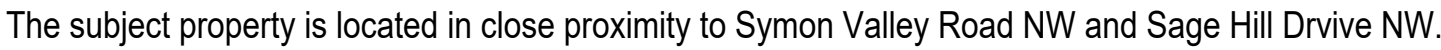
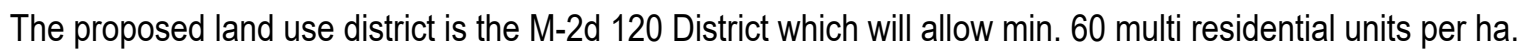




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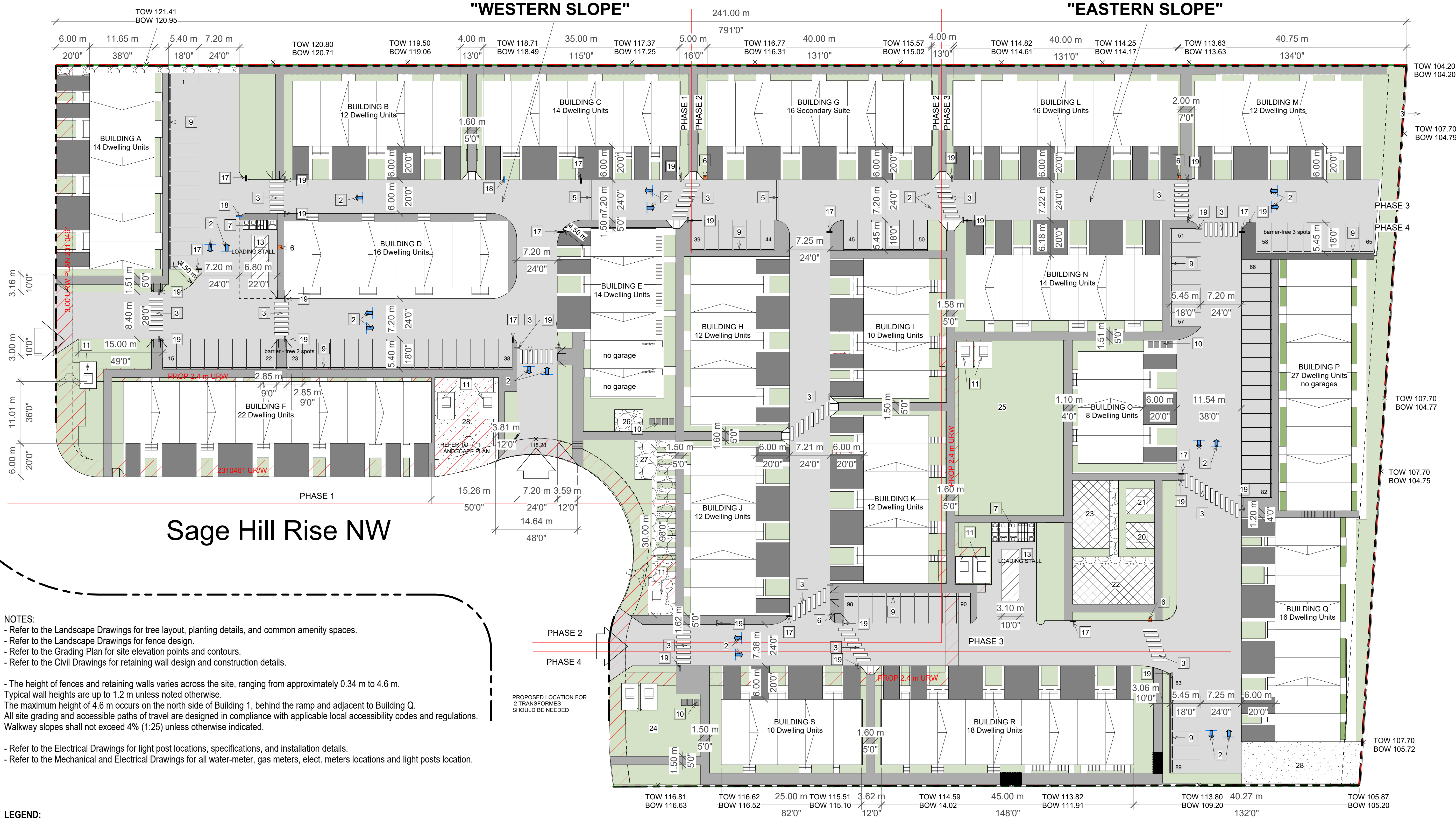
DP.02



DP.03

Sage Hill ST NW

Sage Hill Rise NW



- NOTES:
- Refer to the Landscape Drawings for tree layout, planting details, and common amenity spaces.
 - Refer to the Landscape Drawings for fence design.
 - Refer to the Grading Plan for site elevation points and contours.
 - Refer to the Civil Drawings for retaining wall design and construction details.
- The height of fences and retaining walls varies across the site, ranging from approximately 0.34 m to 4.6 m. Typical wall heights are up to 1.2 m unless noted otherwise. The maximum height of 4.6 m occurs on the north side of Building 1, behind the ramp and adjacent to Building Q. All site grading and accessible paths of travel are designed in compliance with applicable local accessibility codes and regulations. Walkway slopes shall not exceed 4% (1:25) unless otherwise indicated.
- Refer to the Electrical Drawings for light post locations, specifications, and installation details.
- Refer to the Mechanical and Electrical Drawings for all water-meter, gas meters, elect. meters locations and light posts location.

LEGEND:

PROPERTY LINE	
FENCE	
PHASE LINE	
URW	
LANDSCAPING	
SIDEWALK	
RUNDLE ROCK	
KIDS PLAY AREA	
GARDING AREA	

1	LIGHT POST	8	ACCESSIBILITY SYMBOL
2	DIRECTION SYMBOL	9	WHEEL STOP
3	CROSSWALK	10	MAIL BOX
4	CURB	11	TRANSFORMER
5	SPEED BUMB	12	DRAIN
6	FIRE HYDRANT	18	ONE-WAY SIGN
7	MOLOK	13	LOADING BAY

14	GAS METERS	22	PLAY AREA
15	ELEC. METERS	23	BASKETBALL COURT
16	WATER METER	24	DOG RUN
17	STOP SIGN	25	MULTIPURPOSE OPEN GREENSPACE
19	CROSS SIGN	26	TABLE TENNIS COURT
20	PICNIC AREA WITH TABLE AND TRELLIS ABOVE	27	SEATING NODE WITH TRELLIS ABOVE
21	FIRE PIT AREA WITH TRELLIS ABOVE	28	POLLINATOR GARDEN

22	PLAY AREA
23	BASKETBALL COURT
24	DOG RUN
25	MULTIPURPOSE OPEN GREENSPACE
26	TABLE TENNIS COURT
27	SEATING NODE WITH TRELLIS ABOVE
28	POLLINATOR GARDEN

SITE PLAN
1:350

professional seal
prime consultant



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client

consultants

phase / date

NOTE:

Issue Date	Issue Description
July 4th 2024	DEVELOPMENT PERMIT
October 8th 2024	DM1 Response
February 19th / 2025	DM2 Response

Project Title
Sage Hill
Multi-Family

Project Municipal Address
200 Sage Hill Rise, N.W.
Calgary, AB

Project Legal Address
LOT 2 BLOCK 21
PLAN 121 0697

MC+A file No.
2024.MC.1257

Phase
DESIGN DEVELOPMENT

Date
28 April 2026

Scale

Drafted By
I.B.

