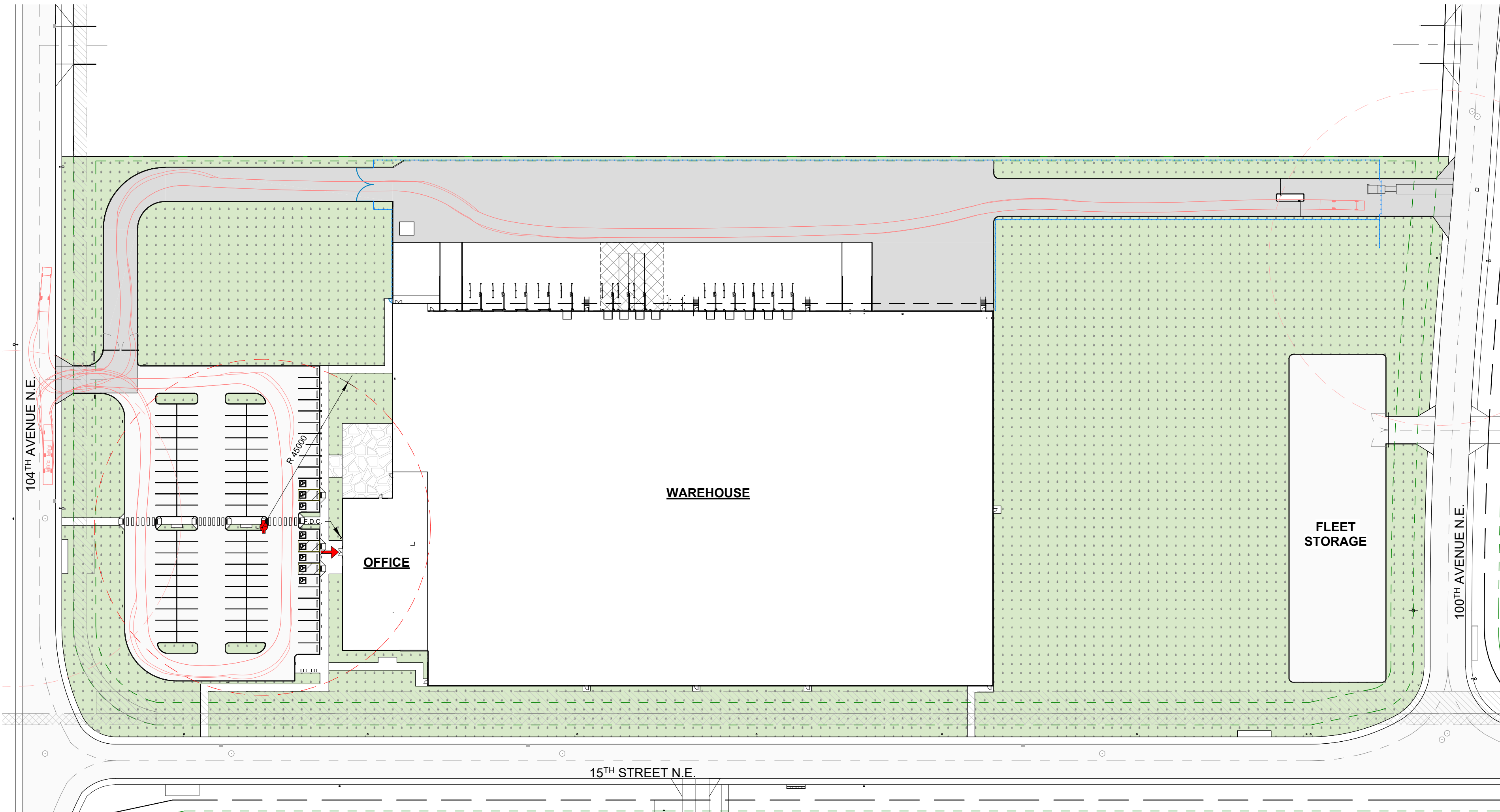
SCALE: AS NOTED
DATE: 04/06/25
PROJECT NO: 2025-1028-10
DRAWN BY: TP
CHECKED BY: DO

