

SAGE HILL ST



LANDSCAPE ANALYSIS

SITE AREA: 24,832.35 SQ.M.

REQUIRED LANDSCAPED AREA = 40% OF SITE AREA = 9,932.94 SQ.M.
PROVIDED GROUND LANDSCAPED AREA = **8803.71** SQ.M. (35.45% OF SITE AREA)

PROPOSED LANDSCAPE AREA REDUCTION DETAILS

- LOW WATER LANDSCAPING OPTION
3% REDUCTION OF THE TOTAL AREA
30% OF REQUIRED TREES/SHRUBS TO BE LOW WATER CONSUMING PLANTS
MAX. 30% OF LANDSCAPE AREA TO BE SODDED = 2641.11 SQ.M.
PROVIDED = 1042.9 SQ.M. OR 11.85%
- ENHANCED LANDSCAPING OPTION
3% REDUCTION OF THE TOTAL AREA
1 TREE AND 2 SHRUBS/25 SQ.M. OF LANDSCAPED AREA

TOTAL REQUIRED LANDSCAPE AREA POST REDUCTION = 34 % OF SITE AREA
PROVIDED LANDSCAPED AREA = **8803.71** SQ.M. = 35.45% OF SITE AREA

TOTAL NUMBER OF REQUIRED TREES = **353**
1 TREE/25 SQ.M. OF LANDSCAPED AREA
MIN. CONIFEROUS TREES REQUIRED = 85
REMAINING TREES TO BE DECIDUOUS

TOTAL NUMBER OF REQUIRED SHRUBS = **705**
2 SHRUBS/25 SQ.M. OF LANDSCAPED AREA

TOTAL TREES PROVIDED = **353**
30% OF REQUIRED TREES TO BE LOW WATER SPECIES = 105.9-106
TOTAL LOW WATER TREES PROVIDED = 305
DECIDUOUS TREES PROVIDED = 252
DECIDUOUS TREES WITH MIN 85MM CALLIPER REQUIRED = 126
PROVIDED = 126
REMAINING DECIDUOUS TREES TO HAVE MIN. 65MM CALLIPER

CONIFEROUS TREES PROVIDED = 101
CONIFEROUS TREES WITH MIN 400MM HEIGHT REQUIRED = 51
PROVIDED = 52
REMAINING CONIFEROUS TREES TO HAVE MIN. 300MM HEIGHT

30% OF REQUIRED SHRUBS TO BE LOW WATER SPECIES = 217.5-218
TOTAL LOW WATER CONSUMING SHRUBS PROVIDED = 439
TOTAL SHRUBS PROVIDED = **725**

LEGEND

- REGULAR GREY COLOR CONCRETE
- ASPHALT
- 10MM RUNDLE ROCK
- TRELLIS
- PLANTING BED WITH FOOTHILLS PREMIUM MULCH
- DROUGHT-TOLERANT SOD
- KIDS PLAY AREA WITH ENGINEERED WOOD FIBRE
- POLLINATOR GARDEN
- ASPHALT SURFACE FOR BASKETBALL COURT
- URW
- PROPERTY LINE
- DECIDUOUS TREES
- CONIFEROUS TREES
- PROPOSED TREES IN BOULEVARD TO BE MAINTAINED 'PUBLIC TREES'
- PROPOSED TREES IN BOULEVARD TO BE REMOVED
- DECIDUOUS SHRUBS
- CONIFEROUS SHRUBS
- PERENNIALS
- PICNIC TABLE
- LIGHT BOLLARDS
- BENCH
- 1800MM HT. WOOD FENCE
- 1200MM HT. WOOD FENCE
- CLASS 1 BIKE STALLS TOTAL QUANTITY: 17 STALLS
- CLASS 2 BIKE PARKING TOTAL QUANTITY: 14 RACKS/ 28 STALLS
- PROPOSED GRADE
- EXISTING GRADE
- NUMBER OF STAIRS
- GUARDRAIL

GENERAL NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
- ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND LOW WATER IRRIGATION SYSTEM, WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS ONLY.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.

DESIGN ELEMENTS

- ENTRY FEATURE
- PICNIC AREA WITH TRELLIS
- FIRE PIT AREA WITH TRELLIS
- PLAY AREA
- MULTIPURPOSE OPEN GREENSPACE
- BASKETBALL COURT
- DOG RUN
- COMMUNITY GARDEN
- TABLE TENNIS COURT
- SEATING NODE WITH TRELLIS
- PRIVATE DRIVEWAY TYP.
- TRANSFORMERS
- MOLOK BINS
- MAILBOXES
- POLLINATOR GARDEN
- RETAINING WALL ALONG PROPERTY LINE (WALL HEIGHT VARIES)
- VEHICLE PARKING STALLS
- 18A, CLASS 1 BIKE PARKING
- 18B, CLASS 2 BIKE PARKING



SEAL

ISSUED FOR	DATE
COORDINATION	260424
COORDINATION	260427
COORDINATION	260430
COORDINATION	260508
DP SUBMISSION	260512
DP SUBMISSION	260513
DTR SUBMISSION	260902
DTR SUBMISSION	260904

SCALE	1:350
DATE	260513
DRAWN BY	JC
CHECKED BY	YN

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DEVELOPMENT PERMIT DR#1 RESPONSE

DRAWING LIST:

ARCHITECTURAL DRAWINGS:

- DP.01

DP.02

DP.03

DP.04

DP.04.01

DP.04.02

DP.04.03

DP.04.04

DP.05

DP.06

DP.07
- COVER SHEET

SITE INFORMATION

BLOCK PLAN

SITE PLAN

PHASE 1

PHASE 2

PHASE3

PHASE 4

SWEEP PATH

SITE DETAILS

SITE DETAILS, MOLOK



BUILDING A

- DP.BA.01

DP.BA.02

DP.BA.03

DP.BA.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING E

- DP.BE.01

DP.BE.02

DP.BE.03

DP.BE.04
- BASEMENT / 1ST FLOOR PLAN

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ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING I

