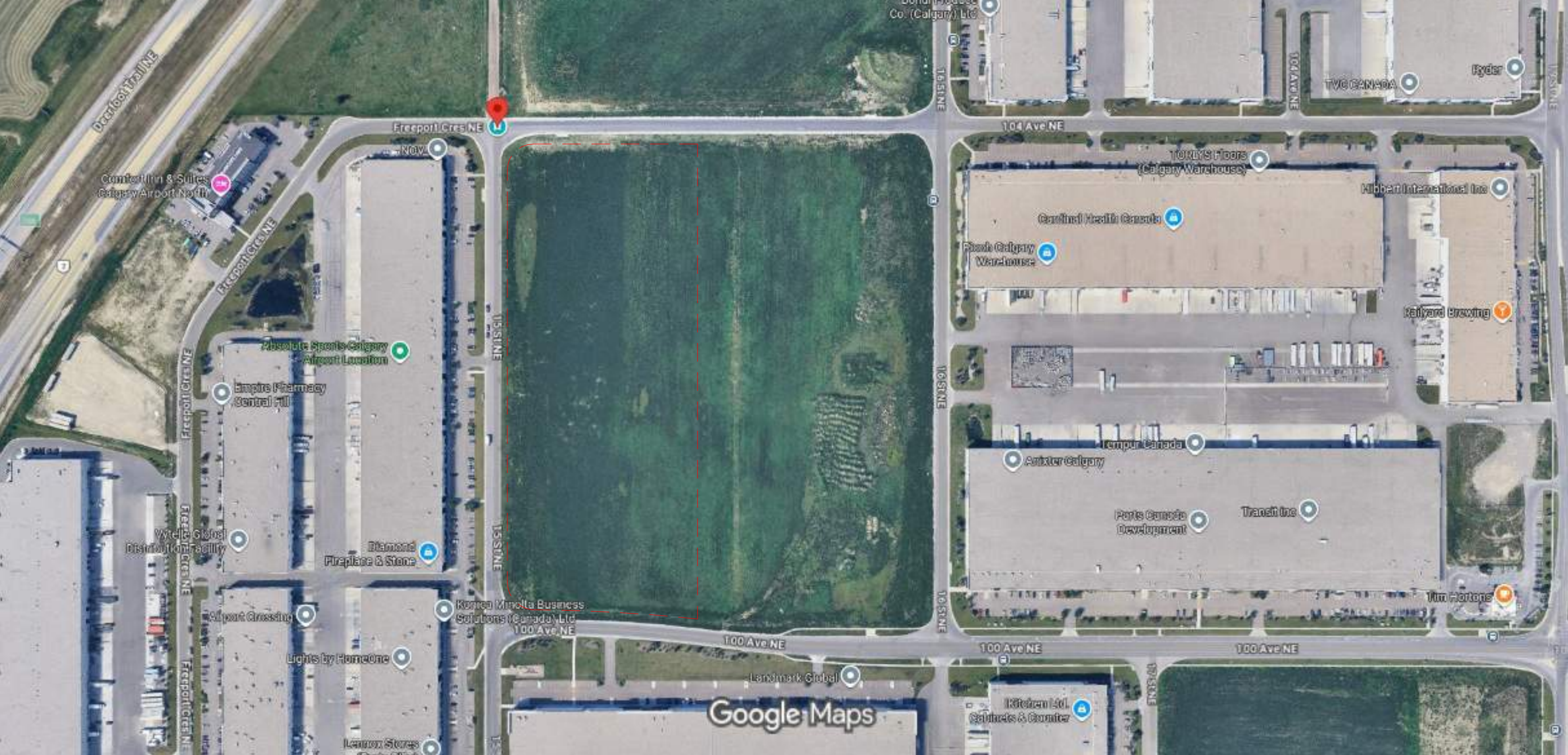




- DP DRAWING LIST**
- DP000 COVER SHEET
 - DP100 SITE PLAN
 - DP101 TRAFFIC CONTROL PLANS
 - DP200 FLOOR PLAN - MAIN FLOOR
 - DP201 FLOOR PLAN - CATWALK / MEZZANINE
 - DP202 ROOF PLAN
 - DP300 BUILDING ELEVATIONS - SOUTH & EAST
 - DP301 BUILDING ELEVATIONS - NORTH & WEST
 - DP400 BUILDING SECTIONS

