

DEVELOPMENT PERMIT
DRAWING INDEX

SHEET NO.	SHEET NAME
A.0	COVER PAGE
A.1	SITE PLAN & TREE PROTECTION PLAN
A.2	BLOCK PLAN & STREETScape
A.3	LOWER FLOOR PLAN
A.4	MAIN FLOOR PLAN
A.6	FRONT & RIGHT ELEVATION
A.7	REAR & LEFT ELEVATION
A.8	DRIVEWAY SECTION



6836 LD

REVISIONS

NO.	DATE	DESCRIPTION
DP-1	2026-06-18	TREE SPECIES UPDATE
DP-2	2026-06-18	SERVICE CONNECTIONS
DP-3	2026-06-18	SERVICES LOCATED 6M AWAY FROM EDGE OF PUBLIC TREES
DP-4	2026-06-18	RELOCATED STOCKPILING AND MATERIAL STORAGE
DP-5	2026-06-18	NO SIDEWALK REPLACEMENT WITHIN 3M OF TREES

GENERAL NOTES AND LIMITATIONS OF LIABILITY

STANDARD OF CARE PROFESSIONAL SERVICES HAVE BEEN PROVIDED CONSISTENT WITH THE STANDARD OF CARE ORDINARILY EXERCISED BY DESIGN PROFESSIONALS PRACTICING IN THE SAME LOCALITY UNDER SIMILAR CIRCUMSTANCES. NO OTHER WARRANTY OR GUARANTEE, EXPRESS OR IMPLIED, IS PROVIDED. DESIGN INTENT DOES NOT CONSTITUTE A GUARANTEE OF PERFORMANCE OUTCOMES INCLUDING BUT NOT LIMITED TO ENERGY EFFICIENCY, THERMAL COMFORT, ACOUSTIC PERFORMANCE, OR AESTHETIC UNIFORMITY. CONSTRUCTION MEANS, METHODS, AND COORDINATION THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, PROCEDURES, TEMPORARY WORKS, OR SAFETY PRECAUTIONS, NOR FOR THE BUILDER/CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. TEMPORARY WORKS INCLUDING TEMPORARY BRACING, SHORING, EXCAVATION SUPPORT, HOARDING, SCAFFOLDING, WEATHER PROTECTION, AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE BUILDER/CONTRACTOR. THE BUILDER/CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN TRADES AND FOR RESOLVING CONFLICTS ARISING FROM CONSTRUCTION SEQUENCING, INSTALLATION TOLERANCES, OR TRADE COORDINATION. THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR CONSTRUCTION SCHEDULES, SEQUENCING, PROCUREMENT, COST ESTIMATING, COST CONTROL, OR DELAYS. RESPONSIBILITY FOR CODE COMPLIANCE THE CLIENT IS RESPONSIBLE FOR RETAINING QUALIFIED BUILDERS, CONTRACTORS, AND TRADES WHO ARE KNOWLEDGEABLE OF AND COMPLY WITH ALL APPLICABLE NATIONAL, PROVINCIAL, AND LOCAL CODES, STANDARDS, ZONING REQUIREMENTS, LEGISLATION, AND REGULATIONS. BUILDERS/CONTRACTORS AND TRADES ARE RESPONSIBLE FOR ENSURING THAT ALL WORK COMPLIES WITH CURRENT CODES, INDUSTRY STANDARDS, MANUFACTURERS' REQUIREMENTS, AND REGULATORY AUTHORITIES HAVING JURISDICTION, AND FOR COORDINATING SUCH WORK WITH ALL APPLICABLE CONSULTANT AND ENGINEERING DOCUMENTS. INTERPRETATION AND ACCEPTANCE OF CODES AND REGULATIONS BY AUTHORITIES HAVING JURISDICTION THAT VARY AND ARE BEYOND THE CONTROL OF THE DESIGN PROFESSIONAL. THE BUILDER/CONTRACTOR IS RESPONSIBLE FOR ARRANGING AND ENSURING THAT ALL REQUIRED INSPECTIONS ARE SCHEDULED AND COMPLETED TO GOOD STANDING IN ACCORDANCE WITH LOCAL REGULATIONS. THE BUILDER/CONTRACTOR IS RESPONSIBLE FOR ARRANGING AND COORDINATING ALL REQUIRED TESTING, FIELD REVIEWS BY ENGINEERS OF RECORD, THIRD