- DP.BI.01

DP.BI.02

DP.BI.03

DP.BI.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING M

- DP.BM.01

DP.BM.02

DP.BM.03

DP.BM.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING Q

- DP.BQ.01

DP.BQ.02

DP.BQ.03

DP.BQ.04

DP.BQ.05
- BASEMENT 1/2 FLOOR PLAN

MAIN / SECOND FLOOR PLAN

THIRD FLOOR / ROOF PLAN

BUILDING SECTION

BUILDING ELEVATION

BUILDING B

- DP.BB.01

DP.BB.02

DP.BB.03

DP.BB.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING F

- DP.BF.01

DP.BF.02

DP.BF.03

DP.BF.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING J

- DP.BJ.01

DP.BJ.02

DP.BJ.03

DP.BJ.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING N

- DP.BN.01

DP.BN.02

DP.BN.03

DP.BN.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING R

- DP.BR.01

DP.BR.02

DP.BR.03

DP.BR.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING C

- DP.BC.01

DP.BC.02

DP.BC.03

DP.BC.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDIN G

- DP.BG.01

DP.BG.02

DP.BG.03

DP.BG.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING K

- DP.BK.01

DP.BK.02

DP.BK.03

DP.BK.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING O

- DP.BO.01

DP.BO.02

DP.BO.03

DP.BO.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING S

- DP.BS.01

DP.BS.02

DP.BS.03

DP.BS.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING D

- DP.BD.01

DP.BD.02

DP.BD.03

DP.BD.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING H

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DP.BH.02

DP.BH.03

DP.BH.04
- BASEMENT / 1ST FLOOR PLAN

2ND / 3RD FLOOR PLAN

ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING L

- DP.BL.01

DP.BL.02

DP.BL.03

DP.BL.04
- BASEMENT / 1ST FLOOR PLAN

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ROOF PLAN / BUIDING SECTION

BUILDING ELEVATION

BUILDING P

- DP.BP.01

DP.BP.02

DP.BP.03

DP.BP.04

DP.BP.05
- BASEMENT 1/2 FLOOR PLAN

MAIN / SECOND FLOOR PLAN

THIRD FLOOR / ROOF PLAN

BUILDING SECTION

BUILDING ELEVATION

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phase / date

NOTE:

Issue Date	Issue Description	DEVELOPMENT PERMIT									
		APRIL 30 / 2026	SEPTEMBER 10 / 2026	DEMT Response							

Project Title
Sage Hill
Multi-Family

Project Municipal Address
200 Sage Hill Rise, N.W.
Calgary, AB

Project Legal Address
LOT 2 BLOCK 21
PLAN 121 0697

MC+A file No.
2024.MC.1257

Phase
DEVELOPMENT PERMIT

Date
September 10/ 2026

Scale

Drafted By
I.B.

Checked By
M.C.

Sheet Title
COVER SHEET

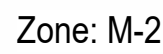
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DP.01



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DP.02



The proposed land use district is the M-2d 120 District which will allow min. 60 multi residential units per ha.



The subject property is located in close proximity to Symon Valley Road NW and Sage Hill Drive NW.