TOYOTA CANADA INC.
TCI-ABPDC
10222 15 STREET NE
CALGARY, AB

WalterFedy Project No.: 2025-1028-10
ISSUED FOR DEVELOPMENT PERMIT 04/06/26



SITE SUMMARY AND LAND-USE BYLAW		
BYLAW ITEM	DESCRIPTION	REFERENCE
MUNICIPAL ADDRESS	10222 - 15TH STREET N.E. CALGARY ALBERTA	
LEGAL DESCRIPTION	PORTION OF LOT 1, BLOCK 2, PLAN 181 0971 WITHIN S.W. 1/4 SEC. 24, TWP. 25, RGE. 1, W. 4M	
APPLICABLE BY-LAW AND REFERENCES	CITY OF CALGARY LAND USE BY-LAW 1-G INDUSTRIAL GENERAL CITY OF CALGARY LAND USE DISTRICT MAP	1P2007, SECTION 2E
PERMITTED AND DISCRETIONARY USES	PERMITTED USE: GENERAL INDUSTRIAL - LIGHT	1P2007, 1-G 907.2 (a)
SITE AREA	5,466 HA (13.51 ACRES / 54,673m ²)	
BUILDING FOOTPRINT	17,007 m ² (183,068 SF)	
TOTAL BUILDING AREA (INC. RACK-SUPPORTED MEZZ.)	20,857 m ² (224,503 SF)	
BUILDING HEIGHT	MAXIMUM HEIGHT: 16.0m (59 ft)	1P2007, 912
SITE COVERAGE	SITE AREA: 54,673 sq.m. (588,405.6 sq.ft.) BUILDING FOOTPRINT: 17,007 sq.m. (183,068 sq.ft.) SITE COVERAGE: 31.1%	1P2007, 911
REQUIRED SETBACKS	FRONT SETBACK: MINIMUM 6.0m REAR SETBACK: MINIMUM 6.0m SIDE SETBACK: MINIMUM 6.0m - ADJACENT STREET MINIMUM 1.2m - ADJACENT INDUSTRIAL LOT	1P2007, 916, 916, 917
PARKING PROVIDED	STALLS PROVIDED: 101 101 STALLS x 1000 sq.R. = 101,000 / 224,503 sq.R. = 0.45 STALLS PER 1000 sq.R.	
BARRIER-FREE PARKING	REQUIRED: 4.1% BARRIER-FREE STALLS PER 100 PARKING STALLS PROVIDED 1.0 ADDITIONAL BARRIER-FREE STALL PER EACH ADDITIONAL INCREMENT OF 100 STALLS PROVIDED: STALLS PROVIDED: 96 - 3.0m WIDE x 5.7m LONG STANDARD STALLS 4 - 3.0m WIDE x 5.7m LONG BARRIER-FREE STALLS PROVIDED 1 - 3.4m WIDE x 5.7m LONG VAN STALL TOTAL STALLS PROVIDED: 101 STALLS	1P2007, 121.1 NBC 2023 ALBERTA EDITION TABLE 3.8.2.5
PARKING STALL DIMENSIONS	VEHICLE PARKING STALLS MIN. REQUIRED STALL DIMENSIONS: PROVIDED STALL DIMENSIONS: BARRIER-FREE PARKING STALLS MIN. REQUIRED STALL DIMENSIONS: PROVIDED STALL DIMENSIONS: 2.4m WIDE x 5.4m LONG 3.0m WIDE x 5.7m LONG 2.4m WIDE x 5.4m LONG W/ 2.4m WIDE ADJACENT ACCESSIBILITY AISLE 3.0m WIDE x 5.7m LONG W/ 3.0m WIDE ADJACENT ACCESSIBILITY AISLE	1P2007, 122
BICYCLE PARKING	CLASS 1 BICYCLE STALLS NO REQUIREMENT CLASS 2 BICYCLE STALLS TOTAL STALLS PROVIDED: 8 CLASS 2 BICYCLE STALLS	1P2007, 203.2 (a)(i)