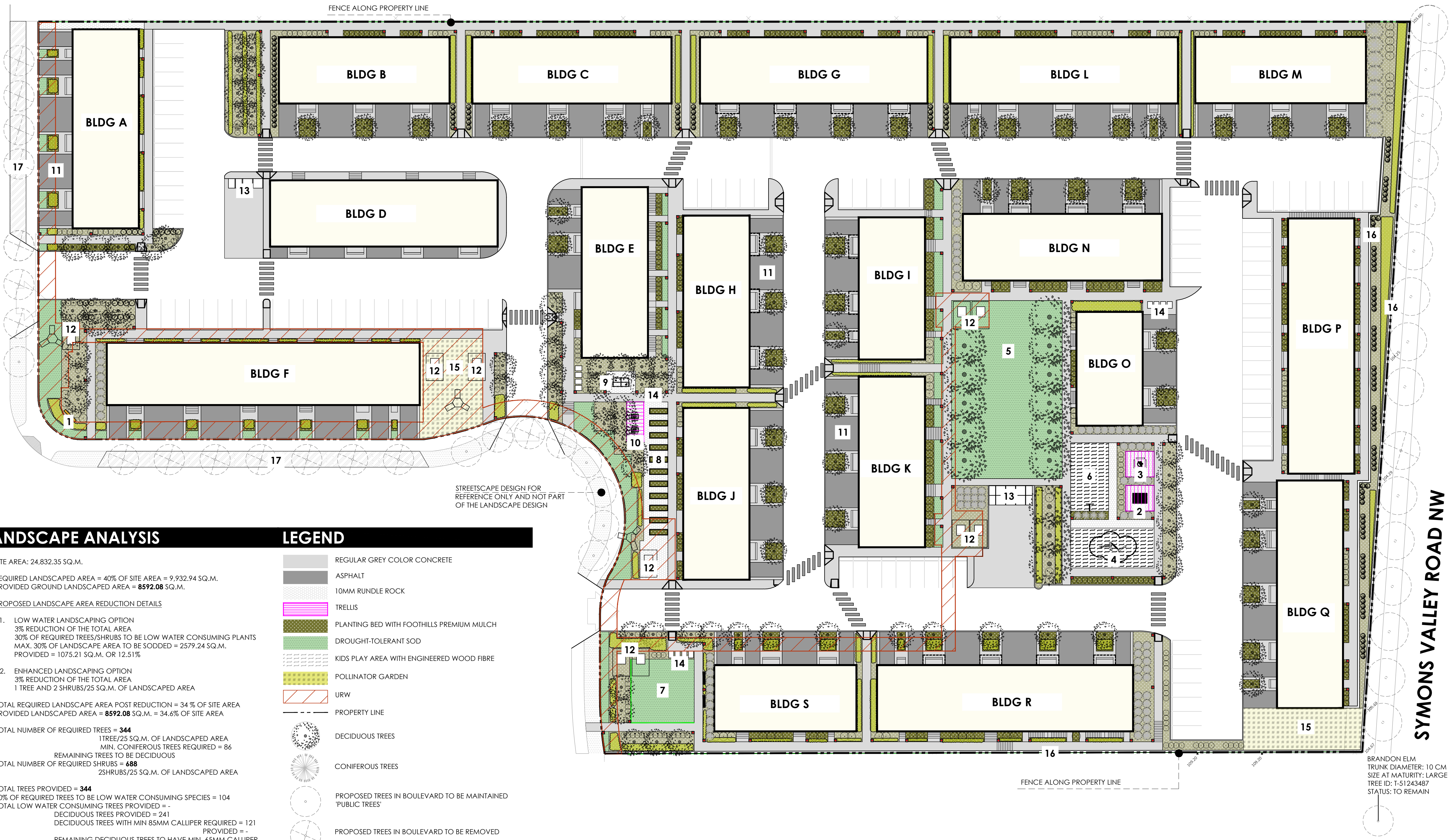
Checked By
M.C.

Sheet Title
SITE PLAN TWH

Sheet Number

DP.04

SAGE HILL ST



LANDSCAPE ANALYSIS

SITE AREA: 24,832.35 SQ.M.

REQUIRED LANDSCAPED AREA = 40% OF SITE AREA = 9,932.94 SQ.M.
PROVIDED GROUND LANDSCAPED AREA = **8592.08** SQ.M.

PROPOSED LANDSCAPE AREA REDUCTION DETAILS

1. LOW WATER LANDSCAPING OPTION
3% REDUCTION OF THE TOTAL AREA
30% OF REQUIRED TREES/SHRUBS TO BE LOW WATER CONSUMING PLANTS
MAX. 30% OF LANDSCAPE AREA TO BE SODDED = 2579.24 SQ.M.
PROVIDED = 1075.21 SQ.M. OR 12.51%

2. ENHANCED LANDSCAPING OPTION
3% REDUCTION OF THE TOTAL AREA
1 TREE AND 2 SHRUBS/25 SQ.M. OF LANDSCAPED AREA

TOTAL REQUIRED LANDSCAPE AREA POST REDUCTION = 34 % OF SITE AREA
PROVIDED LANDSCAPED AREA = **8592.08** SQ.M. = 34.6% OF SITE AREA

TOTAL NUMBER OF REQUIRED TREES = **344**
1 TREE/25 SQ.M. OF LANDSCAPED AREA
MIN. CONIFEROUS TREES REQUIRED = 86
REMAINING TREES TO BE DECIDUOUS