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Sheet Title

BLOCK PLAN

Sheet Number

DP.03

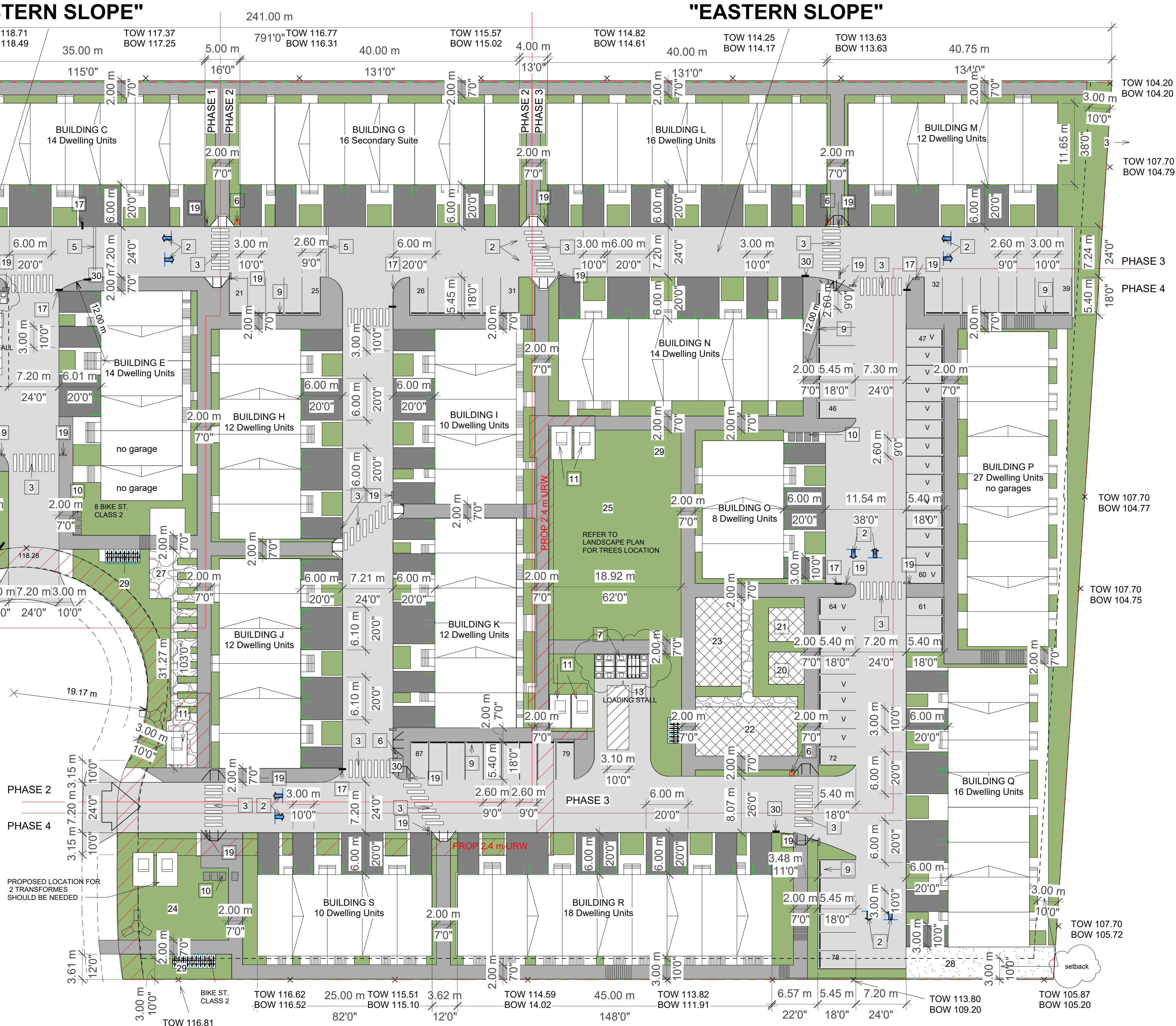
Sage Hill ST NW

Sage Hill Rise NW

- NOTES:
- Refer to the Landscape Drawings for tree layout, planting details, and common amenity spaces.
 - Refer to the Landscape Drawings for fence design.
 - Refer to the Grading Plan for site elevation points and contours.
 - Refer to the Civil Drawings for retaining wall design and construction details.
- The height of fences and retaining walls varies across the site, ranging from approximately 0.34 m to 4.6 m. Typical wall heights are up to 1.2 m unless noted otherwise. The maximum height of 4.6 m occurs on the north side of Building 1, behind the ramp and adjacent to Building Q. All site grading and accessible paths of travel are designed in compliance with applicable local accessibility codes and regulations. Walkway slopes shall not exceed 4% (1:25) unless otherwise indicated.
- Refer to the Electrical Drawings for light post locations, specifications, and installation details.
 - Refer to the Mechanical and Electrical Drawings for all water-meter, gas meters, elect. meters locations and light posts location.
- Recycling Facilities: Recycling facilities are provided by Molok underground recycling containers, identified as No. 7 on the Site Plan. These recycling facilities are not located within the Utility Right-of-Way (URW).

LEGEND:

PROPERTY LINE	---	1	LIGHT POST	8	ACCESSIBILITY SYMBOL
FENCE	---	2	DIRECTION SYMBOL	9	WHEEL STOP
PHASE LINE	---	3	CROSSWALK	10	MAIL BOX
URW	---	4	CURB	11	TRANSFORMER
LANDSCAPING	---	5	SPEED BUMB	12	DRAIN
SIDEWALK	---	6	FIRE HYDRANT	18	ONE-WAY SIGN
RUNDLE ROCK	---	7	MOLOK [RECYCLING FACILITIES]	13	LOADING BAY
KIDS PLAY AREA	---				
GARDING AREA	---				
SETBACK	---				



SITE PLAN
1:350

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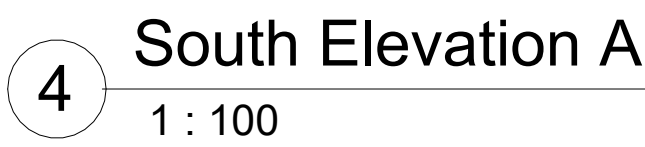
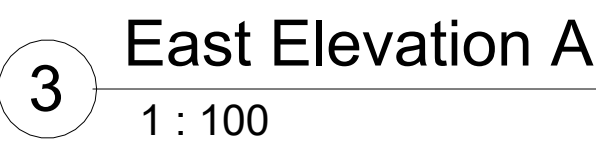
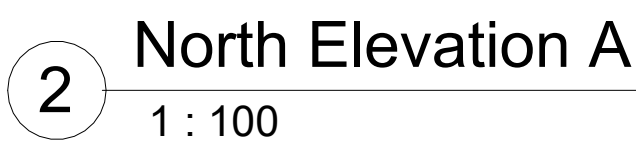
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SITE PLAN TWH

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DP.04

Symons Valley Road NW



NOTE:

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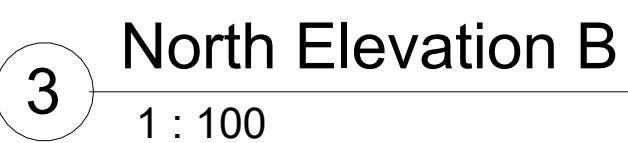
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ELEVATIONS

Sheet Number

DP.BA.04



L1 BUILDING NUMBER

NOTE:

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SEPTEMBER 10 / 2026	DRAFT Response

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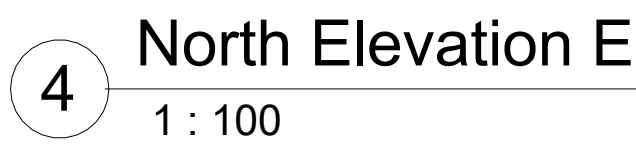
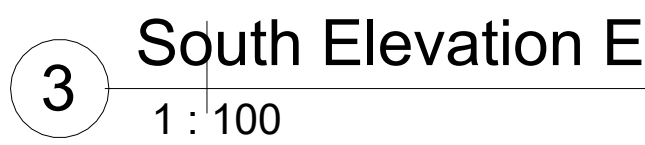
DP.BB.04

