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ISSUE DATE: JULY 15, 2026
REVISION #: 2

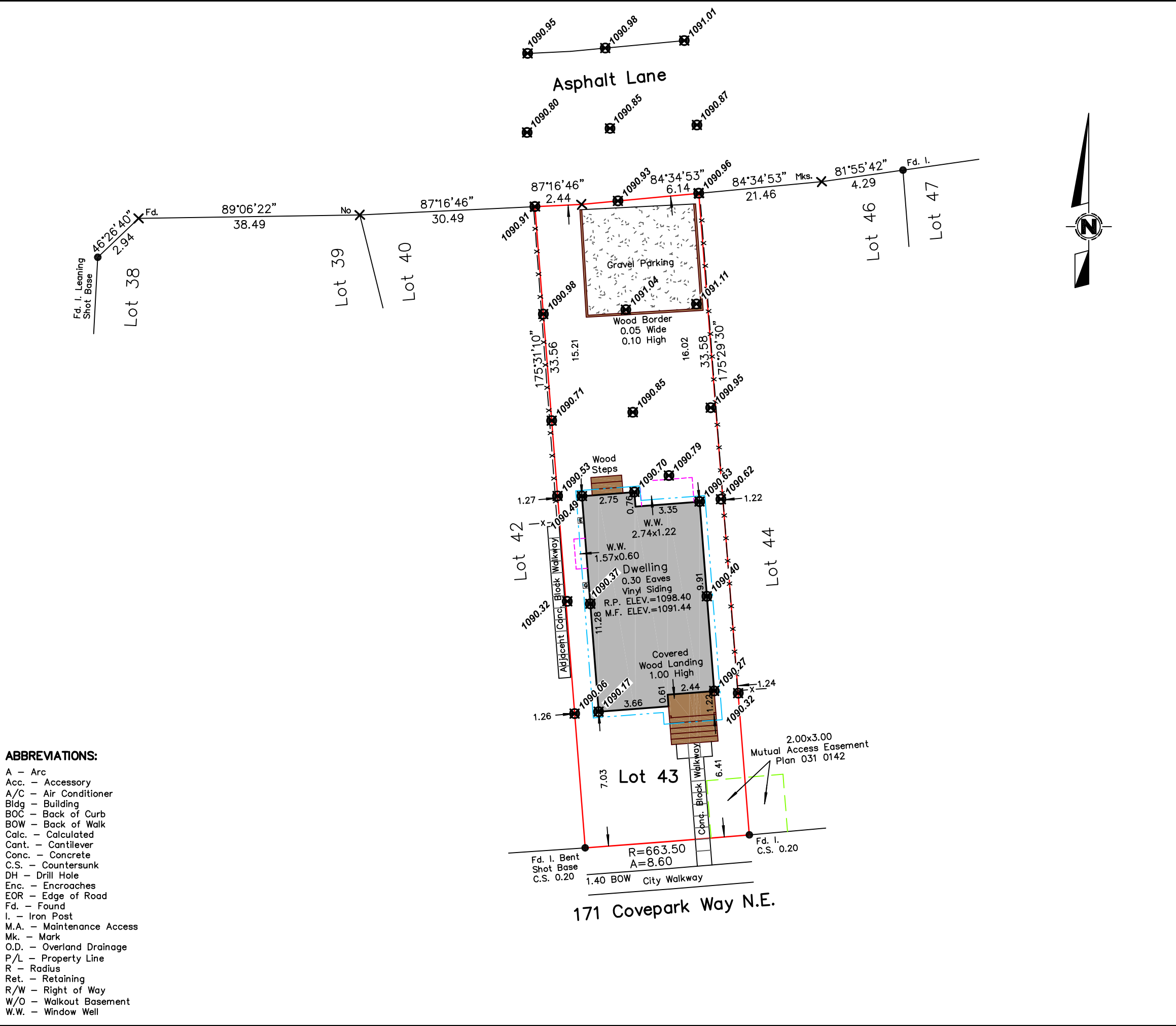


ADDRESS: 109 LEGACY MANOR SE, CALGARY , AB, T2X 2E7
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WEBSITE: www.anomalydraftinganddesign.com



PROJECT: HR097
ACCESSORY BUILDING - GARAGE SUITE
171 COVEPARK WAY NE,
CALGARY AB T3K 5T7

ISSUED FOR DEVELOPMENT PERMIT



SITE PLAN

LEGAL DESCRIPTION: Lot 43
Block 3
Plan 031 0139

MUNICIPAL ADDRESS: 171 Covepark Way N.E.
Calgary, Alberta

DATE OF SURVEY: March 19th, 2025.

NOTES:

Elevations are shown thus:  = 1000.00 metres. (Geodetic)

Elevations are geodetic and derived from ASCM: **424465 ELEV.: 1092.828**

All dimensions are ground in metres and decimals thereof unless otherwise shown.