PARTY INSPECTIONS, AND MUNICIPAL INSPECTIONS AND FOR PROVIDING ALL RESULTING REPORTS AND CERTIFICATES TO THE CLIENT AND DESIGN PROFESSIONAL UPON REQUEST. SITE VISITS AND FIELD REVIEWS SITE VISITS OR FIELD REVIEWS ARE CONDUCTED FOR THE PURPOSE OF OBSERVING THE GENERAL PROGRESS OF THE WORK AND DO NOT CONSTITUTE SUPERVISION, INSPECTION, OR QUALITY CONTROL. THE DESIGN PROFESSIONAL DOES NOT ASSUME RESPONSIBILITY FOR CONSTRUCTION COMPLIANCE, WORKMANSHIP, OR SAFETY. DRAWINGS, DIMENSIONS, AND EXISTING CONDITIONS DRAWINGS ARE NOT TO BE SCALED. WRITTEN AND APPROVED SPECIFICATIONS GOVERN IN THE EVENT OF DISCREPANCIES. BUILDER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS RESULTING FROM FAILURE TO VERIFY SUCH CONDITIONS. WHERE SITE MEASUREMENTS, SURVEYS, OR EXISTING CONDITION INFORMATION ARE PREPARED BY THIRD PARTIES, THE DESIGN PROFESSIONAL IS ENTITLED TO RELY ON THE ACCURACY AND COMPLETENESS OF SUCH INFORMATION AND IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS, OR DISCREPANCIES ARISING FROM INFORMATION PREPARED BY OTHERS.	DRAWINGS, DIMENSIONS, AND EXISTING CONDITIONS CONT. IN RENOVATION AND ALTERATION PROJECTS, DRAWINGS ARE BASED ON VISIBLE AND REASONABLY ACCESSIBLE CONDITIONS ONLY. THE DESIGN PROFESSIONAL HAS NO RESPONSIBILITY FOR CONCEALED, UNDOCUMENTED, OR INACCESSIBLE CONDITIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL ELEMENTS, SERVICES, FRAMING, INSULATION, VAPOUR BARRIERS, FIRE SEPARATIONS, HAZARDOUS MATERIALS, OR UNDERGROUND UTILITIES. THE DESIGN PROFESSIONAL DOES NOT WARRANT THAT EXISTING BUILDINGS OR STRUCTURES COMPLY WITH CURRENT CODES, STANDARDS, OR REGULATIONS. CONTRACT DOCUMENTS ASSUME EXISTING STRUCTURES AND SYSTEMS ARE SUBSTANTIALLY IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS IN EFFECT AT THE TIME OF ORIGINAL CONSTRUCTION UNLESS NOTED OTHERWISE. EXISTING DEFICIENCIES OR CONCEALED DETERIORATION ARE NOT THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL AND WILL BE ADDRESSED IF AND WHEN DISCOVERED BY WRITTEN DIRECTION AND APPROVED CHANGE. MANUFACTURER SYSTEMS, SHOP DRAWINGS, AND PROPRIETARY PRODUCTS WHERE PROPRIETARY SYSTEMS OR ASSEMBLIES ARE SPECIFIED, THE DESIGN PROFESSIONAL RELIES ON MANUFACTURER PUBLISHED INFORMATION AND DOES NOT WARRANT THE PERFORMANCE, SUITABILITY, OR INSTALLATION OF SUCH SYSTEMS. SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES ARE PREPARED BY OTHERS AND ARE REVIEWED BY THE DESIGN PROFESSIONAL SOLELY FOR GENERAL CONFORMANCE WITH THE DESIGN INTENT. SUCH REVIEW DOES NOT TRANSFER RESPONSIBILITY FOR ACCURACY, COMPLETENESS, COORDINATION, PERFORMANCE, OR COMPLIANCE WITH CODES, STANDARDS, OR MANUFACTURER REQUIREMENTS. WINDOWS, GLAZING, AND SPECIALTY TRADE COORDINATION IN ACCORDANCE WITH RAIC AND CONSTRUCTION SPECIFICATIONS CANADA STANDARD PRACTICE, ARCHITECTURAL DRAWINGS ESTABLISH DESIGN INTENT, VISUAL ALIGNMENT, AND