SHEET NO:
DATE: 04/06/25
PROJECT NO: 2025-1028-10
DRAWN BY: TP
CHECKED BY: DO

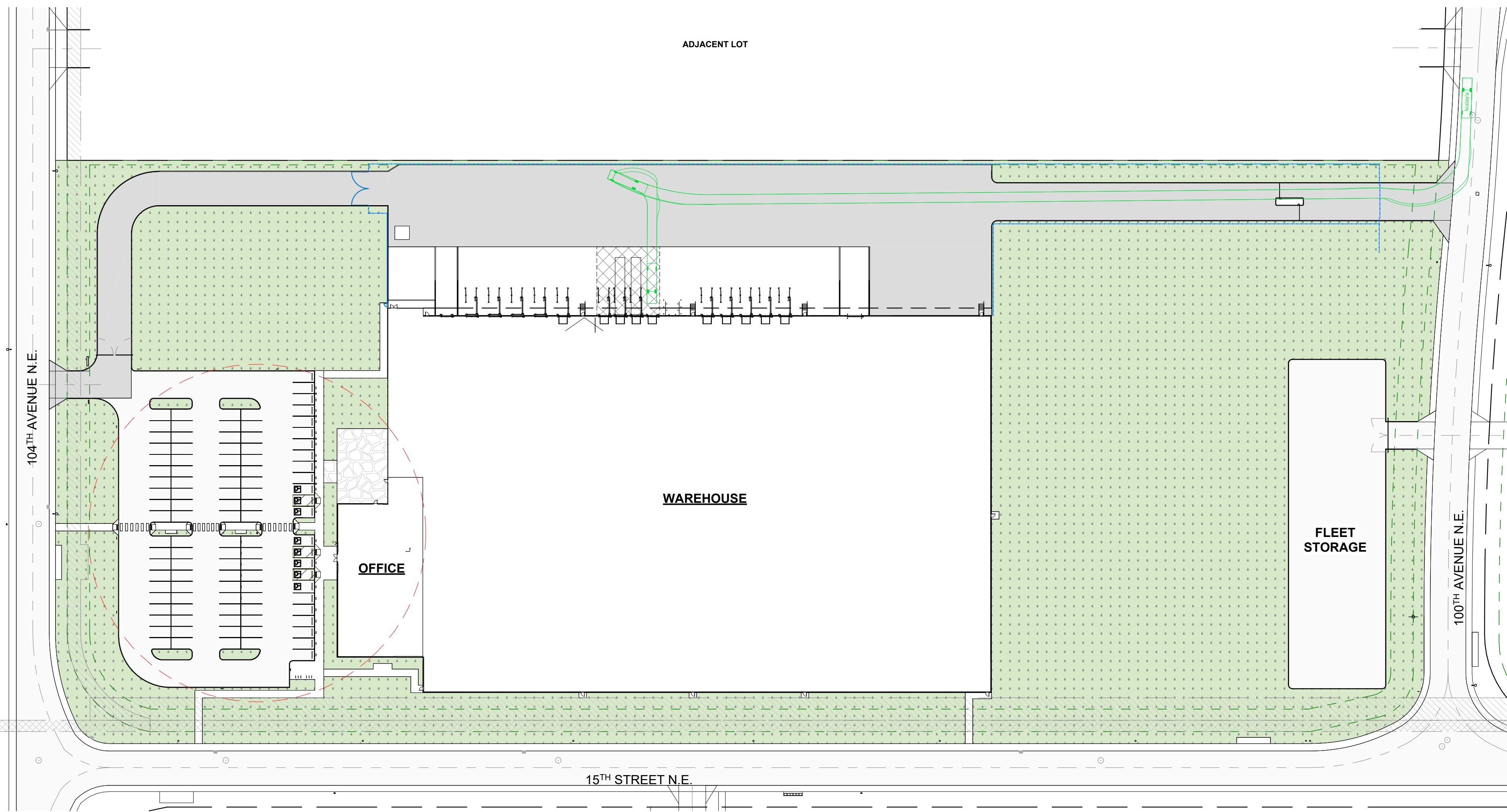
DP100



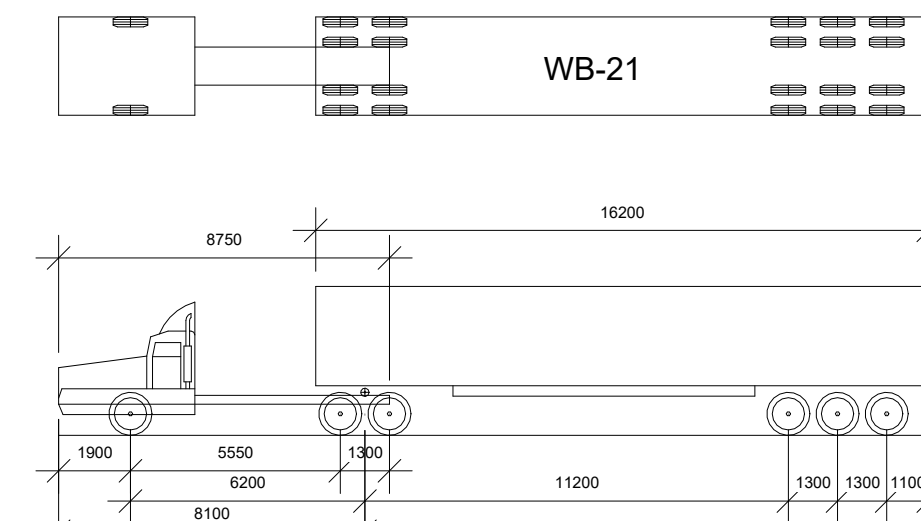
1 TRAFFIC CONTROL PLAN - WB-20 SEMI-TRUCK
DP101 Scale: 1 : 800



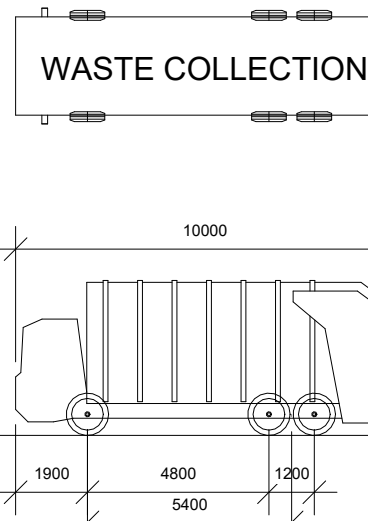
2 TRAFFIC CONTROL PLAN - AERIAL FIRE TRUCK
DP101 Scale: 1 : 800



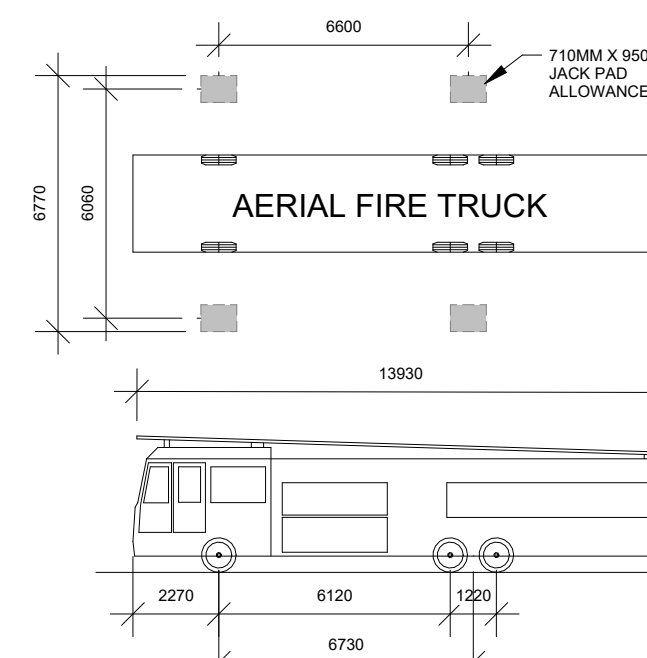
3 TRAFFIC CONTROL PLAN - GARBAGE TRUCK
DP101 Scale: 1 : 800