- 4 BUILDING ELEVATION - SOUTH
DP300 Scale: 1 : 125

CHECKED BY : DO

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SCALE :	AS NOTED	SHEET NO :	DB300
DATE :	04/08/26		



DISCLAIMER:
NOT FOR CONSTRUCTION

1 BUILDING ELEVATION - WEST
DP301 Scale: 1 : 200

2 ENLARGED BUILDING ELEVATION - WEST 1
DP301 Scale: 1 : 125

3 ENLARGED BUILDING ELEVATION - WEST 2
DP301 Scale: 1 : 125

BUILDING ELEVATION LEGEND:

1. ALUMINIUM DOUBLE GLAZED CURTAIN WALL
COLOUR: CLEAR ANODIZED FAME
2. 102mm DEEP x 2440mm ALUMINIUM DOUBLE GLAZED CLERESTORY GLAZING
COLOUR: ANODIZED FAME
3. 225mm DEEP GLAZED CONCRETE WALL PANEL
COLOUR: NATURAL CONCRETE GREY
4. 100mm DEEP INSULATED METAL PANEL
A. COLOUR: WHITE
B. COLOUR: GREY
5. ALUMINIUM COMPOSITE PANEL
A. COLOUR: WHITE
B. COLOUR: GREY
6. PREFINISHED ALUMINIUM PARAPET CAP FLASHING
A. COLOUR: GREY
B. COLOUR: GREY
C. COLOUR: RED
7. INSULATED HOLLOW METAL DOOR
A. COLOUR: WHITE
B. COLOUR: GREY
8. INSULATED SECTION OVERHEAD DOOR
COLOUR: WHITE
A. 3660mm x 2440mm H
B. 3660mm W x 4270mm H
9. DOCK SEAL
10. 2135mm W x 2440mm D DOCK LEVER

4 BUILDING ELEVATION - NORTH
DP301 Scale: 1 : 125

CLIENT

TOYOTA CANADA INC.