TOTAL NUMBER OF REQUIRED SHRUBS = **688**
2 SHRUBS/25 SQ.M. OF LANDSCAPED AREA

TOTAL TREES PROVIDED = **344**
30% OF REQUIRED TREES TO BE LOW WATER CONSUMING SPECIES = 104
TOTAL LOW WATER CONSUMING TREES PROVIDED = -
DECIDUOUS TREES PROVIDED = 241
DECIDUOUS TREES WITH MIN 85MM CALLIPER REQUIRED = 121
PROVIDED = -
REMAINING DECIDUOUS TREES TO HAVE MIN. 65MM CALLIPER

CONIFEROUS TREES PROVIDED = 103
CONIFEROUS TREES WITH MIN 4000MM HEIGHT REQUIRED = 52
PROVIDED = -
REMAINING CONIFEROUS TREES TO HAVE MIN. 3000MM HEIGHT

30% OF REQUIRED SHRUBS TO BE LOW WATER CONSUMING SPECIES = 262.8-263
TOTAL LOW WATER CONSUMING SHRUBS PROVIDED = -
TOTAL SHRUBS PROVIDED = **876**

LEGEND

- REGULAR GREY COLOR CONCRETE
- ASPHALT
- 10MM RUNDLE ROCK
- TRELLIS
- PLANTING BED WITH FOOTHILLS PREMIUM MULCH
- DROUGHT-TOLERANT SOD
- KIDS PLAY AREA WITH ENGINEERED WOOD FIBRE
- POLLINATOR GARDEN
- URW
- PROPERTY LINE
- DECIDUOUS TREES
- CONIFEROUS TREES
- PROPOSED TREES IN BOULEVARD TO BE MAINTAINED 'PUBLIC TREES'
- PROPOSED TREES IN BOULEVARD TO BE REMOVED
- DECIDUOUS SHRUBS
- CONIFEROUS SHRUBS
- PERENNIALS
- PICNIC TABLE
- LIGHT BOLLARDS
- BENCH
- 1200MM HT. WOOD SCREEN FENCE

DESIGN ELEMENTS

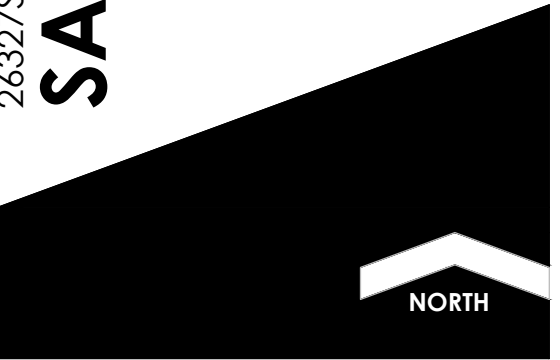
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- 2. PICNIC AREA WITH TABLE AND TRELLIS ABOVE
- 3. FIRE PIT AREA WITH TRELLIS ABOVE
- 4. PLAY AREA
- 5. MULTIPURPOSE OPEN GREENSPACE
- 6. BASKETBALL COURT
- 7. DOG RUN
- 8. COMMUNITY GARDEN
- 9. TABLE TENNIS COURT
- 10. SEATING NODE WITH TRELLIS ABOVE
- 11. PRIVATE DRIVEWAY TYP.
- 12. TRANSFORMERS
- 13. MOLOK BINS
- 14. MAILBOXES
- 15. POLLINATOR GARDEN
- 16. RETAINING WALL ALONG PROPERTY LINE (WALL HEIGHT VARIES)
- 17. NEW CONCRETE IN BOULEVARD

GENERAL NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
- ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND LOW WATER IRRIGATION SYSTEM, WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS ONLY.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.

SAGE HILL RISE

26327SAHR



SEAL

SYMONS VALLEY ROAD NW

BRANDON ELM
TRUNK DIAMETER: 10 CM
SIZE AT MATURITY: LARGE
TREE ID: T-51243487
STATUS: TO REMAIN

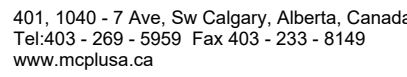
ISSUED FOR COORDINATION DATE 260424

SCALE 1:350
DATE 260424
DRAWN BY JC
CHECKED BY YN

DP
L-1

LAYOUT PLAN

NOT FOR CONSTRUCTION



client

consultants

phase / date

NOTE:

[illegible]

Project Title

Sage Hill Multi-Family

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LOT 2 BLOCK 21
PLAN 121 0697

MC+A file No

2024.MC.1257

Phase

DESIGN DEVELOPMENT

Date _____

28 April 2026

Scale

Drafted By

I.B.

Checked By:

M C

Cheat Time

Sheet Title
ELEVA

ELEVEN

Sheet Number

22

DP

D.



West Elevation A

1 : 100



North Elevation A

1 : 100



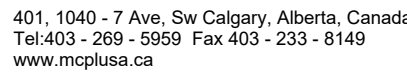
East Elevation A

1 : 100



South Elevation A

1 : 100



client

consultants

phase / date

NOTE:

[illegible]

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2024.MC.1257

Phase

DESIGN DEVELOPMENT

Date _____

28 April 2026

Scale

Drafted By

Checked By:

M.C.

Sheet Title

ELEVATIONS

Sheet Number

DP.BB.04



South Elevation B

1 : 100



East Elevation B

1 : 100



North Elevation B

1 : 100



West Elevation B

1 : 100



L1 BUILDING NUMBER

NOTE:

Issue Date	Issue Description
July 4th / 2024	DEVELOPMENT PERMIT
October 8 th / 2024	DR#1 Response
February 19th / 2025	DR#2 Response

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2024.MC.1257

Phase

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28 April 2026

Scale

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I.B.

Checked By _____

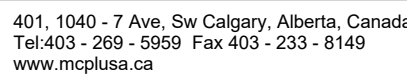
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Sheet Title

ELEVATIONS

Sheet Number

DP.BD.04



client

consultants

phase / date

NOTE:

Issue Date	Issue Description
July 4th / 2024	DEVELOPMENT PERMIT
October 6 th / 2024	DRAFT Response
February 19th / 2025	DRAFT Response

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PLAN 121 0697

MC+A file No

2024.MC.1257

Phase

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28 April 2026

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Sheet Title

ELEVATIONS

Sheet Number

DP.BE.04



West Elevation E

1 : 100



South Elevation E

1 : 100



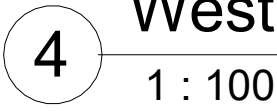
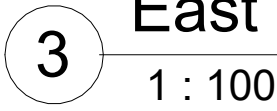
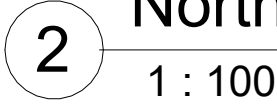
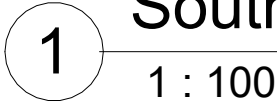
East Elevation E

1 : 100



North Elevation E

1 : 100



EXTERIOR FINISH LEGEND:

A - PANEL

A1 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: ARTIC WHITE

C - TRIM

C1 FIBRE CEMENT SIDING (SMOOTH FINISH)
COLOR: EVENING BLUE

E - METAL

E1 PRE-FINISH METAL SIDING
COLOR: EVENING BLUE

H - WINDOW

H2 PVC WINDOW
COLOR: WHITE

I - DOOR

I1 GARAGE DOOR
COLOR: WHITE

I2 BALCONY DOOR (SLIDING)
GLASSED

I3 ENTRY DOOR
GLASSED

J - GUARDRAIL / RAILING

J2 PRE-FINISH ALUMINIUM WITH GLASS
COLOR: BLACK

K - LIGHT

K1 OUTDOOR WALL SCONCE
COLOR: BLACK

L - SIGNAGE

L1 BUILDING NUMBER

base / date

July 4th 2024	DEVELOPMENT PERMIT
October 8 th / 2024	DR#1 Response
February 19th / 2025	DR#2 Response

Sheet Number

DP.BF.04

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client

consultants

phase / date

NOTE:

Issue Description	DEVELOPMENT PERMIT	DM1 Response	DM2 Response
Issue Date	July 4th / 2024	October 8 th / 2024	February 19th / 2025

Project Title
**Sage Hill
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**200 Sage Hill Rise, N.W.
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**LOT 2 BLOCK 21
PLAN 121 0697**

MC+A file No.
2024.MC.1257

Phase
DESIGN DEVELOPMENT

Date
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Scale

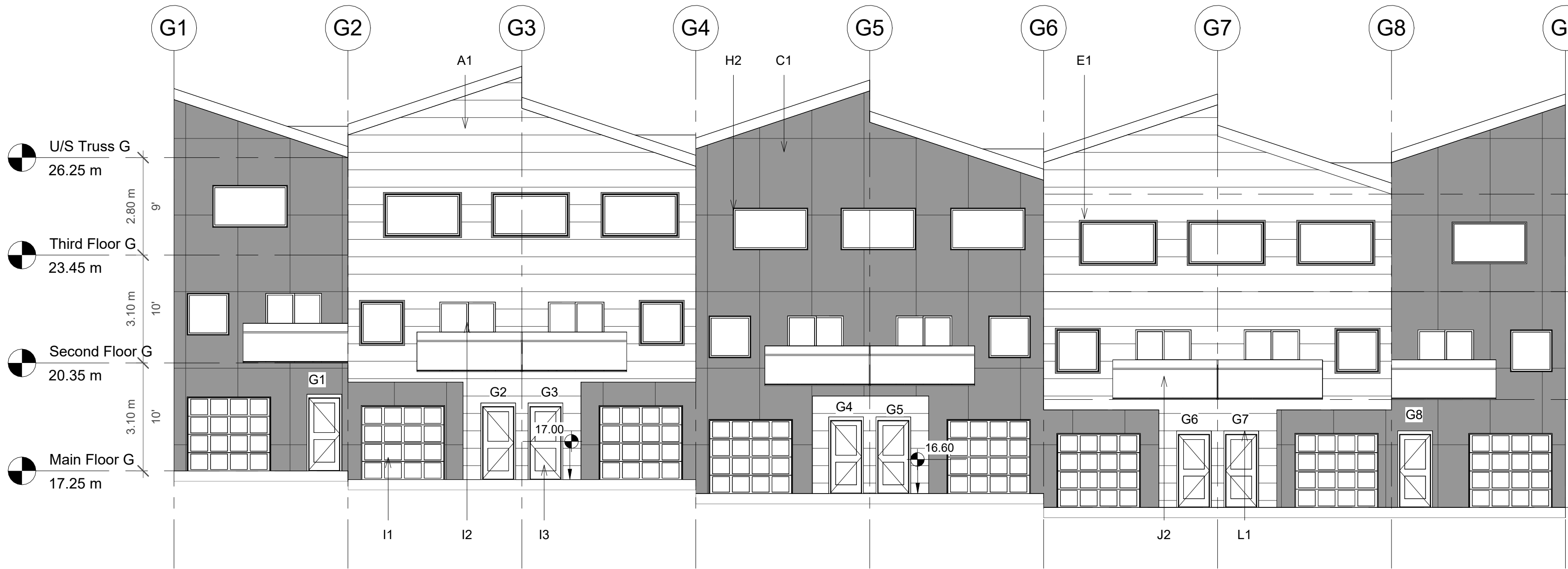
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I.B.

Checked By
M.C.

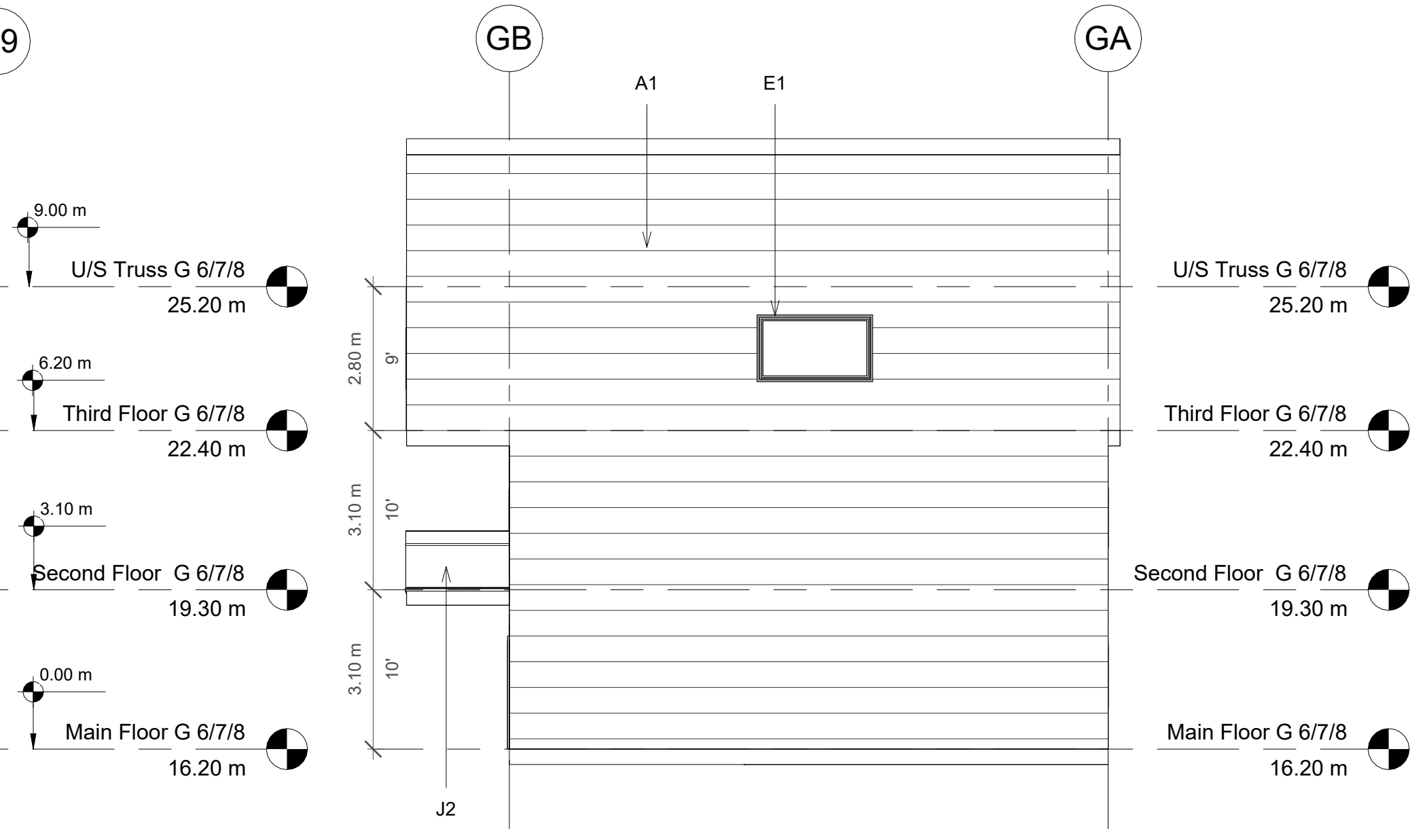
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ELEVATIONS