All distances on curves are arc distances.

Bearings are grid (3TM, CM114°) and derived from GNSS Observations.

All fences are within 0.2 metres of the property lines unless otherwise shown.

All eaves are measured to fascia unless otherwise shown.

Unless noted otherwise, lines outside of property are not to scale.

LEGEND:

Calculation points shown thus: 

Found iron posts shown thus: 

Elevations shown thus: 

Fire hydrants shown thus: 

Lamp standards shown thus: 

Manholes shown thus: 

Power soles shown thus: 

Street signs shown thus: 

Electrical meter shown thus: 

Gas meter shown thus: 

Property lines shown thus: 

Right of ways shown thus: 

Eaves shown thus: 

Fences shown thus: 

Overhead lines shown thus: 

Gasline shown thus: 

Sanitaryline shown thus: 

Stormline shown thus: 

Waterline are shown thus: 

Coniferous Tree ----- 

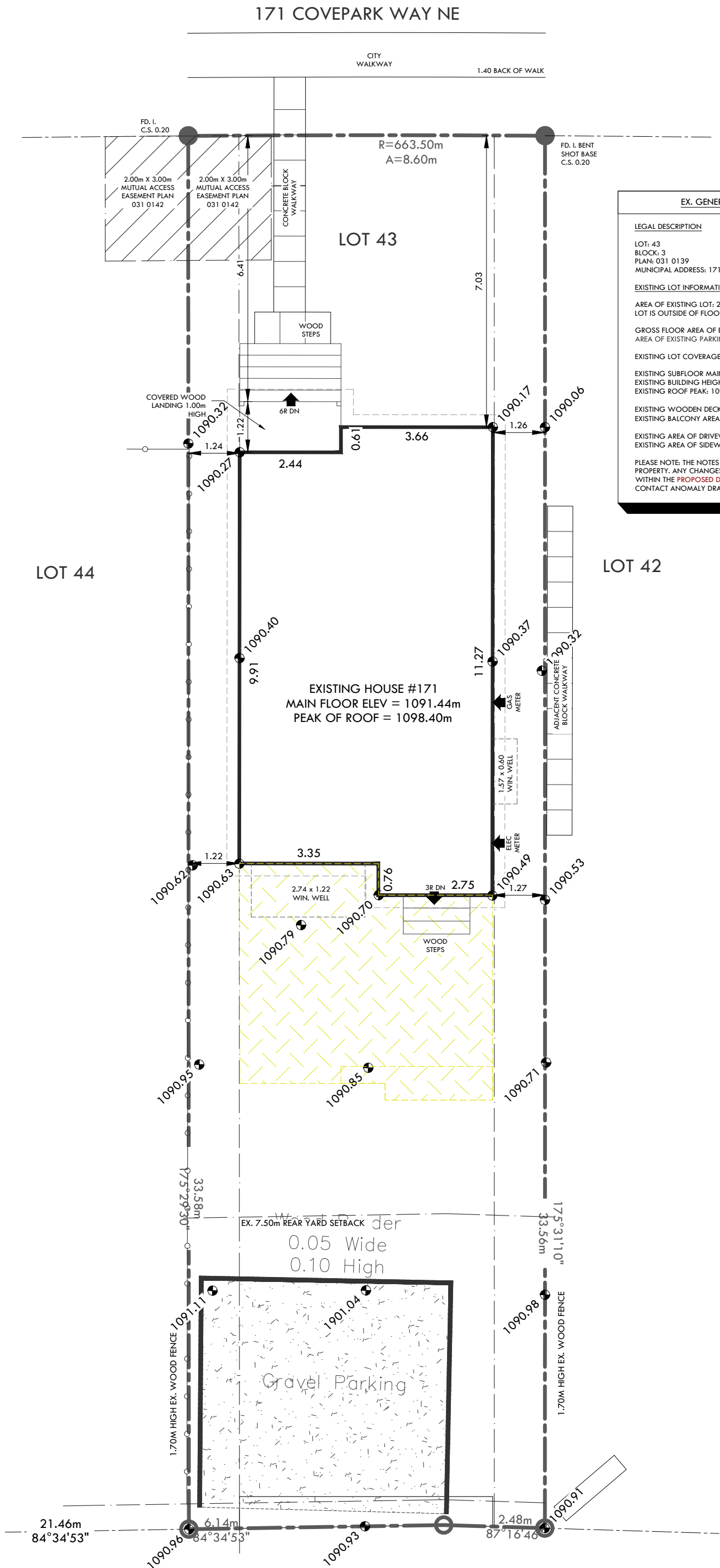
Deciduous Tree ----- 

This plan represents the best information at the time of survey.
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.
All Underground installations should be located by the respective authorities prior to construction.