K1 OUTDOOR WALL SCONE
COLOR: BLACK

4 West Elevation C



DP.BD.04



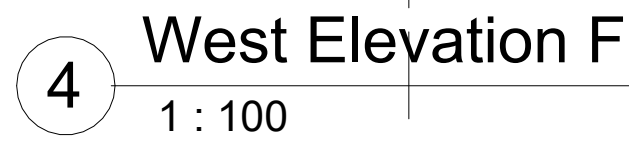
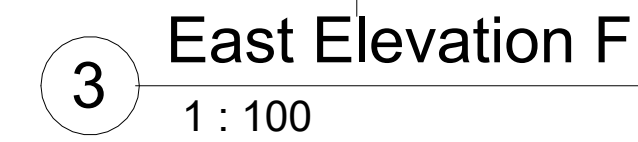
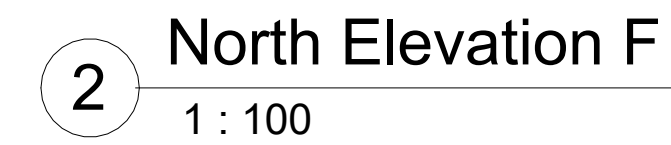
L1 BUILDING NUMBER

NOTE:

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F1 FV

DP.BE.04



EXTERIOR FINISH LEGEND:

A - PANEL

A1 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: ARTIC WHITE

A2 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: WOODEN

C - TRIM

C1 FIBRE CEMENT SIDING (SMOOTH FINISH)
COLOR: EVENING BLUE

E - METAL

E1 PRE-FINISH METAL SIDING
COLOR: EVENING BLUE

H - WINDOW

H2 PVC WINDOW
COLOR: WHITE

I - DOOR

I1 GARAGE DOOR
COLOR: WHITE

I2 BALCONY DOOR (SLIDING)
GLASSED

I3 ENTRY DOOR
GLASSED

J - GUARDRAIL / RAILING

J2 PRE-FINISH ALUMINIUM WITH GLASS
COLOR: BLACK

K - LIGHT

K1 OUTDOOR WALL SCONE
COLOR: BLACK

L - SIGNAGE

L1 BUILDING NUMBER

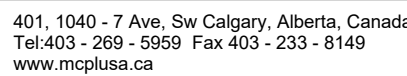
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Sheet Number

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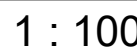


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phase / date

1 : 100



A - PANEL

A1 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: ARTIC WHITE

A2 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: WOODEN

C - TRIM
C1 FIBRE CEMENT SIDING (SMOOTH FINISH)
COLOR: EVENING BLUE

E - METAL
E1 PRE-FINISH METAL SIDING
COLOR: EVENING BLUE

H - WINDOW
H2 PVC WINDOW
COLOR: WHITE

I - DOOR
I1 GARAGE DOOR
COLOR: WHITE

12 BALCONY DOOR (SLIDING)
GLASSED

13 ENTRY DOOR
GLASSED

J - GUARDRAIL / RAILING
J2 PRE-FINISH ALUMINIUM WITH GLASS
COLOR: BLACK

K - LIGHT
K1 OUTDOOR WALL SCONE
COLOR: BLACK

L - SIGNAGE
L1 BUILDING NUMBER

NOTE:

[illegible]

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MC

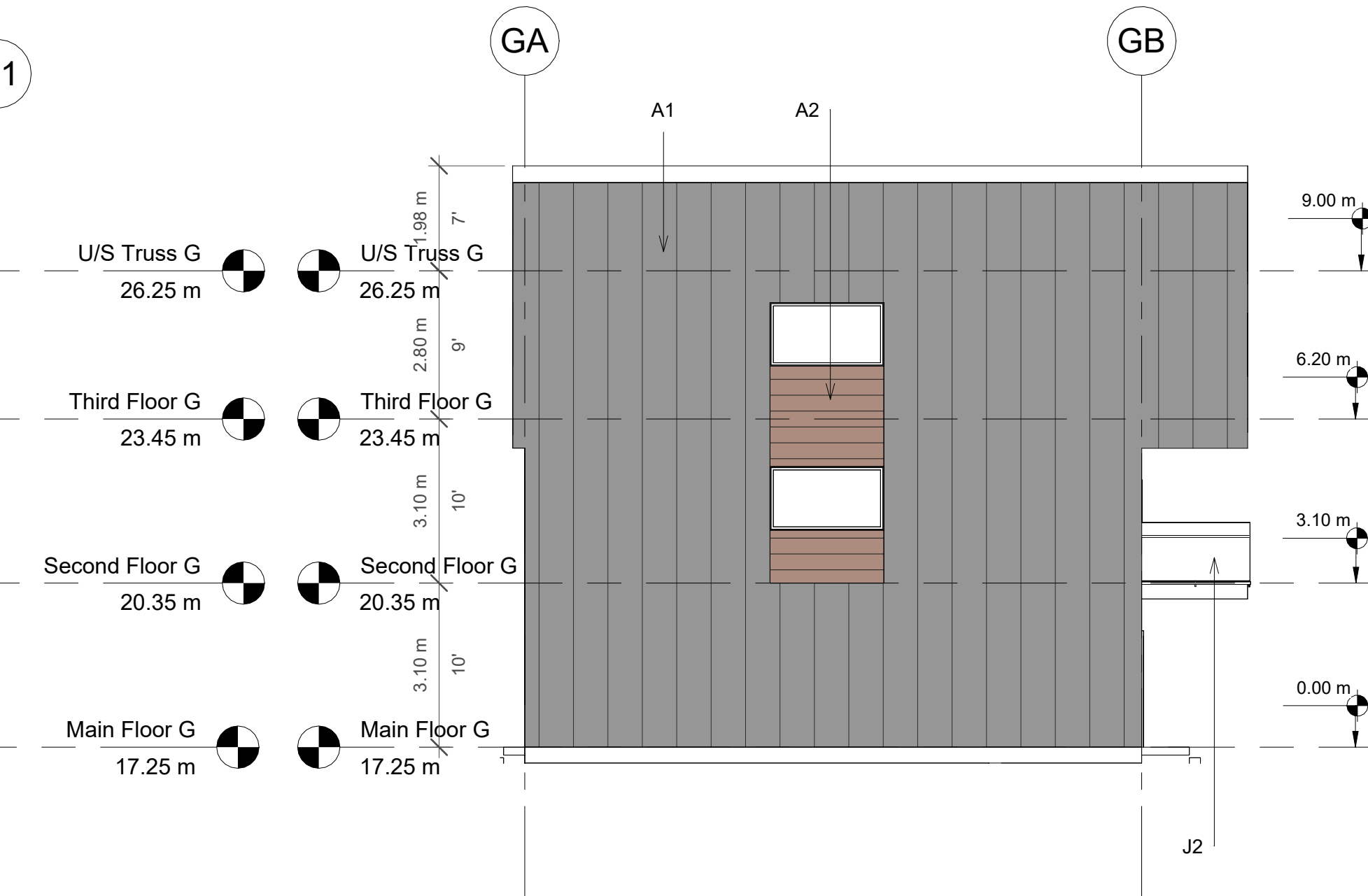
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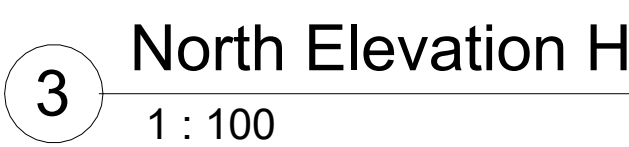
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L1 BUILDING NUMBER