CLIENT ADDRESS

TCI-ABPDC

0222 15 STREET NE
CALGARY, AB

BUILDING ELEVATIONS -
NORTH & WEST

WALTERFEDY

TORONTO | **CALGARY** | EDMONTON | KITCHENER | HAMILTON

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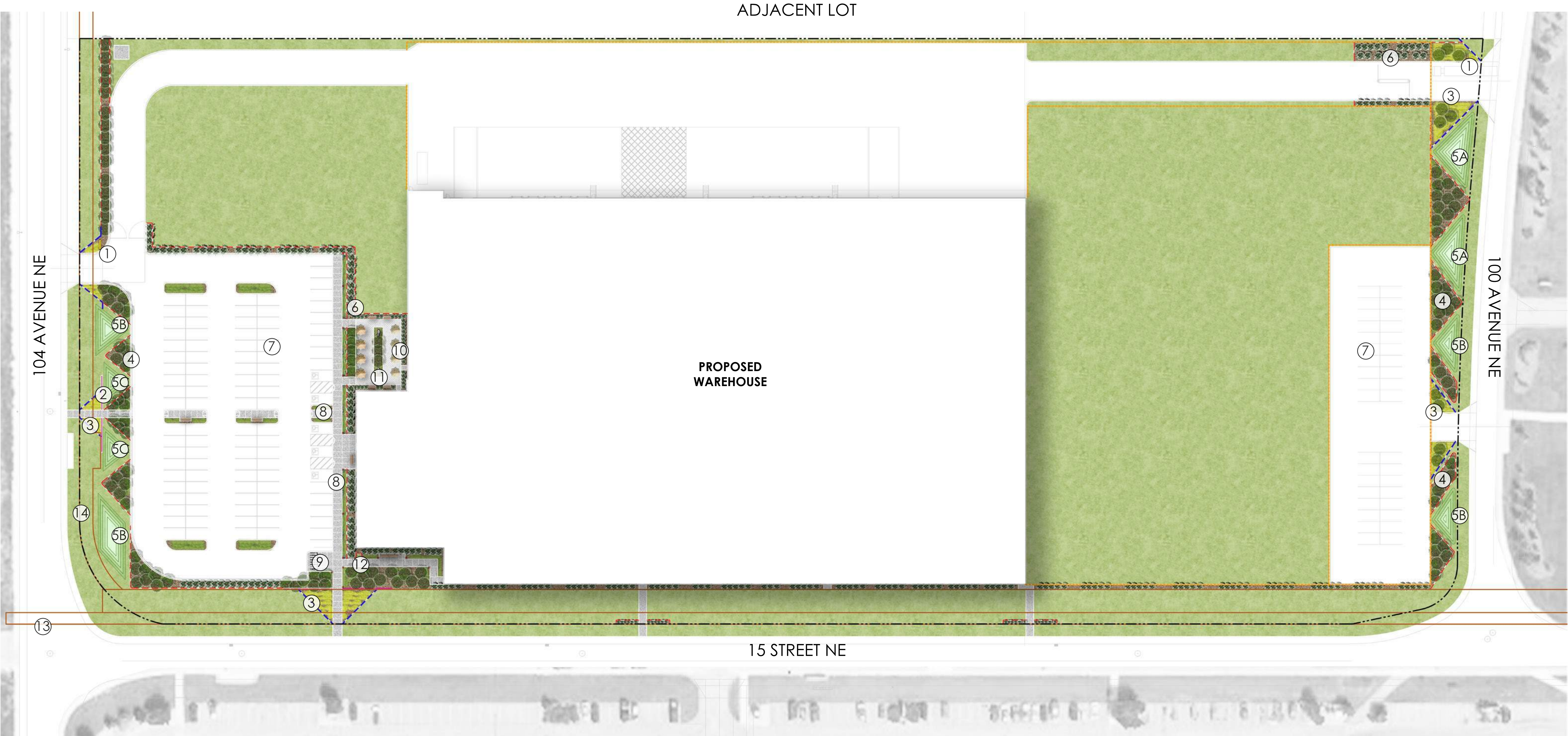
SCALE: AS NOTED

DATE : 04/08/28

PROJECT NO :	2025-1028-10
DRAWN BY :	TR

CHECKED BY : DO

DP301



LEGEND

- Regular grey colour concrete
- Seeded area
- Paver
- 40MM limestone
- Planting bed
- Proposed trees
- Proposed shrub
- Proposed perennials
- Proposed pollinator garden

DESIGN ELEMENTS

- Bench
- Class 2 Bike Parking
- Light Bollard
- Outdoor umbrella
- Entry Feature
- 2400mm height fence
- Aluminum landscape edger
- Concrete landscape edger
- 600mm height feature landscape wall
- ENTRY WITH SITE SIGNAGE
- 600MM HT. FEATURE LANDSCAPE FEATURE WALL
- POLLINATOR GARDEN
- TREE GROVES
- 1000MM HT. BERM
- 800MM HT. BERM
- 600MM HT. BERM
- TYPICAL LANDSCAPE PLANTING
- PARKING LOT
- ACCESS TO MAIN BUILDING
- BIKE PARKING
- OUTDOOR PATIO WITH SEATINGS
- FEATURE PLANTING BED
- PET RELEASE ZONE
- RIGHT OF WAY
- PROPERTY LINE