Sheet Number

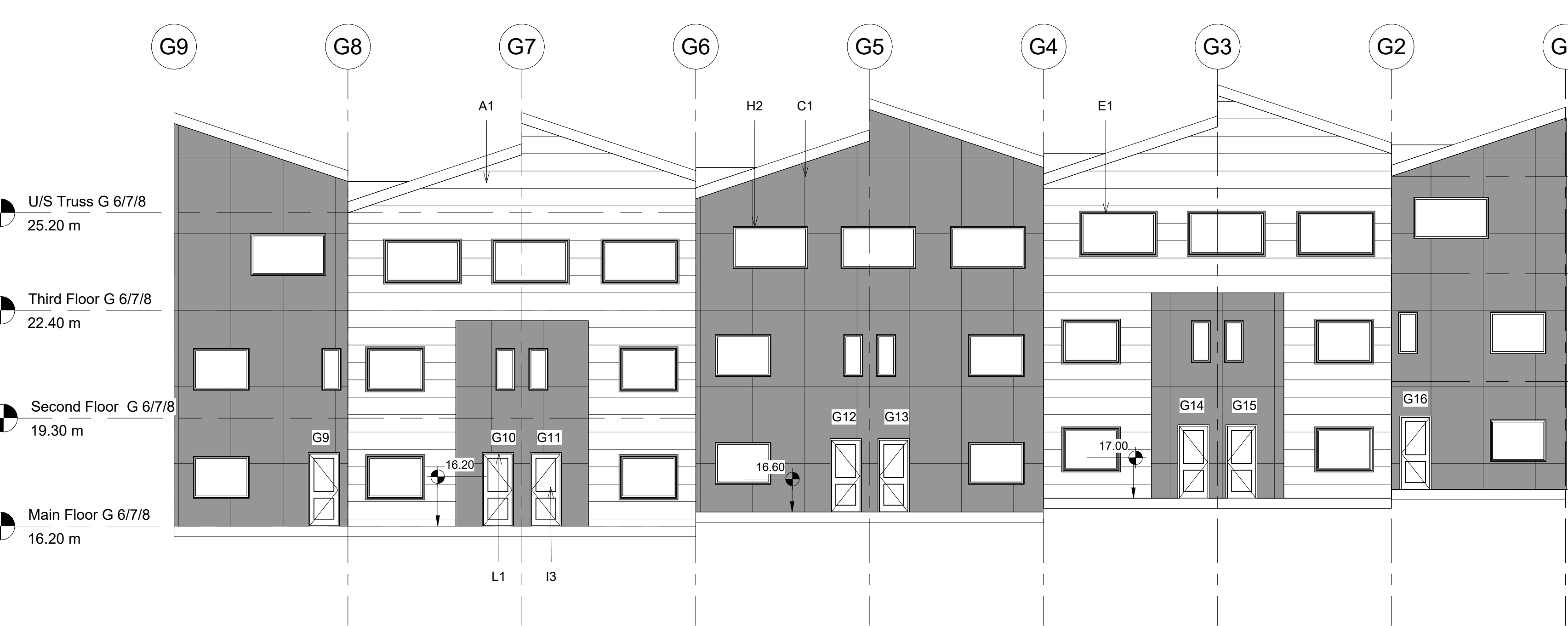
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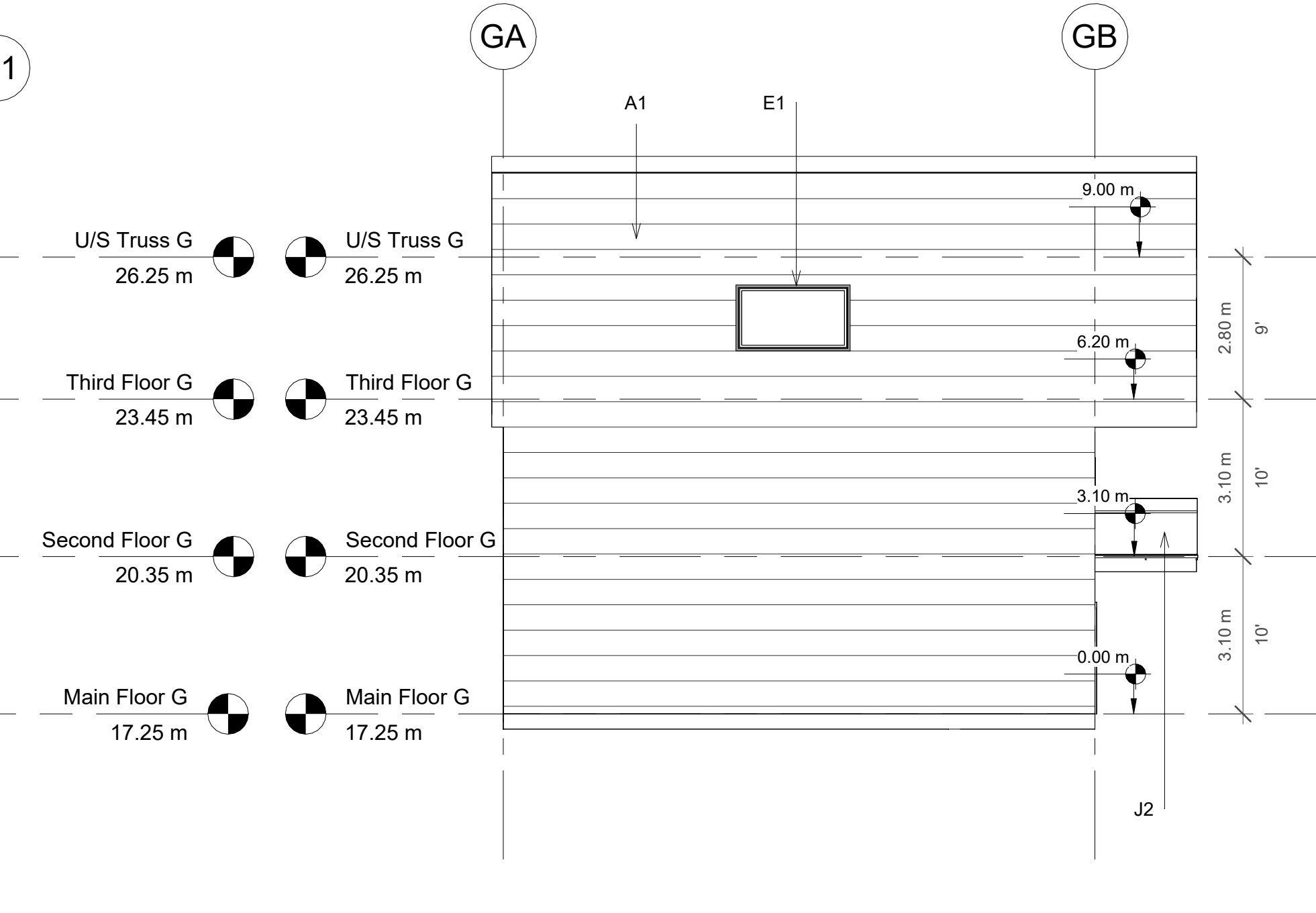
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1 : 100