WB-21 SEMI-TRAILER	
OVERALL LENGTH	10,000M
OVERALL WIDTH	2,500M
OVERALL BODY HEIGHT	3,800M
MIN. BODY GROUND CLEARANCE	0,300M
TRACK WIDTH	2,800M
LOCK-TO-LOCK TIME	4,99 SEC.
MAX STEERING ANGLE (VIRTUAL)	43,70°



WASTE COLLECTION VEHICLE	
OVERALL LENGTH	10,000M
OVERALL WIDTH	2,500M
OVERALL BODY HEIGHT	3,800M
MIN. BODY GROUND CLEARANCE	0,300M
TRACK WIDTH	2,800M
LOCK-TO-LOCK TIME	4,99 SEC.
MAX STEERING ANGLE (VIRTUAL)	43,70°



AERIAL FIRE TRUCK - CITY OF CALGARY	
OVERALL LENGTH	13,800M
OVERALL WIDTH	2,500M
OVERALL BODY HEIGHT	3,800M
MIN. BODY GROUND CLEARANCE	0,300M
TRACK WIDTH	2,800M
LOCK-TO-LOCK TIME	4,99 SEC.
MAX STEERING ANGLE (VIRTUAL)	43,70°
TURNING RADIUS	10,18M

(BASED ON CITY OF CALGARY FIRE DEPARTMENT ACCESS STANDARD)

TRUCK TURNING LEGEND	
	WASTE AND RECYCLING VEHICLE SWEEP PATH W/ 600MM CLEARANCE
	LOADING VEHICLE SWEEP PATH W/ 600MM CLEARANCE
	FIRE TRUCK SWEEP PATH W/ 600MM CLEARANCE
	PRIMARY BUILDING ENTRANCE
	SIAMSE CONNECTION LOCATION
	PROPOSED / EXISTING FIRE HYDRANT
	PROPOSED STOP SIGN AND SPEED LIMIT SIGN LOCATION
	45M RADIUS FOR FIRE HYDRANT AND SIAMSE CONNECTION EXTENT

DISCLAIMER:
NOT FOR CONSTRUCTION

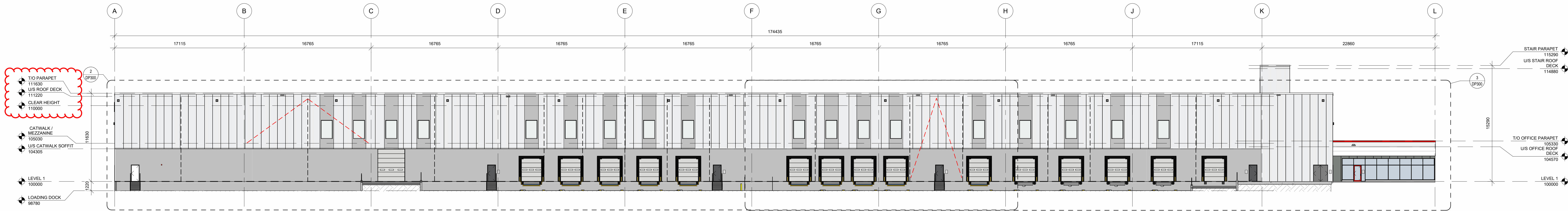
CLIENT
TOYOTA CANADA INC.