phase / date

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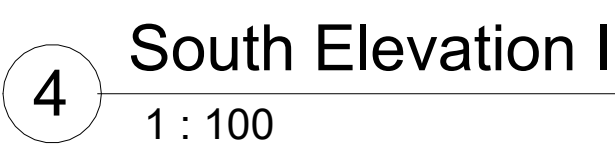
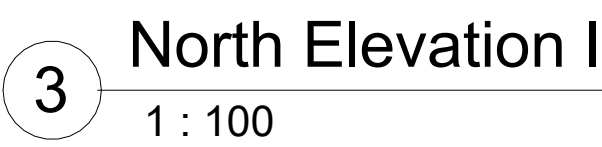
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Sheet Title

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DP.BH.04



L - SIGNAGE
L1 BUILDING NUMBER

NOTE:

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Sheet Number

DP.BI.04



L1 BUILDING NUMBER

NOTE:

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DP.BJ.04



L1 BUILDING NUMBER

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Sheet Title

ELEVATIONS

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DP.BK.04

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EXTERIOR FINISH LEGEND:

A - PANEL

- A1 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: EVENING BLUE
- A2 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: ARTIC WHITE
- A3 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: YELLOW (BUILDING 1)
TEAL (BUILDING 2)

C - TRIM

- C1 FIBRE CEMENT SIDING (SMOOTH FINISH)
COLOR: EVENING BLUE

E - METAL

- E1 PRE-FINISH METAL SIDING
COLOR: LIGHT CHERRY
- E2 PRE-FINISH METAL FASCIA
COLOR: EVENING BLUE

H - WINDOW

- H2 PVC WINDOW
COLOR: WHITE

J - GUARDRAIL / RAILING

- J2 PRE-FINISH ALUMINIUM WITH GLASS
COLOR: BLACK

I - DOOR

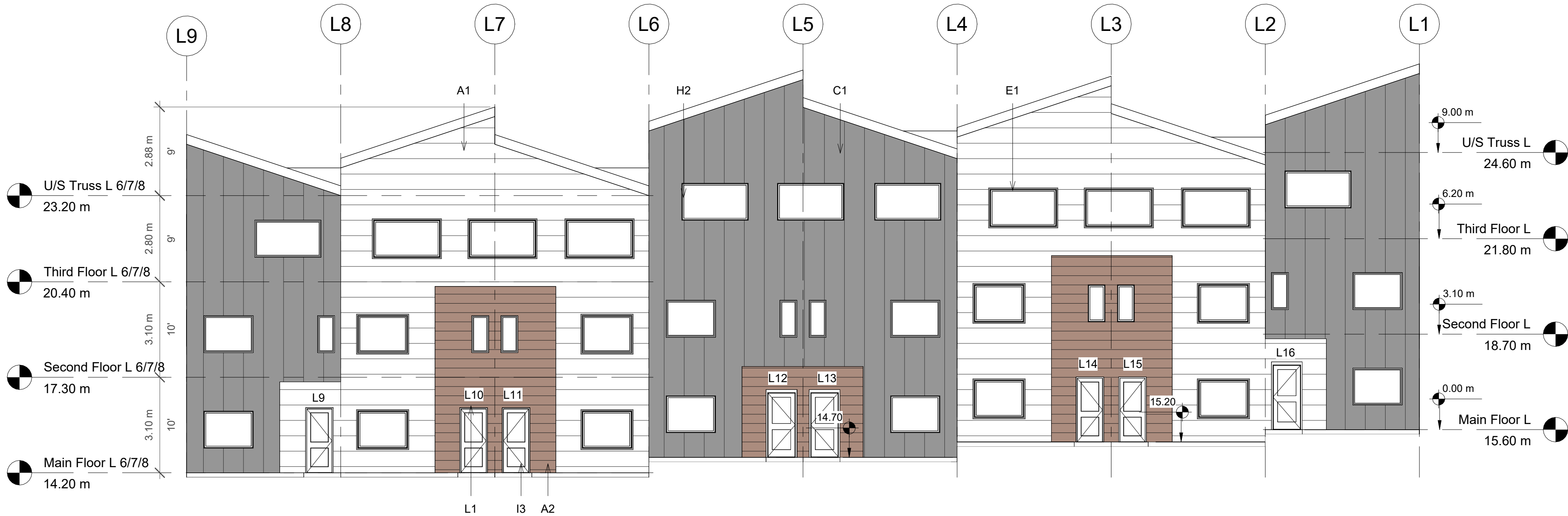
- I1 GARAGE DOOR
COLOR: GREY
- I2 BALCONY DOOR (SLIDING)
GLASSED
- I3 ENTRY DOOR
GLASSED