CALL UTILITY SAFETY PARTNERS: 1-800-242-3477



2819A Centre Street N.W.
Calgary, Alberta T2E 2V7
Phone: 403-837-8599
E-mail: office@zoomsurveys.ca
Website: www.zoomsurveys.ca
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EX. GENERAL SITE PLAN INFORMATION

LEGAL DESCRIPTION

LOT: 43
BLOCK: 3
PLAN: 031 0139
MUNICIPAL ADDRESS: 171 COVEPARK WAY NW, CALGARY, ALBERTA

EXISTING LOT INFORMATION

AREA OF EXISTING LOT: 287.87m² - PARCEL ARE TO BE ZONED RCG.
LOT IS OUTSIDE OF FLOODWAY FLOOD FRINGE ZONE.

GROSS FLOOR AREA OF EXISTING BUILDING: 64.71m²
AREA OF EXISTING PARKING PAD: 33.99m² (DEMOLISHED)

EXISTING LOT COVERAGE: 22.48%

EXISTING SUBFLOOR MAIN FLOOR ELEV.: 1091.44m
EXISTING BUILDING HEIGHT: 6.96m
EXISTING ROOF PEAK: 1098.40m

EXISTING WOODEN DECK OR PATIO AREA: N/A
EXISTING BALCONY AREA: N/A

EXISTING AREA OF DRIVEWAY: N/A
EXISTING AREA OF SIDEWALK: 5.69m²

PLEASE NOTE: THE NOTES REFLECTED ABOVE REFER TO THE REAR OF THE PROPERTY. ANY CHANGES TO THE MAIN DWELLING WILL BE REFERENCED WITHIN THE **PROPOSED DATA**. IF YOU HAVE ANY QUESTIONS PLEASE CONTACT ANOMALY DRAFTING AND DESIGN.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND IS PROPERTY OF ANOMALY DRAFTING AND DESIGN, THE COPYRIGHT IN THE SAME RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE CONSENT OF ANOMALY DRAFTING AND DESIGN, AND GARAGE SUITES WHEN MADE MUST BEAR ITS NAME. DRAWINGS ARE NEVER TO BE SCALED. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND DATA NOTED HEREIN AND SITE CONDITIONS BEFORE COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE TO REPORT ANY DISCREPANCIES TO THE DESIGNER FOR AN ADJUSTMENT.

EXISTING SITE PLAN

SCALE:

1:100

ISSUE DATE M/D/Y:

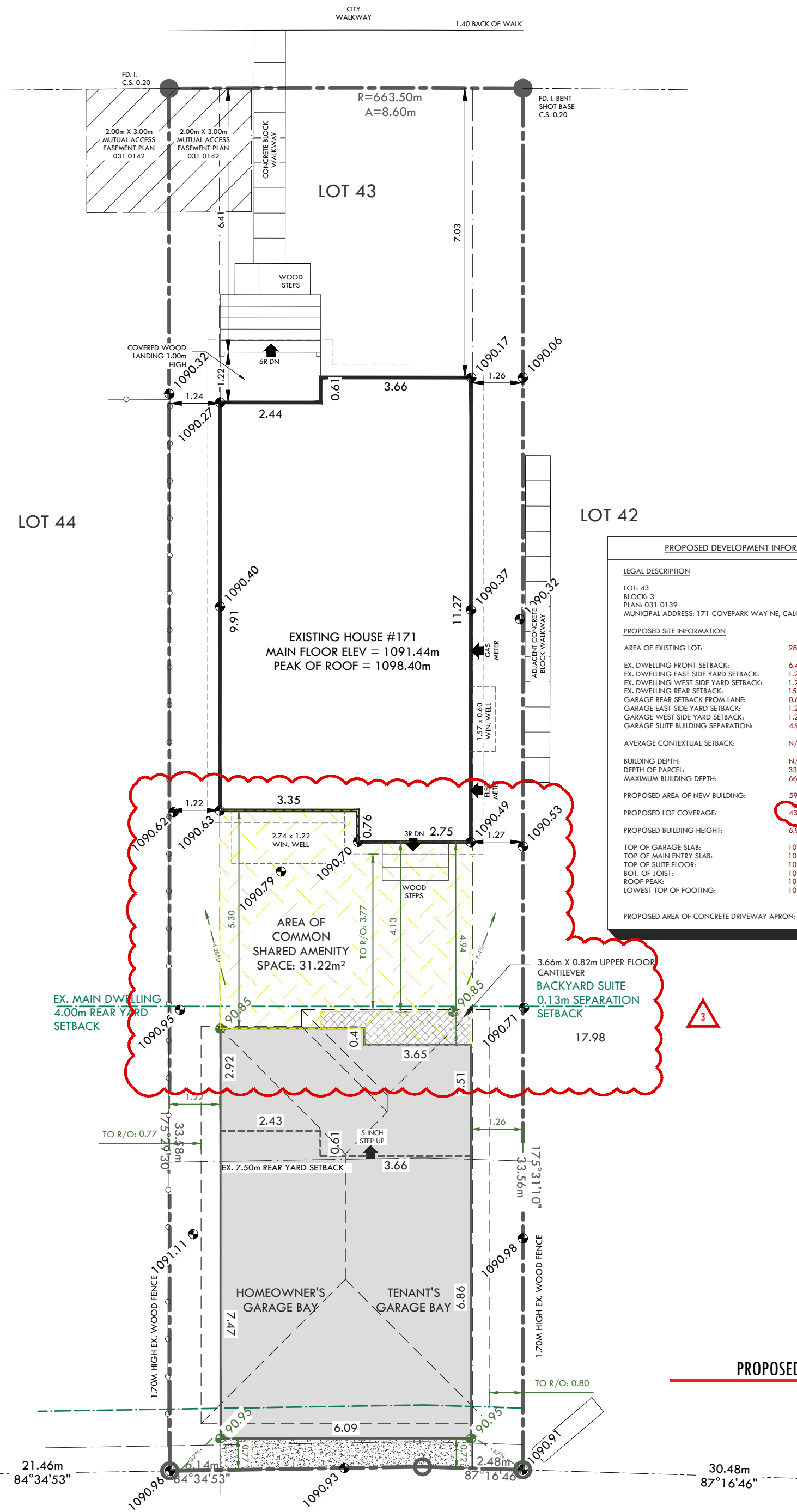
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SHEET NO.:

A2



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PROPOSED DEVELOPMENT INFORMATION	
LEGAL DESCRIPTION	
LOT: 43	
BLOCK: 3	
PLAN: 031 0139	
MUNICIPAL ADDRESS: 171 COVEPARK WAY NE, CALGARY, ALBERTA	
PROPOSED SITE INFORMATION	
AREA OF EXISTING LOT:	287.87 m ²
EX. DWELLING FRONT SETBACK:	6.41m
EX. DWELLING EAST SIDE YARD SETBACK:	1.24m
EX. DWELLING WEST SIDE YARD SETBACK:	1.26m
EX. DWELLING REAR SETBACK:	15.21m
GARAGE REAR SETBACK FROM LANE:	0.61m
GARAGE EAST SIDE YARD SETBACK:	1.22m
GARAGE WEST SIDE YARD SETBACK:	1.26m
GARAGE SUITE BUILDING SEPARATION:	4.94m
AVERAGE CONTEXTUAL SETBACK:	N/A
BUILDING DEPTH:	N/A
DEPTH OF PARCEL:	33.56m
MAXIMUM BUILDING DEPTH:	66.50%
PROPOSED AREA OF NEW BUILDING:	59.54m ²
PROPOSED LOT COVERAGE:	43.16%
PROPOSED BUILDING HEIGHT:	6.90m
TOP OF GARAGE SLAB:	1090.95m
TOP OF MAIN ENTRY SLAB:	1091.15m
TOP OF SUITE FLOOR:	1093.96m
BOT. OF JOIST:	1093.59m
ROOF PEAK:	1098.05m
LOWEST TOP OF FOOTING:	1089.63m
PROPOSED AREA OF CONCRETE DRIVEWAY APRON: 4.41m ²	

PROPOSED SITE PLAN

SCALE:

1:100

ISSUE DATE M/D/Y:

07/15/2026

SHEET NO.:

A3

ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN. THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