CLIENT ADDRESS

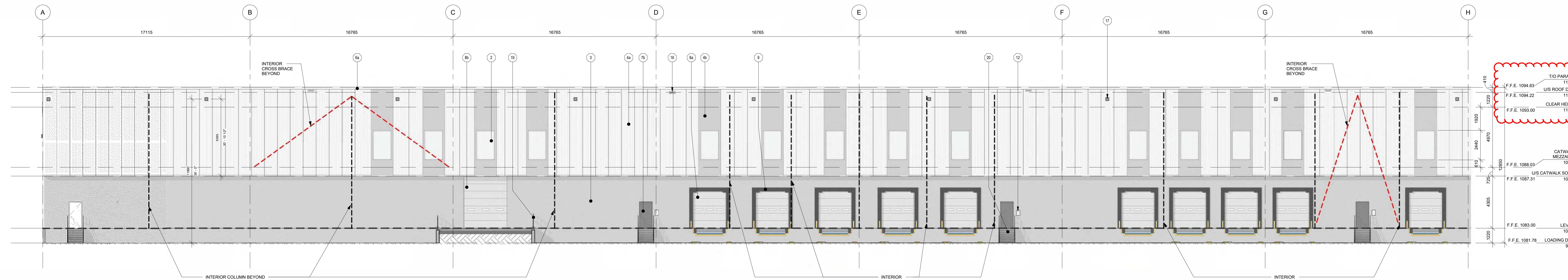
PROJECT
TCI-ABPDC

15222 15 STREET NE
CALGARY, AB

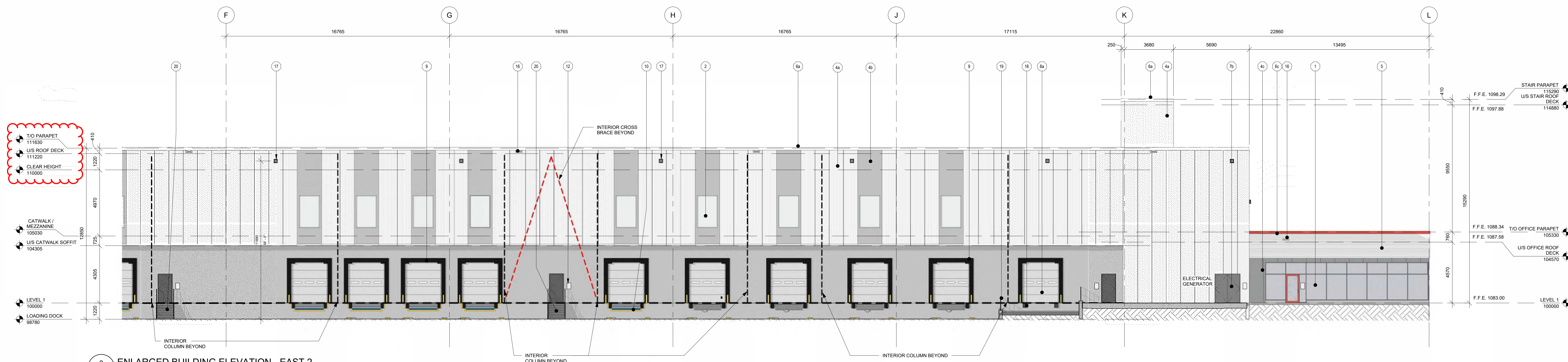
TITLE
TRAFFIC CONTROL PLANS



1 BUILDING ELEVATION - EAST
DP300 Scale: 1:200



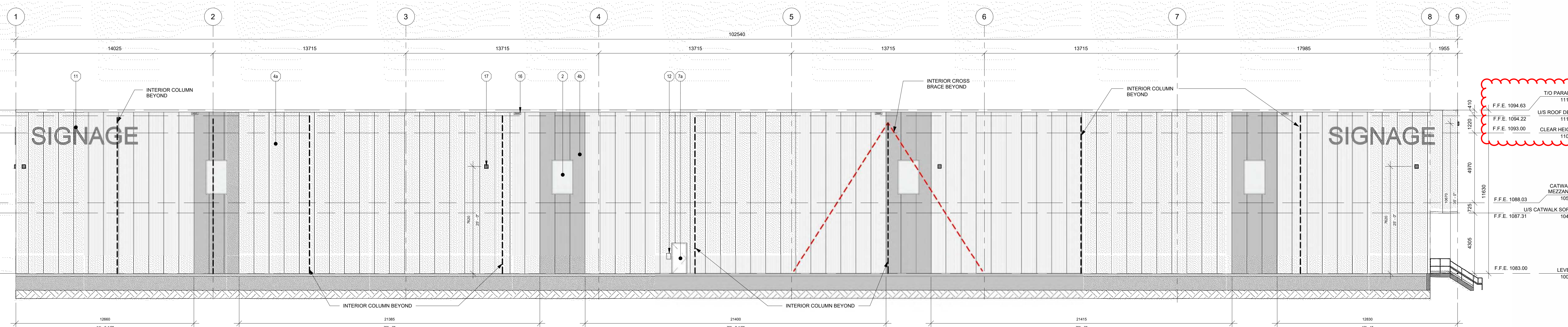
2 ENLARGED BUILDING ELEVATION - EAST 1
DP300 Scale: 1:125



3 ENLARGED BUILDING ELEVATION - EAST 2
DP300 Scale: 1:125

KEYNOTE LEGEND
1 ALUMINUM DOUBLE GLAZED CURTAIN WALL COLOUR: CLEAR ANODIZED FRAME
2 150mm x 240mm ALUMINUM DOUBLE GLAZED CLERESTORY GLAZING COLOUR: CLEAR ANODIZED FRAME
3 25mm PRECAST CONCRETE WALL PANEL COLOUR: NATURAL CONCRETE GREY
4a 10mm DEEP INSULATED METAL PANEL COLOUR: WHITE (SHADOWLINE)
4b 10mm DEEP INSULATED METAL PANEL COLOUR: GREY (SHADOWLINE)
4c 10mm DEEP INSULATED METAL PANEL COLOUR: GREY (OPTMO)
5 RIBBED HORIZONTAL METAL CLADDING COLOUR: WHITE
6a PREFINISHED ALUMINUM PARAPET CAP FLASHING COLOUR: WHITE
6b PREFINISHED ALUMINUM PARAPET CAP FLASHING COLOUR: RED
7a INSULATED HOLLOW METAL DOOR COLOUR: WHITE
7b INSULATED HOLLOW METAL DOOR COLOUR: GREY
8a INSULATED SECTIONAL OVERHEAD DOOR 3600mm W x 3600mm H COLOUR: WHITE
8b INSULATED SECTIONAL OVERHEAD DOOR 3600mm W x 4700mm H COLOUR: WHITE
9 DOCK SEAL
10 2130mm W x 240mm D DOCK LEVELER
11 FUTURE SIGNAGE PROVIDE SOLID BLOCKING / BACKER AT SIGN MOUNTING LOCATIONS
12 SIGN W/ 400mm H "NO SMOKING WITHIN 7.5M OF ENTRANCE" SIGN
13 SCUPPER COLOUR TO MATCH ADJACENT CLADDING
17 WALL MOUNTED LIGHT REFER TO ELECTRICAL DRAWINGS
18 LAMINATED RUBBER DOCK BUMPER REFER TO DOCK EQUIPMENT SCHEDULE
19 STEEL GUARDRAIL PAINTED CLASSIC BLACK
20 STEEL EXIT STAIR, TRIGGS AND LANDING TO BE GALVANIZED STRINGERS, GUARDRAILS AND HANDRAILS TO BE PAINTED CLASSIC BLACK

LINETYPE LEGEND
--- INTERIOR INTERMEDIARY COLUMN BEYOND
--- INTERIOR CROSS-BRACING BEYOND



4 BUILDING ELEVATION - SOUTH
DP300 Scale: 1:125

CLIENT LOGO

TOYOTA

No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-04-29
2	REISSUED FOR DEVELOPMENT PERMIT	2023-07-02

DISCLAIMER:
NOT FOR CONSTRUCTION

CLIENT

TOYOTA CANADA INC.