GENERAL CONFIGURATION ONLY. FINAL UNIT SIZING, MULLION CONFIGURATION, TOLERANCES, ANCHORAGE, STRUCTURAL ADEQUACY, AND COORDINATION NECESSARY TO ACHIEVE THE DESIGN INTENT ARE THE RESPONSIBILITY OF THE WINDOW MANUFACTURER THROUGH THE PREPARATION OF SHOP DRAWINGS. THE WINDOW MANUFACTURER IS RESPONSIBLE FOR DETERMINING AND ADJUSTING ACTUAL UNIT SIZES, MULLION WIDTHS, AND VERTICAL AND HORIZONTAL OFFSETS, INCLUDING SUBFLOOR TO SUBFLOOR DIMENSIONS, TO ACHIEVE THE DESIGN INTENT AND TO COORDINATE WITH STRUCTURAL ENVELOPE, AND CONSTRUCTION CONDITIONS. SIMILAR RESPONSIBILITY APPLIES TO ALL SPECIALTY TRADES AND SUPPLIERS PROVIDING PROPRIETARY OR PREFABRICATED SYSTEMS, INCLUDING BUT NOT LIMITED TO GLAZING, CLADDING, RAILINGS, STAIRS, AND MILLWORK. CONSULTANTS AND ENGINEERING STRUCTURAL SYSTEMS, BEAMS, COLUMNS, FOOTINGS, AND ENGINEERED COMPONENTS SHOWN ARE INDICATIVE ONLY. FINAL DESIGN, CERTIFICATION, AND FIELD REVIEW ARE THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER OF RECORD AND APPLICABLE MANUFACTURERS' ENGINEERS. SHOP DRAWINGS AND DELEGATED DESIGN SUBMISSIONS INCLUDING BUT NOT LIMITED TO TRUSSES, ENGINEERED WOOD PRODUCTS, GUARDRAILS, STAIRS, GLAZING SYSTEMS, AND SPECIALTY FABRICATIONS SHALL BE PREPARED AND SEALED WHERE REQUIRED BY THE APPROPRIATE LICENSED PROFESSIONAL RETAINED BY THE BUILDER/CONTRACTOR OR SUPPLIER AND ARE THE RESPONSIBILITY OF THAT PARTY. VERIFICATION OF SOIL CONDITIONS, BEARING CAPACITY, CONCRETE STRENGTH, COMPACTION, AND OTHER FIELD CONDITIONS IS THE RESPONSIBILITY OF THE CONTRACTOR AND APPLICABLE ENGINEERS OF RECORD AND NOT THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL MAY RELY ON INFORMATION PROVIDED BY CONSULTANTS AND IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS IN INFORMATION PREPARED BY OTHERS. ENERGY CODE AND BUILDING ENVELOPE ENGINEERING THERMAL CALCULATIONS AND ENERGY PERFORMANCE INFORMATION SHOWN ARE INDICATIVE ONLY. FINAL DESIGN, TESTING, AND CERTIFICATION ARE THE RESPONSIBILITY OF THE BUILDING ENVELOPE ENGINEER OF RECORD. THE BUILDER/CONTRACTOR IS RESPONSIBLE FOR COORDINATING REQUIRED TESTING, AIR TIGHTNESS VERIFICATION, AND CERTIFICATIONS.	INTERIOR DESIGN AND THIRD-PARTY DRAWINGS INTERIOR DESIGN DRAWINGS, MILLWORK SHOP DRAWINGS, LIGHTING LAYOUTS, AND CONSULTANT DOCUMENTS PREPARED BY THIRD PARTIES ARE SEPARATE INSTRUMENTS OF SERVICE. SUCH DOCUMENTS DO NOT OVERRIDE THE ARCHITECTURAL DRAWINGS UNLESS SPECIFICALLY REVIEWED, COORDINATED, AND ISSUED IN WRITING BY MKL DESIGN STUDIO INC. THE DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR CONFLICTS, DISCREPANCIES, OR COORDINATION ISSUES ARISING FROM THIRD-PARTY INTERIOR DESIGN DRAWINGS OR DOCUMENTS THAT HAVE NOT BEEN FORMALLY INCORPORATED INTO THE CONTRACT DOCUMENTS. MECHANICAL, ELECTRICAL, AND PLUMBING LOCATIONS OF MECHANICAL, ELECTRICAL, AND PLUMBING SERVICES ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS. THE BUILDER/CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL INCOMING AND OUTGOING SERVICES UNLESS NOTED OTHERWISE. BUILDING ENVELOPE, MOISTURE, AND MOULD THE DESIGN PROFESSIONAL DOES NOT WARRANT OR GUARANTEE THE PERFORMANCE OF BUILDING ENVELOPE ASSEMBLIES. THE DESIGN PROFESSIONAL MAKES NO REPRESENTATIONS REGARDING THE PRESENCE, PREVENTION, TESTING, MONITORING, OR REMEDIATION OF MOULD, MILDEW, FUNGI, OR INDOOR AIR QUALITY CONDITIONS. ENVIRONMENTAL EVALUATION, TESTING, AND REMEDIATION SERVICES ARE OUTSIDE THE SCOPE OF WORK. REPORTING OF ERRORS AND CLARIFICATIONS ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS MUST BE REPORTED TO MKL DESIGN STUDIO INC. PRIOR TO CONSTRUCTION. FAILURE TO REPORT DISCREPANCIES PRIOR TO CONSTRUCTION TRANSFERS RESPONSIBILITY TO THE BUILDER/CONTRACTOR, AND/OR CLIENT. WHERE APPLICABLE, DISCREPANCIES SHALL ALSO BE REPORTED TO THE ENGINEER OF RECORD FOR CLARIFICATION. CHANGES AND DEVIATIONS ALL CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM THE CONTRACT DOCUMENTS MUST BE REVIEWED AND APPROVED IN WRITING BY MKL DESIGN STUDIO INC. UNAUTHORIZED CHANGES ARE MADE AT THE BUILDER/CONTRACTORS' AND/OR CLIENT'S SOLE RISK. ANY REVISIONS, SUBSTITUTIONS, OR INTERPRETATIONS MADE AFTER PERMIT ISSUANCE THAT ARE NOT DOCUMENTED AND ISSUED IN WRITING BY MKL DESIGN STUDIO INC. ARE NOT PART OF THE CONTRACT DOCUMENTS AND ARE UNDERTAKEN AT THE BUILDER/CONTRACTOR'S AND/OR CLIENT'S RISK. OWNER-PERFORMED WORK MKL DESIGN STUDIO INC. ASSUMES NO RESPONSIBILITY OR LIABILITY FOR WORK PERFORMED BY THE CLIENT. FIREPLACES, ELEVATORS, AND SPECIALTY INSTALLATIONS FIREPLACE LOCATIONS AND FRAMING SHOWN ARE FOR REFERENCE ONLY. BUILDERS/CONTRACTORS MUST VERIFY ALL CLEARANCES, FIRE PROTECTION, VENTING, COMBUSTION AIR, AND INSTALLATION REQUIREMENTS WITH THE SUPPLIER AND MANUFACTURER PRIOR TO CONSTRUCTION. WHERE ELEVATORS, LIFTS, OR VERTICAL TRANSPORTATION SYSTEMS ARE INCLUDED, EQUIPMENT SELECTION, DESIGN, SIZING, CLEARANCES, STRUCTURAL LOADS, INSTALLATION, CODE COMPLIANCE, INSPECTIONS, AND CERTIFICATION ARE THE RESPONSIBILITY OF THE ELEVATOR MANUFACTURER AND LICENSED INSTALLER. REVIEW BY THE DESIGN PROFESSIONAL IS LIMITED TO GENERAL CONFORMANCE WITH DESIGN INTENT AND DOES NOT TRANSFER RESPONSIBILITY FOR PERFORMANCE, SAFETY, OR REGULATORY APPROVAL. INTELLECTUAL PROPERTY AND LIMITED LICENSE ALL DRAWINGS, SPECIFICATIONS, AND DESIGN MATERIALS REMAIN THE INTELLECTUAL PROPERTY OF MKL DESIGN STUDIO INC. THE CLIENT IS GRANTED A LIMITED, NON-TRANSFERABLE LICENSE TO USE THE DOCUMENTS FOR CONSTRUCTION OF ONE DWELLING ONLY AT THE LOCATION IDENTIFIED ON THE DRAWINGS. REUSE, REPRODUCTION, MODIFICATION, OR USE ON ANOTHER PROJECT WITHOUT WRITTEN AUTHORIZATION IS PROHIBITED AND RELEASES MKL DESIGN STUDIO INC.
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403-984-7573