K - LIGHT

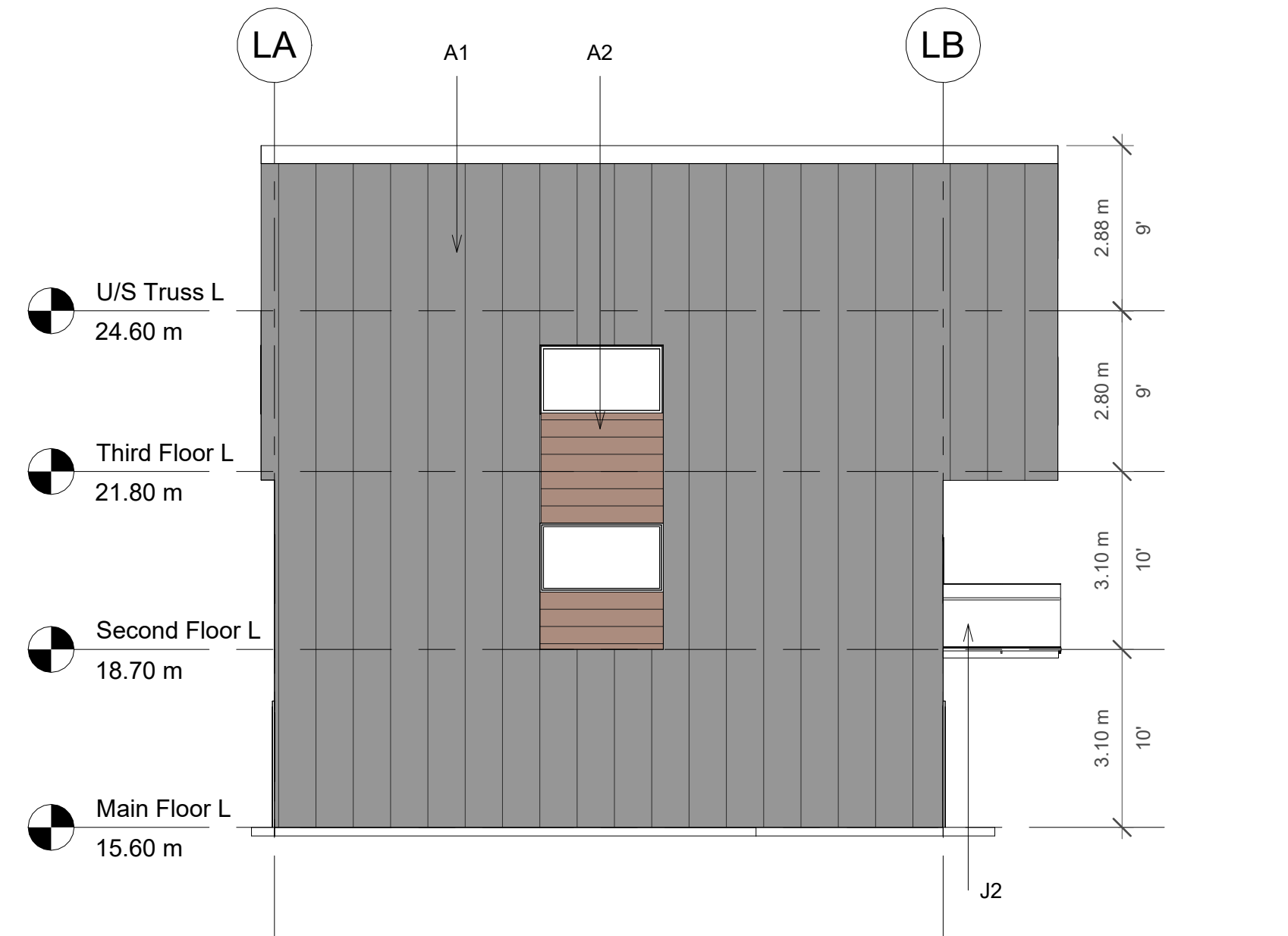
- K1 OUTDOOR WALL SCONCE
COLOR: BLACK

L - SIGNAGE

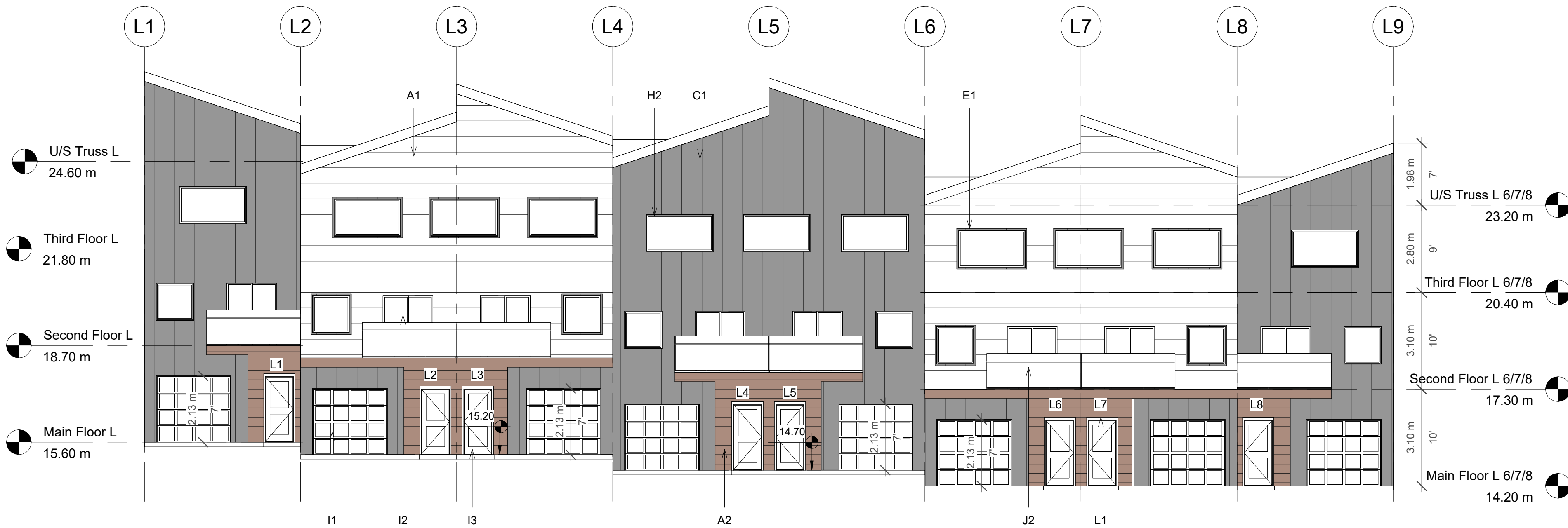
- L1 BUILDING NUMBER



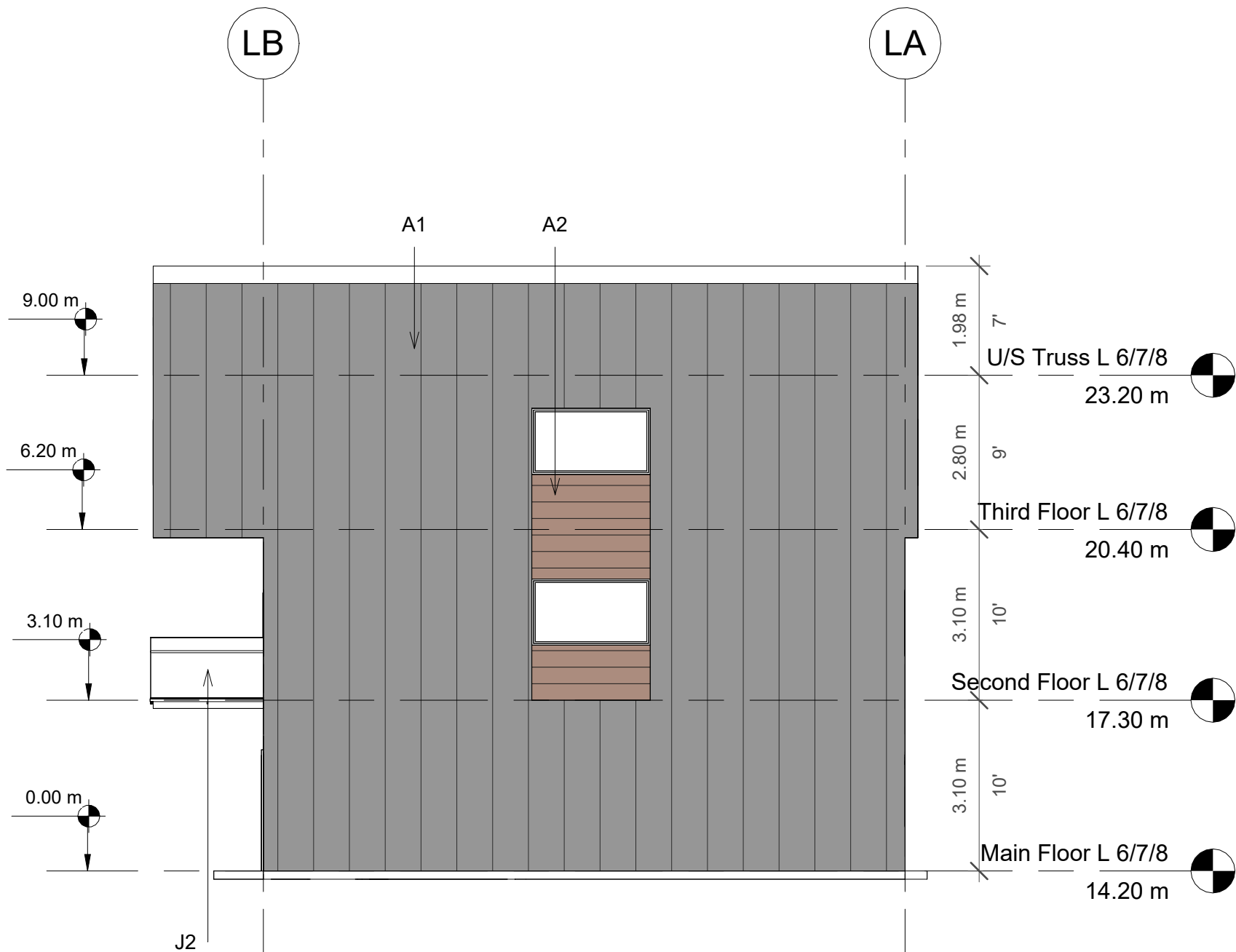
1 East Elevation L
1 : 100



3 North Elevation L
1 : 100



2 West Elevation L
1 : 100



4 South Elevation L
1 : 100

professional seal
prime consultant



401, 1040 - 7 Ave, Sw Calgary, Alberta, Canada
Tel:403 - 269 - 5959 Fax:403 - 233 - 8149
www.mcplusa.ca

client

consultants

phase / date

NOTE:

Issue Date	Issue Description
APRIL 30, 2026	DEVELOPMENT PERMIT
SEPTEMBER 10, 2026	DRAW RESPONSE

Project Title

Sage Hill
Multi-Family

Project Municipal Address

200 Sage Hill Rise, N.W.
Calgary, AB

Project Legal Address

LOT 2 BLOCK 21
PLAN 121 0697

MC+A file No.