CLIENT ADDRESS

PROJECT

TCI-ABPDC

10222 15 STREET NE
CALGARY, AB

PRICE

BUILDING ELEVATIONS -
SOUTH & EAST

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

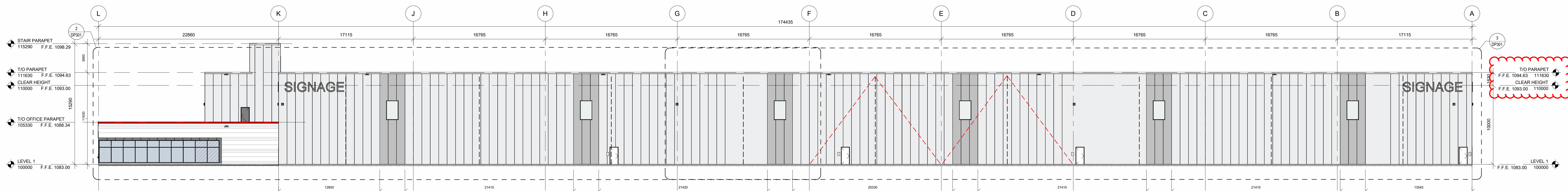
800.665.1378 walterfedy.com

DISCLAIMER

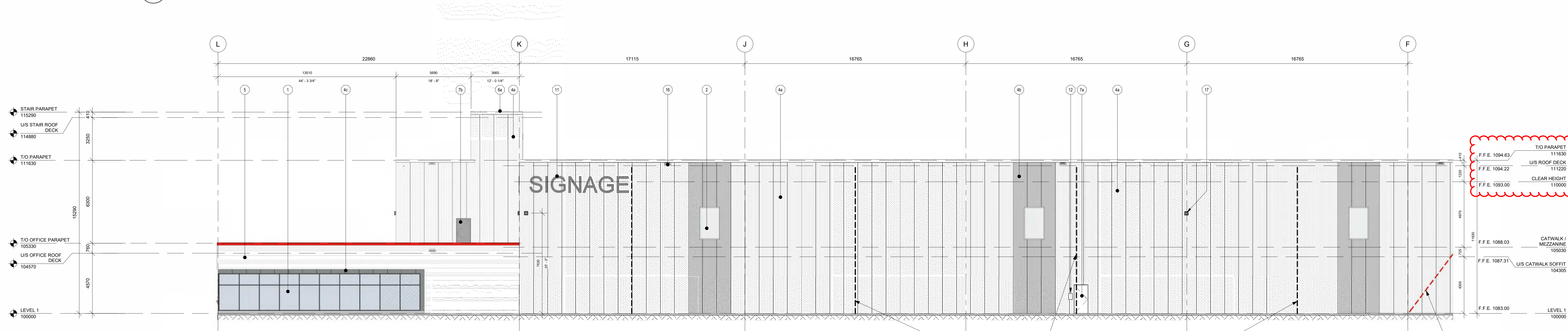
This electronic drawing has been submitted to the owner for reference purposes only. This drawing and any other drawings created by Walterfedy Inc. are the property of Walterfedy Inc. and shall remain the property of Walterfedy Inc. until the project is completed. No part of this drawing shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage or retrieval system, without prior written permission from Walterfedy Inc. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. Walterfedy Inc. does not warrant the accuracy or completeness of the information contained herein. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. Walterfedy Inc. does not warrant the accuracy or completeness of the information contained herein.

SCALE:	AS NOTED	SHEET NO:
DATE:	04/06/23	
PROJECT NO:	2023-1028-10	
CHECKED BY:	TP	

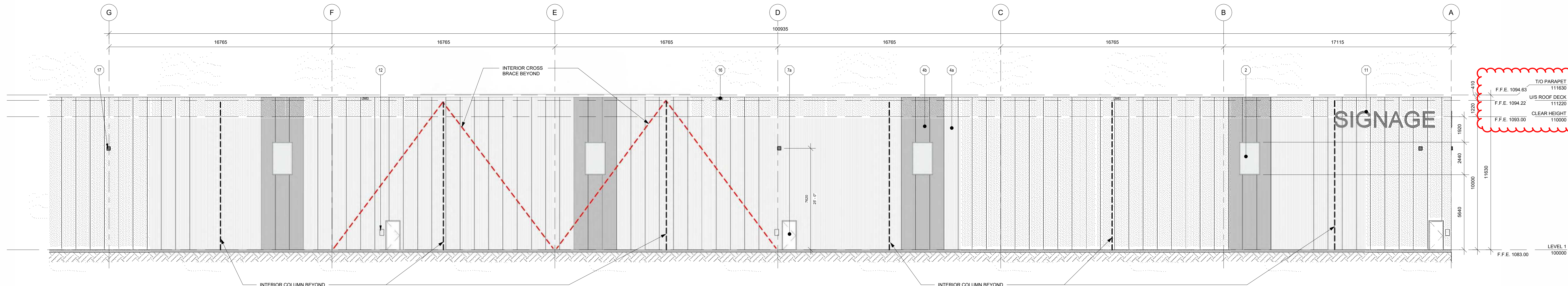
DP300



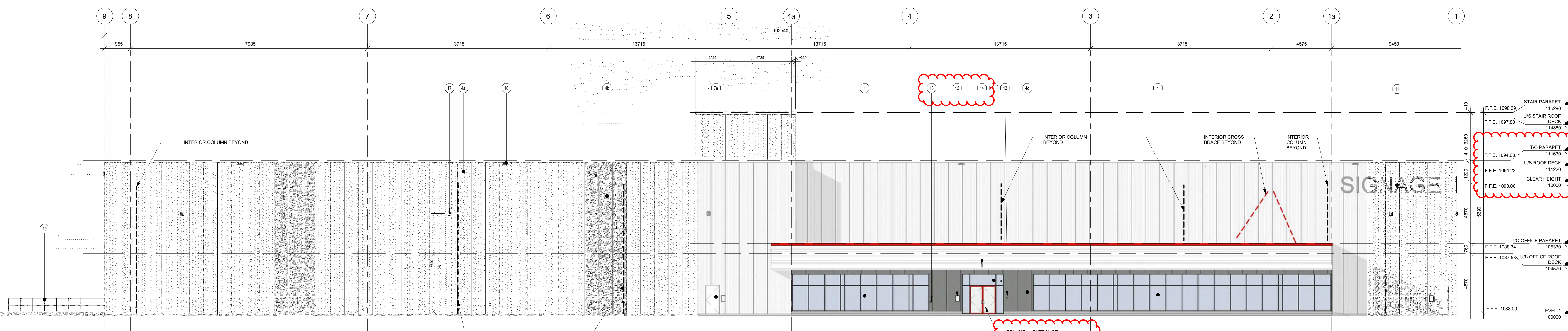
1 BUILDING ELEVATION - WEST
DP301 / Scale: 1:200