6836 LD

ADDRESS	6836 LIVINGSTONE DR SW CALGARY, AB.
ADDRESS LEGAL	LOT 20 PLAN 3491JK BLOCK 4
COMPANY	LAKEVIEW
ZONING	R-CG
AREAS	
MAIN FLOOR	3204 SF
ABOVE GRADE DEVELOPED TOTAL	3204 SF
LOWER FLOOR	7134 SF
BELOW GRADE DEVELOPED TOTAL	7134 SF
GARAGE	1234 SF
GARAGE TOTAL	1234 SF
MECHANICAL	288 SF
COLD STORAGE	171 SF
UNDEVELOPED TOTAL	459 SF
COVERED PORCH	193 SF
COVERED DECK	635 SF
DECKS & PATIOS COVERED TOTAL	828 SF
UNCOVERED PATIO	475 SF
DECKS & PATIOS UNCOVERED TOTAL	475 SF

DEVELOPMENT PERMIT NUMBER	DP2026-02435
BUILDING PERMIT NUMBER	BP NUMBER

DEVELOPMENT
PERMIT DRAWINGS

SET ISSUE DATE	
ISSUE	DATE
DEVELOPMENT PERMIT	29 APR 2026
DEVELOPMENT PERMIT REVISIONS	18 JUN 2026

COVER PAGE

A.0

N.T.S.

A.G. & J.S.

LEGEND			
PROPERTY LINE	---	PROPOSED DWELLING	
SETBACK LINE	---	PROPOSED GARAGE	
EAVE LINE ABV.	---	PROPOSED FRONT PORCH	
WATER LINE	W---	PROPOSED COVERED DECK/PATIO	
SEWER LINE	S---	PROPOSED UNCOVERED DECK/PATIO	
STORM LINE	ST---	PROPOSED WALKWAY	
GAS LINE	G---	PROPOSED DRIVEWAY	
UNDERGROUND ELECTRICAL LINE	UE---	UTILITY RIGHT OF WAY (UR/W) ZONE	
TELEPHONE LINE	T---	CORNER VISIBILITY TRIANGLE	
		PROTECTION TREE ZONE	
		GEODETIC DATUM	
		SLOPE OF GRADE	
		NORTH ARROW	
		TOP OF WALL	
		BOTTOM OF WALL	
		BACK OF CURB	
		LIP OF GUTTER	
		BACK OF SIDEWALK	
		STREET LAMP	
		WATER VALVE	
		TREE TO REMAIN	
		BUSH TO REMAIN	
		TRUNK TO REMAIN	
		TREE TO REMOVE	
		BUSH TO REMOVE	

TREE SCHEDULE						
TREE NO.	VARIETY	STATUS	CALLIPER DIA	CANOPY DIA	HEIGHT	COMMENTS
T1	CONIFEROUS	REMAIN	1.00 M	8.00 M	14.0 M	PRIVATE TREE
T2	BUSH	REMAIN		2.00 M	2.0 M	PRIVATE TREE
T3	DECIDUOUS	REMAIN	0.30 M	5.00 M	8.0 M	PRIVATE TREE
T4	CONIFEROUS	REMAIN	0.30 M	6.00 M	14.0 M	PRIVATE TREE
T5	CONIFEROUS	REMAIN	0.40 M	6.00 M	14.0 M	LOT 13 PRIVATE TREE
T6	CONIFEROUS	REMAIN	0.30 M	6.00 M	14.0 M	PRIVATE TREE
T7	DECIDUOUS	REMAIN	0.40 M	4.00 M	5.0 M	PRIVATE TREE
T8	CONIFEROUS	REMAIN	0.30 M	6.00 M	14.0 M	PRIVATE TREE
T9	PICEA GLAUCA	PROTECT	0.50 M	6.00 M	13.0 M	PUBLIC TREE
T10	PICEA GLAUCA	PROTECT	0.40 M	6.00 M	13.0 M	PUBLIC TREE
T11	PICEA GLAUCA	PROTECT	0.50 M	6.00 M	13.0 M	PUBLIC TREE
T12	PICEA GLAUCA	PROTECT	0.10 M	6.00 M	13.0 M	PUBLIC TREE
T13	TRUNK	PROTECT	0.60 M		3.0 M	PUBLIC TRUNK
T14	BUSH	PROTECT		1.00 M	2.0 M	PUBLIC BUSH
T15	PICEA FUNGENS	REMAIN	1.00 M	8.00 M	14.0 M	PUBLIC TREE
T16	BUSH	REMOVE		2.00 M	2.0 M	PRIVATE TREE
T17	CONIFEROUS	REMOVE	0.10 M	1.00 M	3.0 M	PRIVATE TREE
T18	CONIFEROUS	REMOVE	1.00 M	8.00 M	14.0 M	PRIVATE TREE
T19	PICEA FUNGENS	REMAIN	0.60 M	6.00 M	13.0 M	PUBLIC TREE
T20	PICEA FUNGENS	PROTECT	0.60 M	6.00 M	13.0 M	PUBLIC TREE
T21	PICEA FUNGENS	PROTECT	0.10 M	1.00 M	14.0 M	PUBLIC TREE
T22	BUSH	REMOVE		2.00 M	1.0 M	PRIVATE BUSH