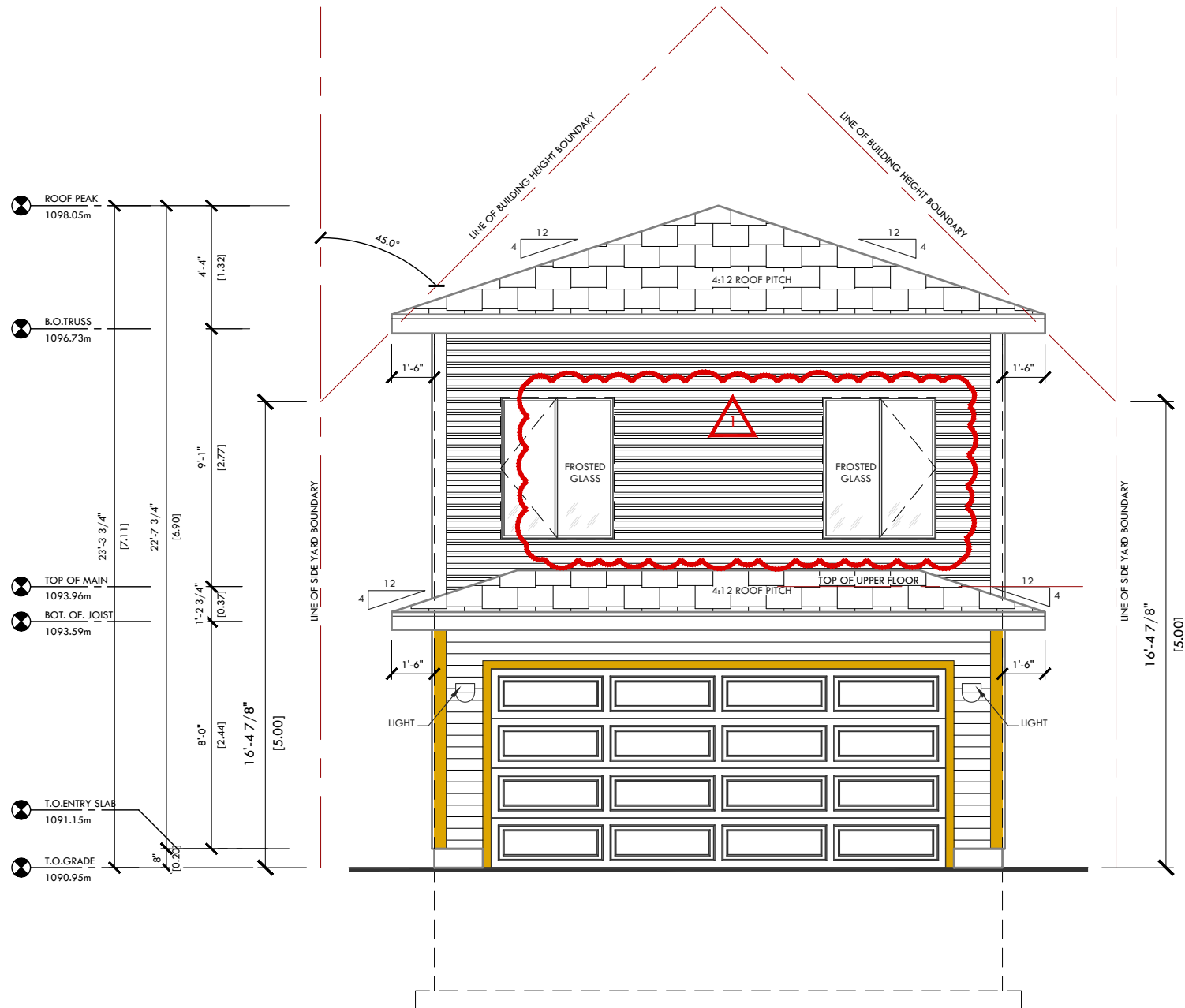
EXTERIOR FINISHES LEGEND

- VINYL SIDING: VINYL SIDING C/W 4" VINYL CORNERS
- COMPOSITE SIDING: JAMES HARDIE LAP SIDING
- COMPOSITE PRIVACY FENCING: LUX ARCHITECTURAL NEO LUMBER
- COMPOSITE TRIM: 3" COMPOSITE TRIM SURROUNDING WINDOWS AND/OR DOORS, AND 4" TO 6" HARDIE CORNERS
- ROOF SHINGLES: ASPHALT SHINGLES. SEE SPEC FOR SHINGLES

WINDOW DESCRIPTION

U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings



**PROPOSED EAST 'FRONT'
ELEVATION**

SCALE:

3/16" = 1'-0"

ISSUE DATE M/D/Y:

07/15/2026

SHEET NO.:

A8



ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
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- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
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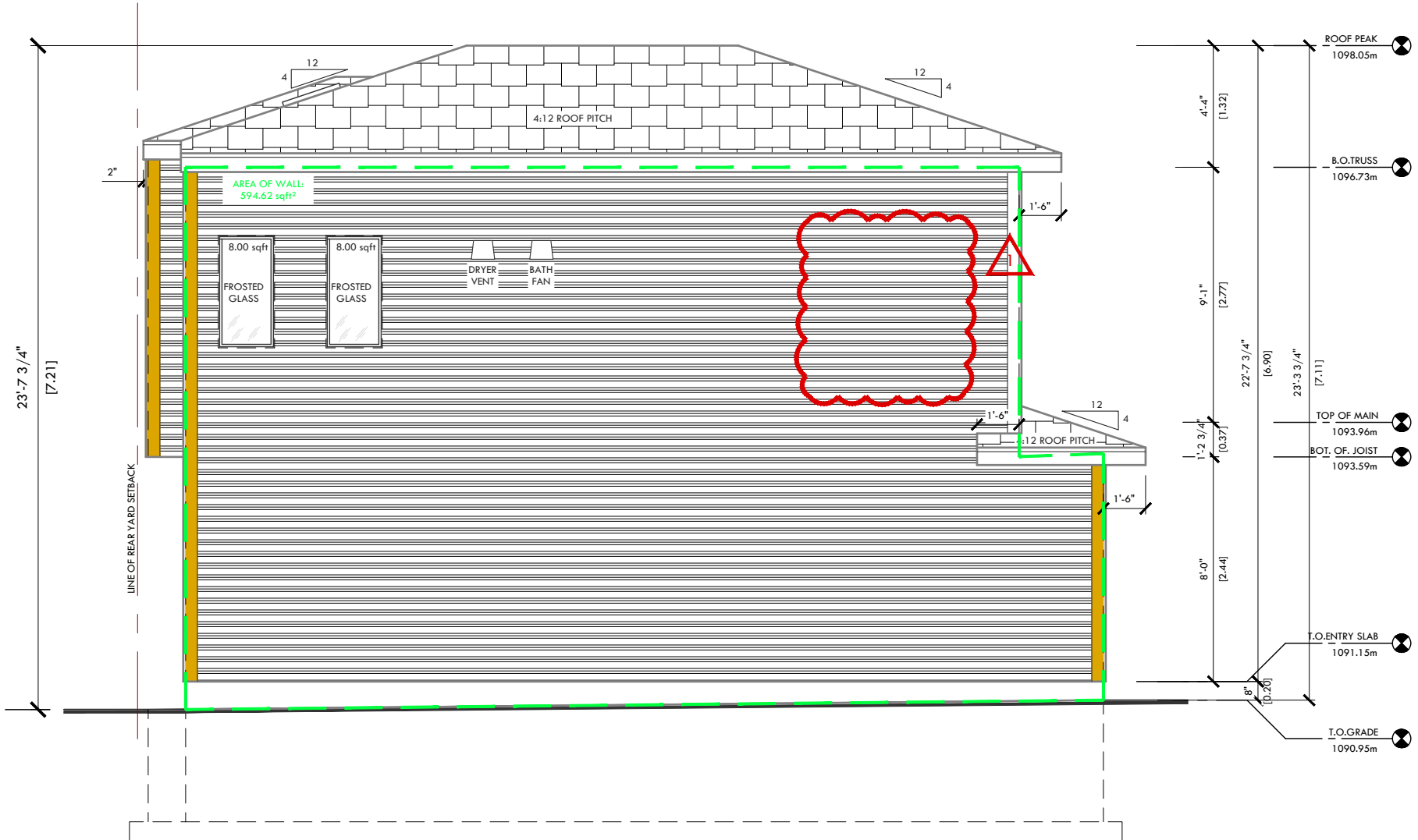
EXTERIOR FINISHES LEGEND

- VINYL SIDING: VINYL SIDING C/W 4" VINYL CORNERS
- COMPOSITE SIDING: JAMES HARDIE LAP SIDING
- COMPOSITE PRIVACY FENCING: LUX ARCHITECTURAL NEO LUMBER
- COMPOSITE TRIM: 3" COMPOSITE TRIM SURROUNDING WINDOWS AND/OR DOORS, AND 4" TO 6" HARDIE CORNERS
- ROOF SHINGLES: ASPHALT SHINGLES. SEE SPEC FOR SHINGLES

See TABLE 9.10.15.4.A. of the A.B.C 2023
BUILDING FACE AREA: 594.62ft² (55.24m²)
MAXIMUM ALLOWABLE COVERAGE: 7%
MAXIMUM ALLOWABLE OPENINGS: 41.62 ft²
MAXIMUM EXPOSED AREA: 50 m²
LIMITING DISTANCE: 1.20m/ ACTUAL 1.22m
TOTAL UNPROTECTED OPENINGS: 16.00 ft²
ACTUAL ALLOWABLE COVERAGE: 2.69%

utility meter locations are approximate,
therefore utility locations will be confirmed
on site

mechanical and HVAC penetration locations
shown are all approximate, therefore
locations are to be determined on site



**PROPOSED SOUTHWEST 'RIGHT'
ELEVATION**

SCALE:
3/16" = 1'-0"

ISSUE DATE M/D/Y:

07/15/2026

SHEET NO.:

A9



ELEVATION GENERAL NOTES

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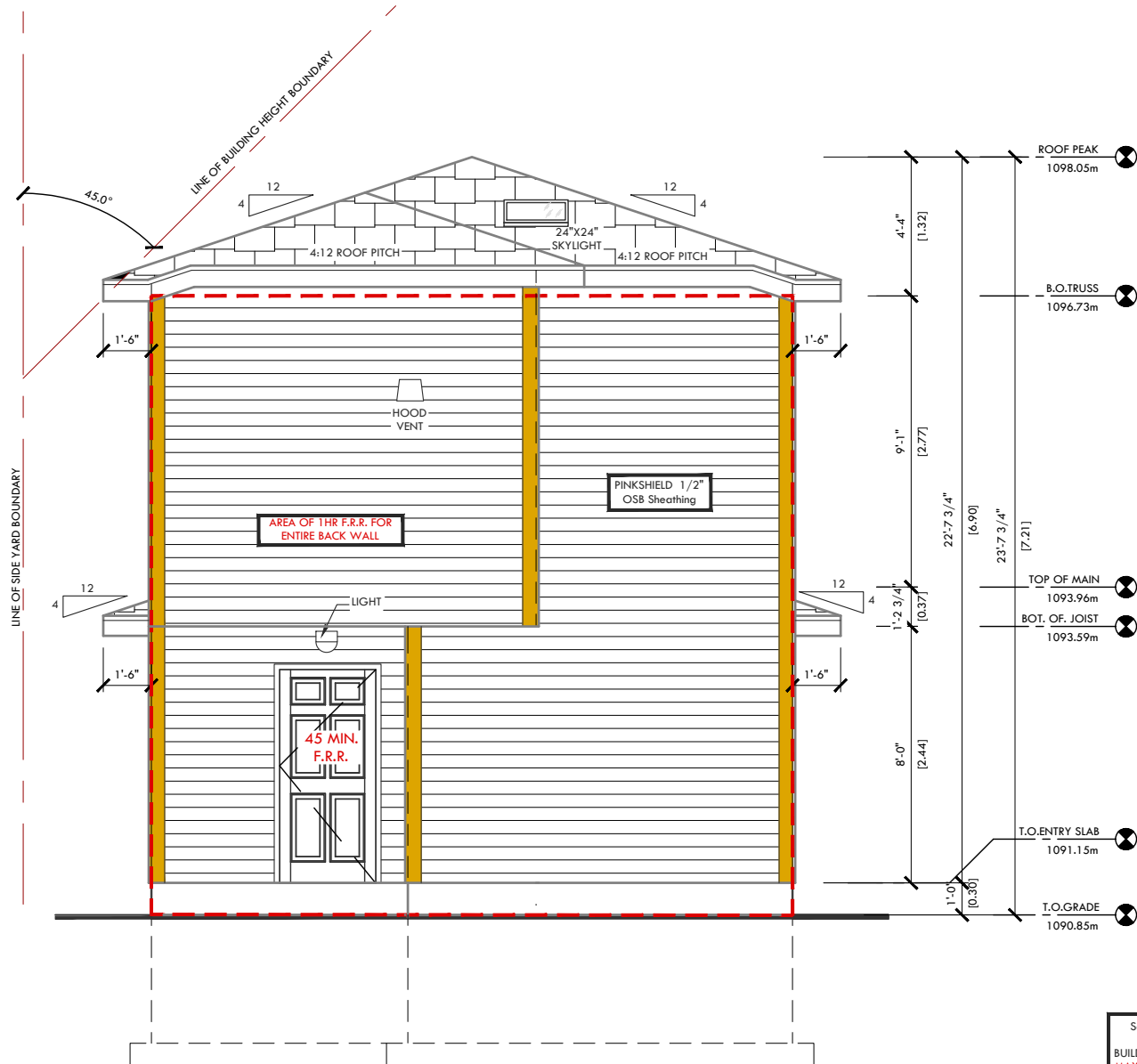
EXTERIOR FINISHES LEGEND

- VINYL SIDING: VINYL SIDING C/W 4" VINYL CORNERS
- COMPOSITE SIDING: JAMES HARDIE LAP SIDING
- COMPOSITE PRIVACY FENCING: LUX ARCHITECTURAL NEO LUMBER
- COMPOSITE TRIM: 3" COMPOSITE TRIM SURROUNDING WINDOWS AND/OR DOORS, AND 4" TO 6" HARDIE CORNERS
- ROOF SHINGLES: ASPHALT SHINGLES. SEE SPEC FOR SHINGLES

WINDOW DESCRIPTION

U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings



**PROPOSED WEST 'REAR'
ELEVATION**



**EXISTING REAR ELEVATION
OF MAIN DWELLING**

See TABLE 9.10.15.4.A. of the A.B.C 2023
 BUILDING FACE AREA: 416.60 FT² (38.70 M²)
 MAXIMUM ALLOWABLE COVERAGE: 32%
 MAXIMUM ALLOWABLE OPENINGS: 133.31 FT²
 MAXIMUM EXPOSED AREA: 40 M²
 LIMITING DISTANCE: 4.00M / ACTUAL 4.0M
 TOTAL UNPROTECTED OPENINGS: 93.70 FT²
 ACTUAL ALLOWABLE COVERAGE: 22.5%

SCALE:

3/16" = 1'-0"

ISSUE DATE M/D/Y:

07/15/2026

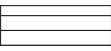
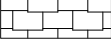
SHEET NO.:

A10

ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN. THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
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- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

EXTERIOR FINISHES LEGEND

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-  COMPOSITE SIDING: JAMES HARDIE LAP SIDING
-  COMPOSITE PRIVACY FENCING: LUX ARCHITECTURAL NEO LUMBER
-  COMPOSITE TRIM: 3" COMPOSITE TRIM SURROUNDING WINDOWS AND/OR DOORS, AND 4" TO 6" HARDIE CORNERS
-  ROOF SHINGLES: ASPHALT SHINGLES. SEE SPEC FOR SHINGLES