2 ENLARGED BUILDING ELEVATION - WEST 1
DP301 / Scale: 1:125



3 ENLARGED BUILDING ELEVATION - WEST 2
DP301 / Scale: 1:125



4 BUILDING ELEVATION - NORTH
DP301 / Scale: 1:125

8

KEYNOTE LEGEND

1	ALUMINUM DOUBLE GLAZED CURTAIN WALL COLOUR: CLEAR ANODIZED FRAME
2	1020mm x 2400mm ALUMINUM DOUBLE GLAZED GLAZING COLOUR: CLEAR ANODIZED FRAME
4a	100mm DEEP INSULATED METAL PANEL COLOUR: WHITE (SHADOWLINE)
4b	100mm DEEP INSULATED METAL PANEL COLOUR: GREY (SHADOWLINE)
4c	100mm DEEP INSULATED METAL PANEL COLOUR: GREY (OPTIMO)
5	RIBBED HORIZONTAL METAL GLAZING COLOUR: WHITE
6a	PRETENSIONED ALUMINUM PARAPET CAP FLASHING COLOUR: WHITE
7a	INSULATED HOLLOW METAL DOOR COLOUR: WHITE
7b	INSULATED HOLLOW METAL DOOR COLOUR: GREY
11	FUTURE SIGNAGE PROVIDER SOLID BLOCKING / BACKER AT SIGN MOUNTING LOCATIONS
13	200mm W x 400mm H "NO SMOKING WITHIN 7.5M OF DECK"
14	MANUFACTURED FIRE DEPARTMENT LOGO
15	EXTERIOR STROBE LIGHT LOCATION FOR FIRE DEPARTMENT
16	FIRE DEPARTMENT CONNECTION
17	WALL MOUNTED LIGHT REFER TO ELECTRICAL DRAWINGS
19	STEEL GUARDRAIL PAINTED CLASSIC BLACK

<u>LINETYPE LEGEND</u>	
---	INTERIOR INTERMEDIARY COLUMN BEYOND
---	INTERIOR HSS CROSS-BRACING BEYOND

CLIENT LOGO

TOYOTA

NO.

ISSUANCE

DATE

1

ISSUED FOR DEVELOPMENT PERMIT

2023-04-29

2

REISSUED FOR DEVELOPMENT PERMIT

2023-07-02

DISCLAIMER:

NOT FOR CONSTRUCTION

CLIENT

TOYOTA CANADA INC.

CLIENT ADDRESS

TCI-ABPDC

PROJECT

10222 15 STREET NE
CALGARY, AB

TITLE

BUILDING ELEVATIONS -
NORTH & WEST

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

DISCLAIMER

This document has been submitted to the owner for reference purposes only. This drawing and any other drawings created by Walterfedy are the property of Walterfedy and shall remain the property of Walterfedy. No part of this drawing shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage or retrieval system, without prior written permission from Walterfedy. Any use of this drawing for any purpose other than that for which it was created is a breach of the terms of the agreement and shall be deemed to be a breach of the terms of the agreement. Walterfedy shall not be responsible for any errors or omissions in this drawing or any drawings created by Walterfedy. Walterfedy shall not be responsible for any errors or omissions in this drawing or any drawings created by Walterfedy. Walterfedy shall not be responsible for any errors or omissions in this drawing or any drawings created by Walterfedy.

SCALE:

AS NOTED

SHEET NO:

DP301

DATE:

04/06/23

PROJECT NO:

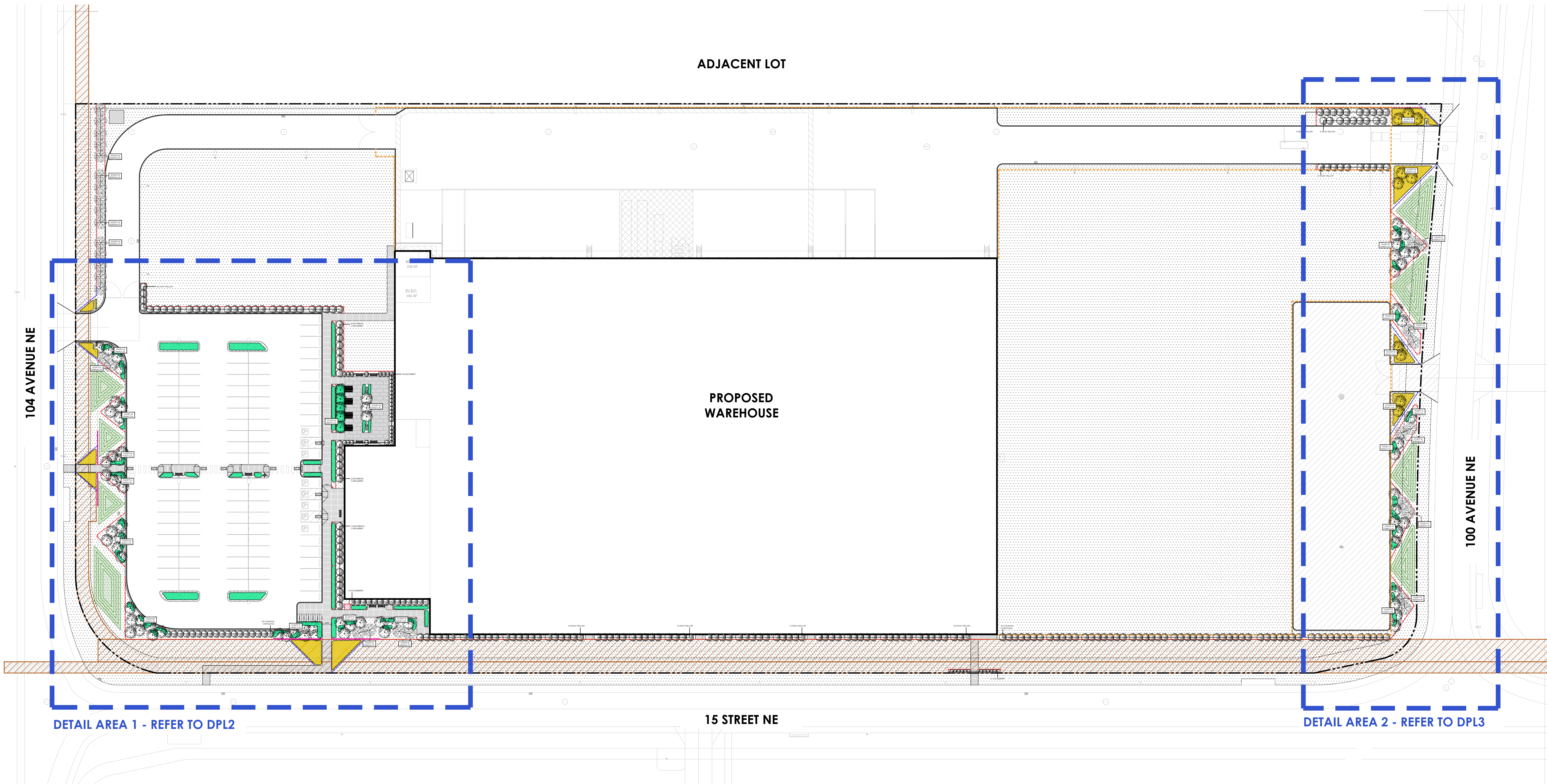
2023-1028-10

DRAWN BY:

TP

CHECKED BY:

DO



GENERAL NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH DOUGLAS FIR SMALL NUGGET MULCH UNLESS OTHERWISE NOTED.
- ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH WATER TRUCK WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS FOR FIRST TWO GROWING YEARS.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- TOPSOIL AVAILABLE FOR PLANTINGS
TREE & SHRUBS 600MM
GRASS & PERENNIALS & SOD 300MM

LANDSCAPE ANALYSIS

SITE AREA: 54626.18 SQ.M.
REQUIRED LANDSCAPED AREA = SETBACK AREA = **2551.44** SQ.M.
TOTAL NUMBER OF REQUIRED TREES = 72.90 - **73**
1 TREE/35 SQ.M. OF SETBACK AREA
MIN. CONIFEROUS TREES REQUIRED = 19
REMAINING TREES TO BE DECIDUOUS
TOTAL NUMBER OF REQUIRED SHRUBS = 145.80 - **146**
2 SHRUBS/35 SQ.M. OF SETBACK AREA
TOTAL TREES PROVIDED = **119**
DECIDUOUS TREES PROVIDED = **88**
DECIDUOUS TREES WITH MIN 75MM CALLIPER REQUIRED = 44
PROVIDED = 44
REMAINING DECIDUOUS TREES TO HAVE MIN. 50MM CALLIPER
CONIFEROUS TREES PROVIDED = **31**
CONIFEROUS TREES WITH MIN 3000MM HEIGHT REQUIRED = 16
PROVIDED = 16
REMAINING CONIFEROUS TREES TO HAVE MIN. 2000MM HEIGHT
TOTAL SHRUBS PROVIDED = **289**

CLIENT LOGO

TOYOTA



No.	ISSUANCE	DATE
1	REVIEW	200417
2	CLIENT REVIEW	200420
3	COORDINATION	200421
4	COORDINATION	200427
5	COORDINATION	200428
6	DTL	200504
7	60% REVIEW	200505
8	DTR	200702

DISCLAIMER:

NOT FOR CONSTRUCTION

CLIENT

TOYOTA CANADA INC.