3 East Elevation G
1 : 100



2 North Elevation G
1 : 100



4 West Elevation G
1 : 100

EXTERIOR FINISH LEGEND:

A - PANEL

A1 FIBRE CEMENT PANEL (SMOOTH FINISH)
COLOR: ARTIC WHITE

C - TRIM

C1 FIBRE CEMENT SIDING (SMOOTH FINISH)
COLOR: EVENING BLUE

E - METAL

E1 PRE-FINISH METAL SIDING
COLOR: EVENING BLUE

H - WINDOW

H2 PVC WINDOW
COLOR: WHITE

I - DOOR

I1 GARAGE DOOR
COLOR: WHITE
I2 BALCONY DOOR (SLIDING)
GLASSED
I3 ENTRY DOOR
GLASSED

J - GUARDRAIL / RAILING

J2 PRE-FINISH ALUMINIUM WITH GLASS
COLOR: BLACK

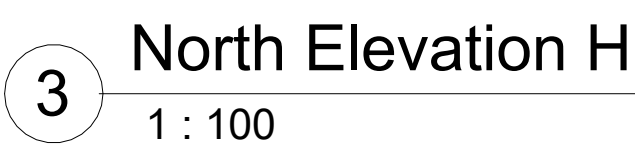
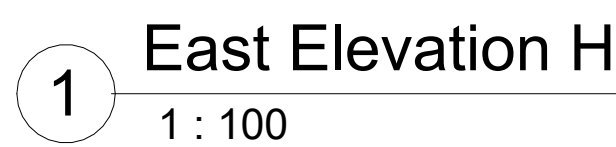
K - LIGHT

K1 OUTDOOR WALL SCONE
COLOR: BLACK

L - SIGNAGE

L1 BUILDING NUMBER

4/28/2026 9:47:07 AM



L1 BUILDING NUMBER

phase / date

Issue Date	Issue Description
July 4th / 2024	DEVELOPMENT PERMIT
October 6 th / 2024	Draft Response
February 19th / 2025	Draft Response

Project Title

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LOT 2 BLOCK 21
PLAN 121 0697

MC+A file No

2024.MC.1257

Phase

DESIGN DEVELOPMENT

Date _____

28 April 2026

Scale

Drafted By

Checked By:

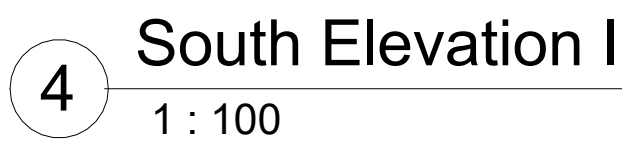
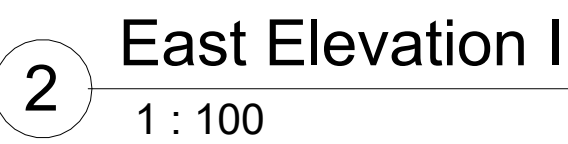
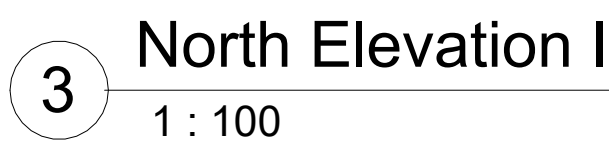
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Sheet Title

ELEVATIONS

Sheet Number

DP.BH.04



L1 BUILDING NUMBER

phase / date[illegible]

Project Title

Sage Hill Multi-Family

Project Municipal Address

200 Sage Hill Rise, N.W.
Calgary, AB

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LOT 2 BLOCK 21
PLAN 121 0697

MC+A file No

2024.MC.1257

Phase

DESIGN DEVELOPMENT

Date _____

28 April 2026

Scale

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I.B.