2024.MC.1257

Phase

DEVELOPMENT PERMIT

Date

September 10/ 2026

Scale

Drafted By

I.B.

Checked By

M.C.

Sheet Title

ELEVATIONS

Sheet Number

DP.BL.04



1 : 100



1 : 100



1 : 100



1 : 100

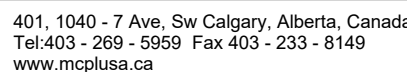
L1 BUILDING NUMBER

NOTE:

[illegible]

Sheet Number

DP.BM.04



client

consultants

phase / date

NOTE:

[illegible]

Project Title

Sage Hill Multi-Family

Project Municipal Address

200 Sage Hill Rise, N.W.
Calgary, AB

Project Legal Address

LOT 2 BLOCK 21
PLAN 121 0697

MC+A file No

2024.MC.1257

Phase

DEVELOPMENT PERMIT

Date _____

September 10/ 2026

Scale

Drilled By
I R

I.D.

Checked By
M.C.

M.C.

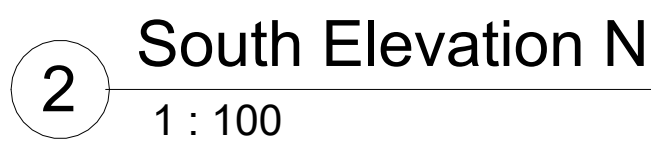
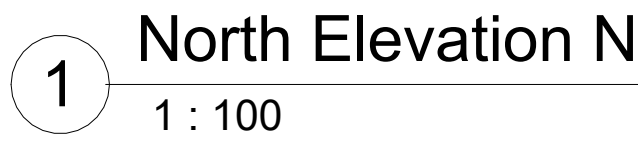
Sheet Title

ELEV

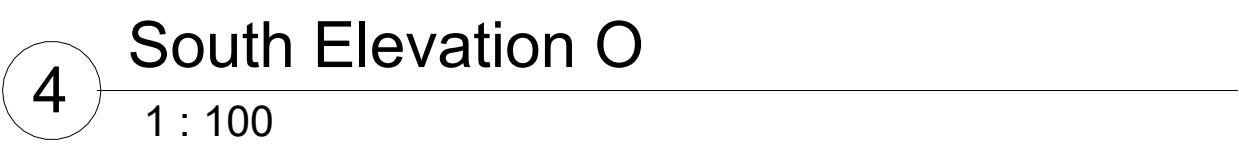
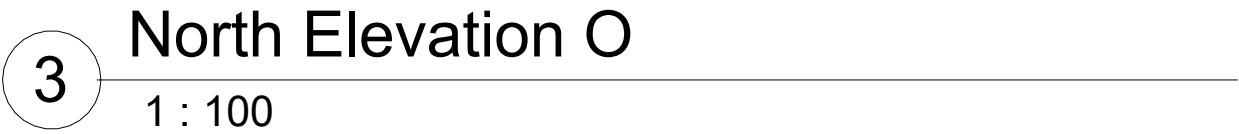
Sheet Num

DD

DP



9/10/2026 11:49:49 AM



- A - PANEL**
 - A1 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: ARTIC WHITE
 - A2 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: WOODEN
- C - TRIM**
 - C1 FIBRE CEMENT SIDING (SMOOTH FINISH)
COLOR: EVENING BLUE
- E - METAL**
 - E1 PRE-FINISH METAL SIDING
COLOR: EVENING BLUE
- H - WINDOW**
 - H2 PVC WINDOW
COLOR: WHITE
- I - DOOR**
 - I1 GARAGE DOOR
COLOR: WHITE
 - I2 BALCONY DOOR (SLIDING)
GLASSED
 - I3 ENTRY DOOR
GLASSED

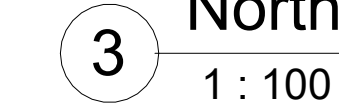
J2 PRE-FINISH ALUMINIUM WITH GLASS
COLOR: BLACK

K1 OUTDOOR WALL SCONE
COLOR: BLACK

L1 BUILDING NUMBER

phase / dateSheet Number

DP.BO.04

[illegible]

Project Title

Multi-Family

Project Municipal Address

100 Sage Hill Rise, N.W.
Calgary, AB

Project Legal Address

PLAN 121 0697

C+A file No.

0024.MC.1257

base

DEVELOPMENT PERMIT

ate

September 10/ 2026

cale

Crafted By

B.

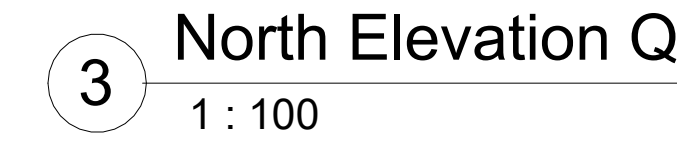
Checked By

Sheet Title

ELEVATIONS

Sheet Number

DP.BP.05



L1 BUILDING NUMBER

DP.BR.04



DP.BS.04