CLIENT ADDRESS

PROJECT

TCI-ABPDC

10222 15 STREET NE
CALGARY, AB

TITLE

KEY PLAN

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

800.685.1378 walterfedy.com

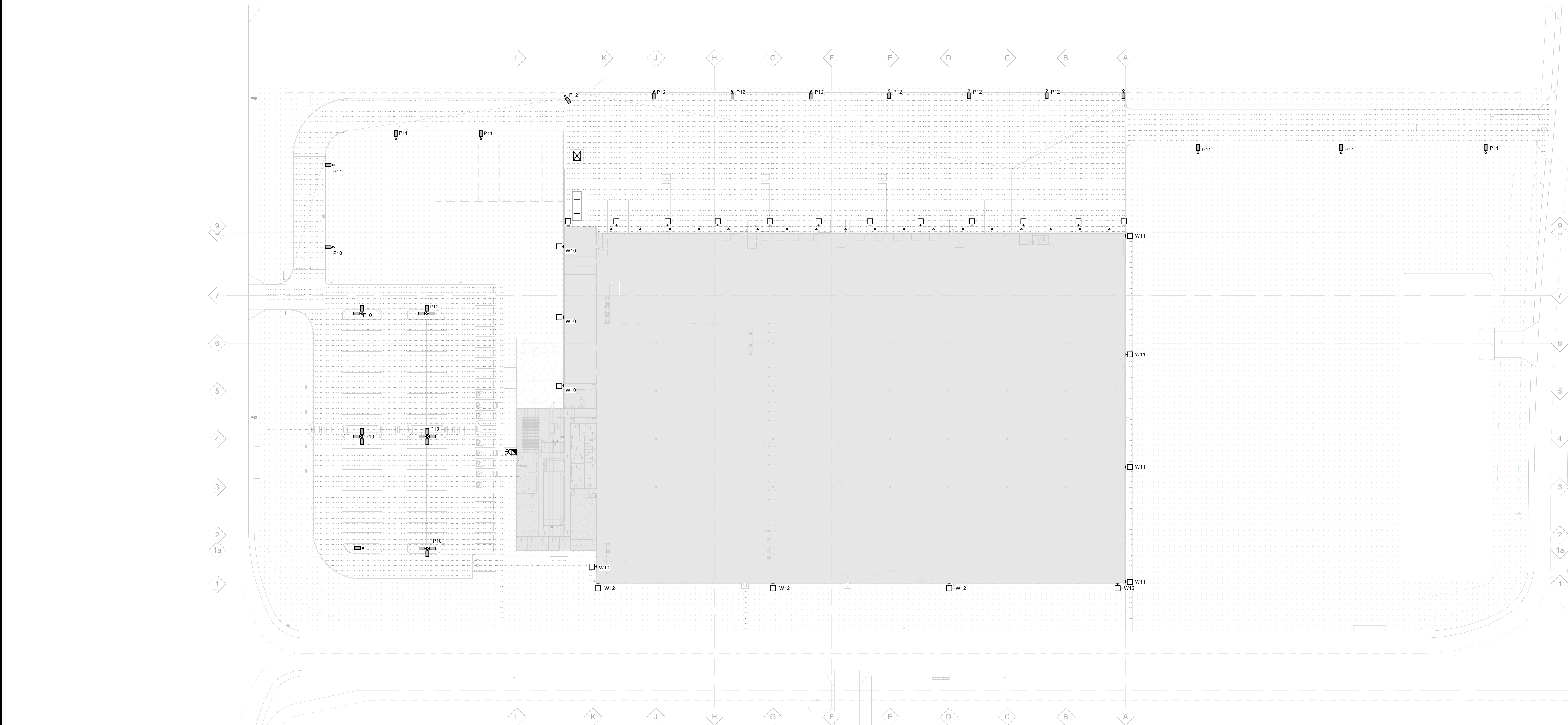
DISCLAIMER

This electronic file drawing has been submitted to the owner for reference purposes only. This drawing, when used, may be subject to change without notice by the owner. The owner, contractor, architect, or other professional shall be responsible for the accuracy of the information and the quality of the construction. No liability shall be assumed by the designer for any errors or omissions in the drawing or the information or the medium with which it was furnished. Any use for a purpose other than that for which the drawing was prepared shall be the responsibility of the user, and the designer shall accept no liability for such use. This drawing is the property of W.F. Group. No part of this drawing, its contents, or the information it contains, shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of W.F. Group. No part of this drawing, its contents, or the information it contains, shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of W.F. Group.

REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS A PART OF THE GROUP OF FOREIGN CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND THE QUALITY OF THE CONSTRUCTION. WALTERFEDY IS A PART OF THE GROUP. NO PART OF THIS DRAWING, ITS CONTENTS, OR THE INFORMATION IT CONTAINS, SHALL BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF W.F. GROUP.

SCALE: 1:500	SHEET NO.
DATE: 04/28/26	
PROJECT NO.: 2025-1028-10	
DRAWN BY: CC	
CHECKED BY: YN	

DP-L1



1 SITE PLAN - ELECTRICAL - PHOTOMETRIC
DPE102 Scale: 1 : 500

- GENERAL NOTES:
- UNITS FOR LIGHTING CALCULATION POINTS ARE IN LUX.
 - DESIGN WILL ADHERE TO CITY OF CALGARY BYLAWS RELATED TO LIGHTING TRESPASS.

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	MAX/MIN	AVG/MIN
STAFF PARKING LOT	LUX	59.69	180.6	19.3	9.36	3.09
SERVICE YARD	LUX	61.72	156.5	26.3	5.95	2.35
OFFICE SIDE WALKWAY	LUX	23.02	41.6	12.9	3.22	1.78
NORTH DRIVEWAY	LUX	46.47	102	15.8	6.46	2.94
SOUTH DRIVEWAY	LUX	38.16	74.8	11.7	6.39	3.26

CLIENT LOGO

TOYOTA

KEY PLAN

TRUE NORTH

PROJECT NORTH

ISSUANCE

DATE

1

ISSUED FOR DEVELOPMENT PERMIT

2025-06-26

PROFESSIONAL ENGINEER

ALBERTA

1000

PERMIT TO PRACTICE
WF GROUP INC.
REG. SIGNATURE: *[Signature]*
REG. NUMBER: 1636
PERMIT NUMBER: P014526
The Association of Professional Engineers and Geoscientists of Alberta (APEGGA)

CLIENT
TOYOTA CANADA INC.

PROJECT
TCI-ABPDC

15023 15 STREET NE
CALGARY, AB

TITLE
SITE PLAN - ELECTRICAL -
PHOTOMETRIC

WALTERFEDY
TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

DISCLAIMER
This electronic drawing has been submitted to the owner for reference purposes only. This drawing and any other drawings created by Walterfedy Inc. are the property of Walterfedy Inc. and shall remain the property of Walterfedy Inc. No part of this drawing shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage or retrieval system, without prior written permission from Walterfedy Inc. This drawing is not to be used for any other purpose than that for which it was created. The user assumes all liability for any errors or omissions in this drawing. The user agrees to indemnify and hold Walterfedy Inc. harmless from any and all claims, damages, costs, losses or expenses, including reasonable attorneys' fees, arising from the use or misuse of this drawing.

REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY, A PART OF WF GROUP, IS PROHIBITED. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE DRAWING AND ANY INFORMATION FROM THE FIELD. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS CREATED. THE USER ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE USER AGREES TO INDEMNIFY AND HOLD WALTERFEDY INC. HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, COSTS, LOSSES OR EXPENSES, INCLUDING REASONABLE ATTORNEYS' FEES, ARISING FROM THE USE OR MISUSE OF THIS DRAWING.

COPYRIGHT © 2025 Walterfedy, A Part of WF Group Inc.

SCALE: AS NOTED

DATE: AS NOTED

PROJECT NO: 2025-1028-10

DRAWN BY: D SHAO

CHECKED BY: G BEAUDIN

SHEET NO:

DPE102