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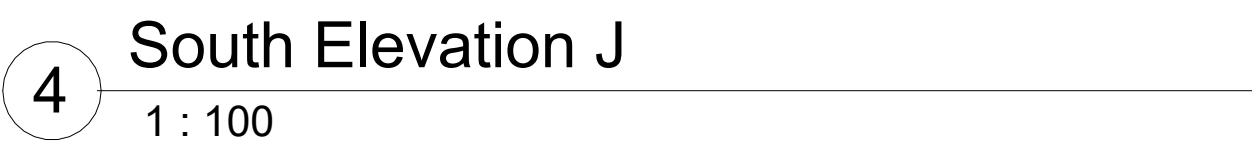
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Sheet Title

ELEVATIONS

Sheet Number

DP.BI.04



L1 BUILDING NUMBER

NOTE:

[illegible]

Sage Hill Multi-Family

200 Sage Hill Rise, N.W.
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2024.MC.1257

DESIGN DEVELOPMENT

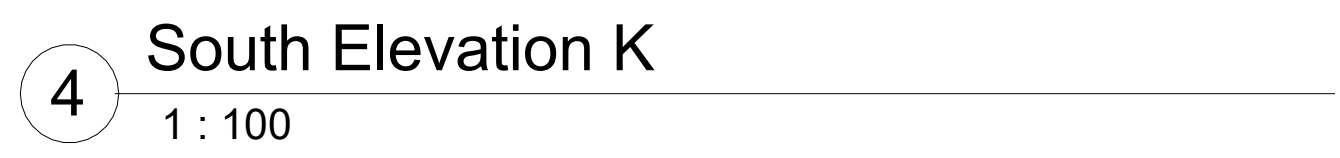
28 April 2026

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M.C

ELEVATIONS

DP.BJ.04



L1 BUILDING NUMBER

phase / date

Issue Date	Issue Description
July 4th 2024	DEVELOPMENT PERMIT
October 8 th /2024	DR#1 Response
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Phase

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28 April 2026

Scale

Drafted By

I.B.

Checked By

M C

Sheet Title

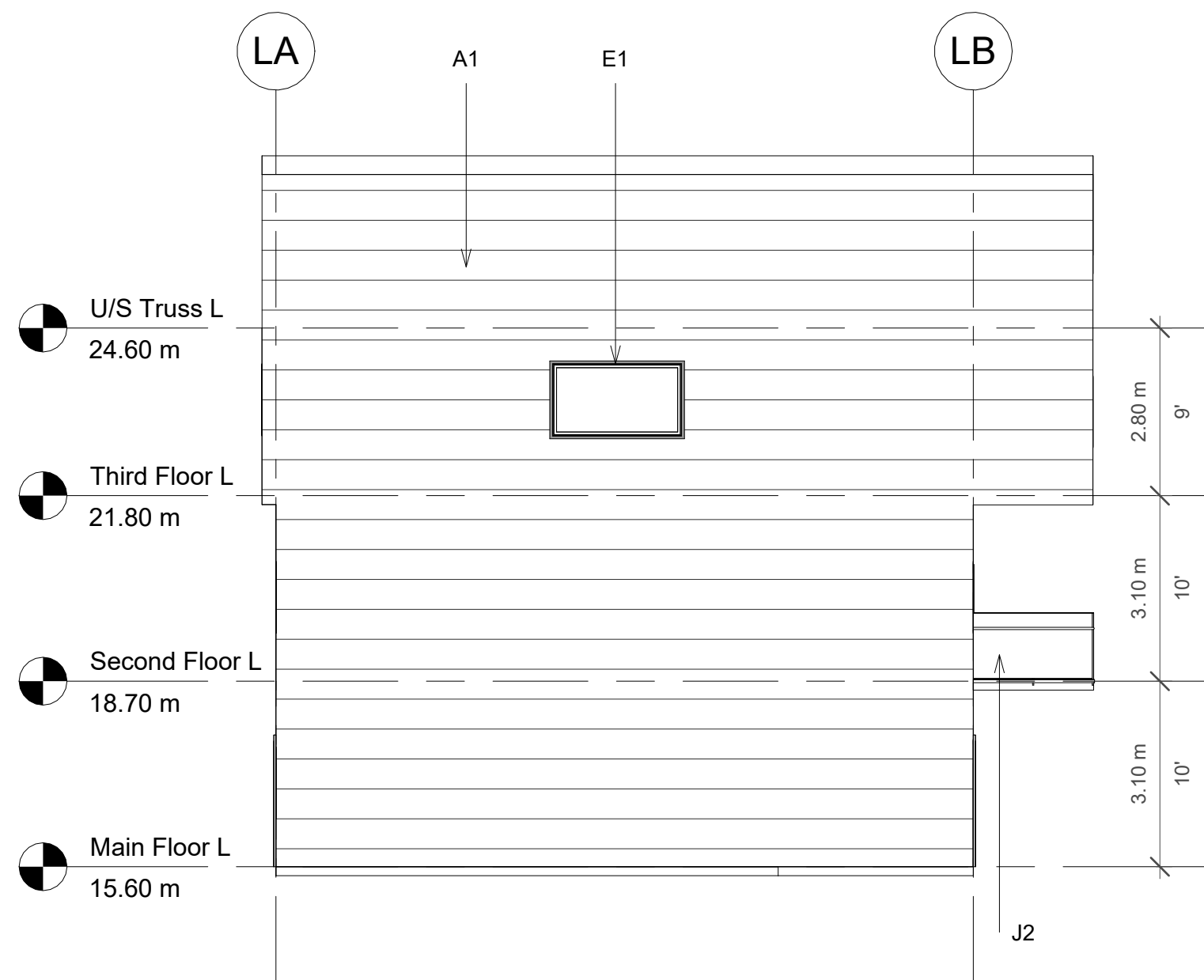
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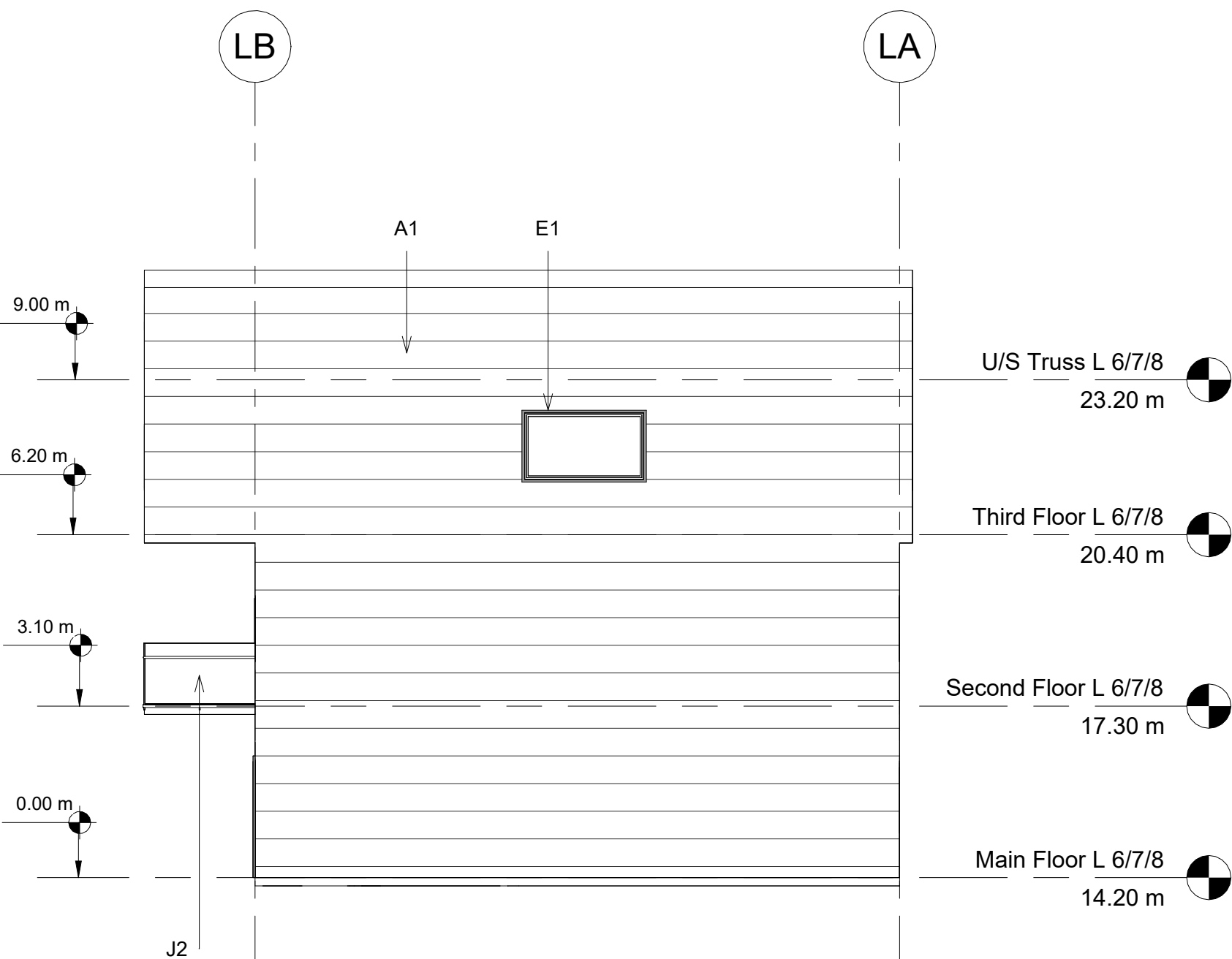
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A - PANEL