WINDOW DESCRIPTION

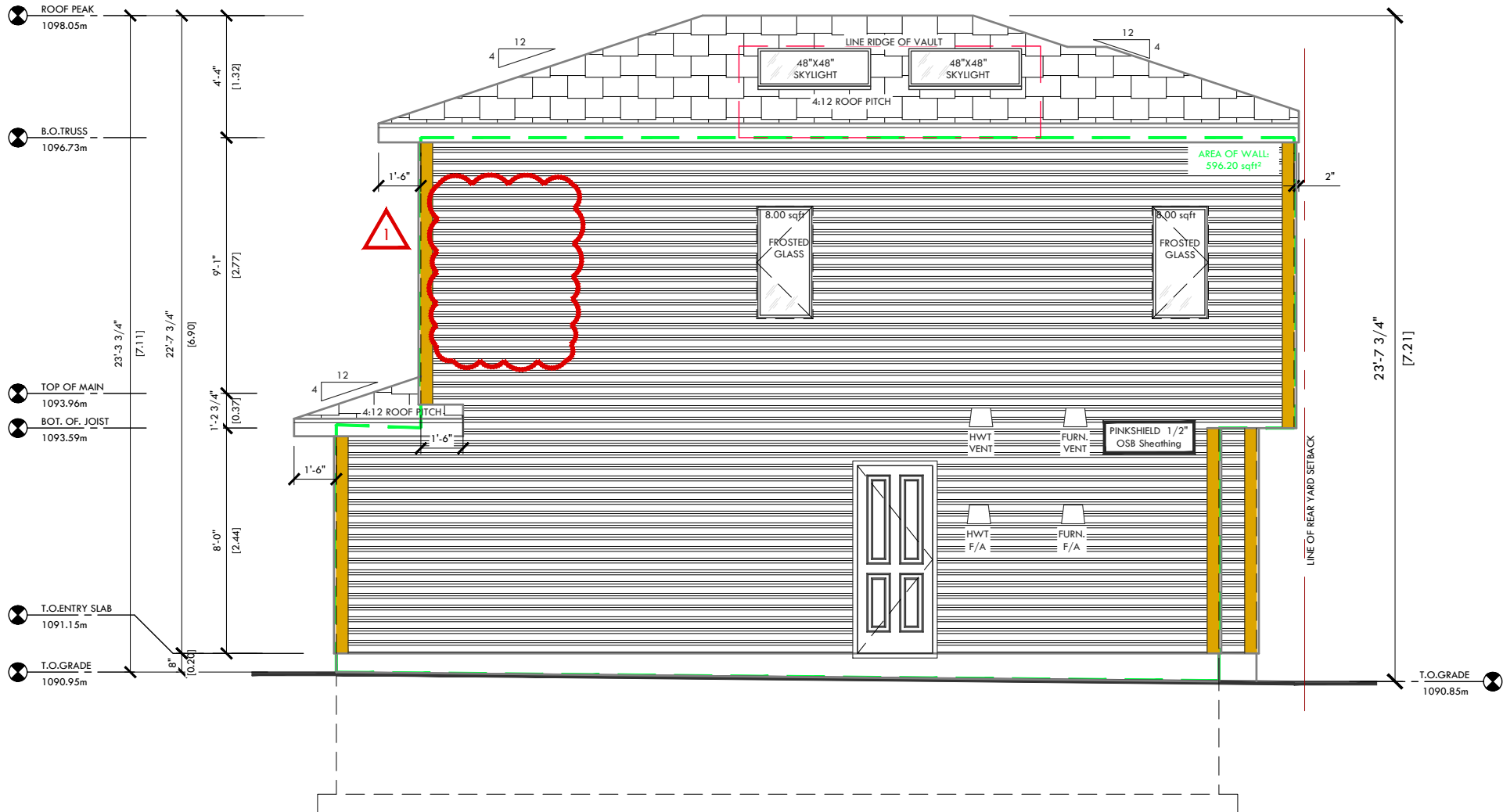
U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings

See TABLE 9.10.15.4.A. of the A.B.C 2023
BUILDING FACE AREA: 596.20ft² (55.39m²)
MAXIMUM ALLOWABLE COVERAGE: 7%
MAXIMUM ALLOWABLE OPENINGS: 41.73 ft²
MAXIMUM EXPOSED AREA: 50 m²
LIMITING DISTANCE: 1.20m / ACTUAL 1.26m
TOTAL UNPROTECTED OPENINGS: 16.00 ft²
ACTUAL ALLOWABLE COVERAGE: 2.68%

utility meter locations are approximate,
therefore utility locations will be confirmed
on site

mechanical and HVAC penetration locations
shown are all approximate, therefore
locations are to be determined on site



PROPOSED NORTHEAST 'LEFT'
ELEVATION

SCALE:

3/16" = 1'-0"

ISSUE DATE M/D/Y:

07/15/2026

SHEET NO.:

A11