- L - SIGNAGE**
L1 BUILDING NUMBER



3 North Elevation L
1 : 100



4 South Elevation L
1 : 100

phase / date

Issue Date	Issue Description
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2024.MC.1257

Phase

DESIGN DEVELOPMENT

Date _____

28 April 2026

Scale

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I.B.

Checked By:

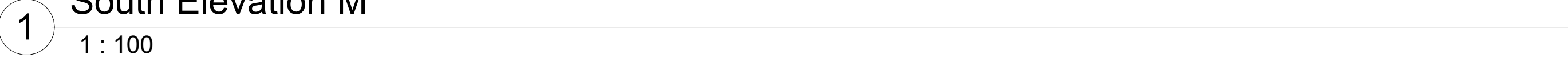
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Sheet Title

ELEVATIONS

Sheet Number

DP.BL.04

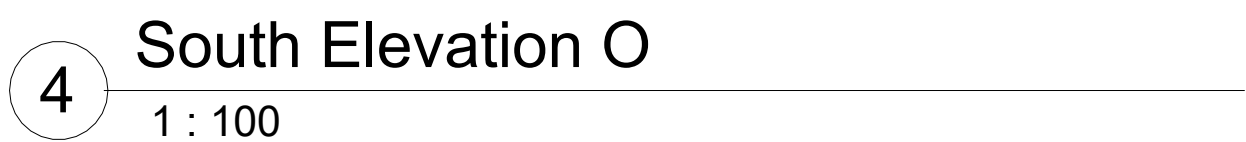
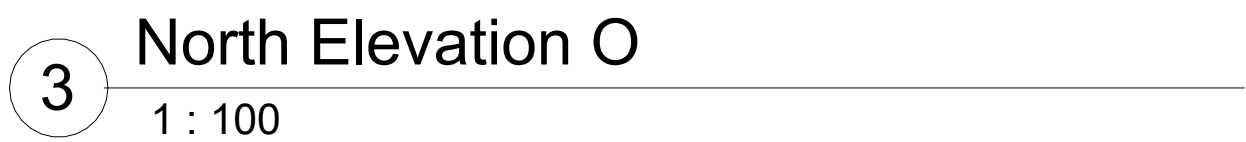


SIGNAGE
L1 BUILDING NUMBER

NOTE:

Issue Date	Issue Description
July 4th /2024	DEVELOPMENT PERMIT
October 8 th /2024	DR#1 Response
February 19th / 2025	DR#2 Response

DP.BM.04



L1 BUILDING NUMBER

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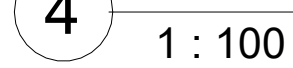
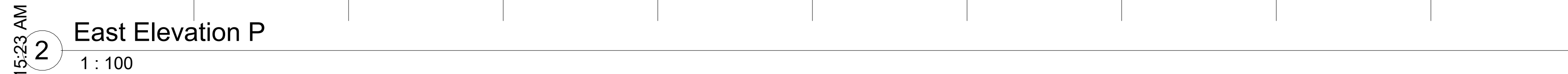
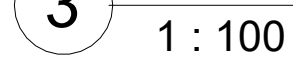
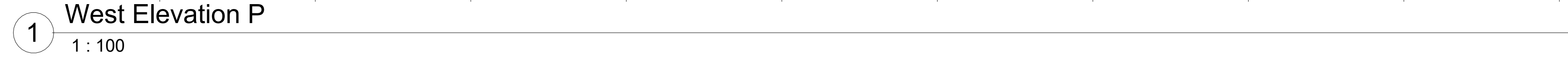
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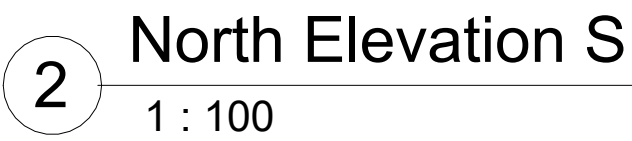
Sheet Title

Sheet Number

DP.BO.04



DP.BR.04



L1 BUILDING NUMBER

NOTE:

Issue Date	Issue Description
July 4th /2024	DEVELOPMENT PERMIT
October 8 th /2024	DR#1 Response
February 19th / 2025	DR#2 Response

DP.BS.04