403-984-7513

BUILDER

PROJECT NAME

6836 LD

PROJECT INFO

ADDRESS
6836 LIVINGSTONE DR SW
CALGARY, AB.

ADDRESS LEGAL

LOT 20
PLAN 3491JK
BLOCK 4

COMPANY

LAKEVIEW

JOINS

R-CG

AREAS

MAIN FLOOR 3204 SF

ABOVE GRADE DEVELOPED TOTAL 3204 SF

LOWER FLOOR 2134 SF

BELOW GRADE DEVELOPED TOTAL 2134 SF

GARAGE 1234 SF

GARAGE TOTAL 1234 SF

MECHANICAL 289 SF

COLD STORAGE 171 SF

UNDEVELOPED TOTAL 459 SF

COVERED PORCH 193 SF

COVERED DECK 639 SF

DECKS & PATIOS COVERED TOTAL 828 SF

UNCOVERED PATIO 475 SF

DECKS & PATIOS UNCOVERED TOTAL 475 SF

PROPOSED BUILDING HEIGHT MAY REQUIRE PRUNING OF THE PUBLIC TREE CANOPY. IF CLEARANCE PRUNING OF PUBLIC TREES IS REQUIRED, URBAN FORESTRY MUST BE NOTIFIED (MINIMUM TWO BUSINESS DAYS NOTICE) AND AN INDEPENDENT CONTRACTOR MUST BE USED AT THE APPLICANT'S EXPENSE. PLEASE CONTACT URBAN FORESTRY AT 311 OR URBAN FORESTRY TECHNICIAN (SCOTT@HOLLEYCALGARY.CA) FOR MORE INFORMATION. PRUNING IS TO BE DONE TO THE SATISFACTION OF THE URBAN FORESTRY TECHNICIAN.

AT MINIMUM, THE ZONE IS LIMITED TO CITY PROPERTY, HOWEVER, THE CITY RECOMMENDS EXTENDING THE TREE PROTECTION ZONE TO THE DRIP LINE (OUTER LIMIT OF THE TREE CANOPY) OF EACH PROTECTED TREE.

THE MOST COMMON TYPE OF BARRIER IS FENCING, CONSISTING OF EITHER:

A. A SOLID WOOD FRAME WITH ORANGE SNOU FENCING STAPLED TO THE OUTSIDE.

B. METAL FENCING.

ALL SERVICES TO BE LOCATED A MINIMUM OF 6.0 M FROM THE EDGE OF THE PUBLIC TREE TRUNKS.

NO SIDEWALK REPLACEMENT OR WIDENING IS TO OCCUR WITHIN 3M OF PUBLIC TREES TO BE RETAINED. SHOULD THE TREE BECOME UNVIABLE, THE APPLICANT IS TO REMOVE AND REPLACE THE SIDEWALK AND ENSURE DIMENSIONS ARE SHOWN ON PLANS.

FOR SAFETY REASONS, BEFORE INSTALLING THE FENCE BE SURE TO CALL ALBERTA 1-CALL AT 1-800-242-3441 OR VISIT CLICKBEFOREYOU.DIG.COM

TO ENSURE YOU DON'T HIT ANY BURIED UTILITIES, FENCING MUST NOT INTERFERE WITH ACCESS TO FIRE HYDRANTS, OR OBSCURE INTERSECTIONS OR TRAFFIC SIGNAGE.

PERMIT INFORMATION

DEVELOPMENT PERMIT NUMBER

DP2026-02495

BUILDING PERMIT NUMBER

BP NUMBER

DRAWING VERSION

DEVELOPMENT PERMIT DRAWINGS

SET ISSUE DATE

ISSUE DATE

DEVELOPMENT PERMIT 25 APR 2026

REVISIONS 15 JUN 2026

DRAWING TITLE

SITE PLAN & TREE PROTECTION PLAN

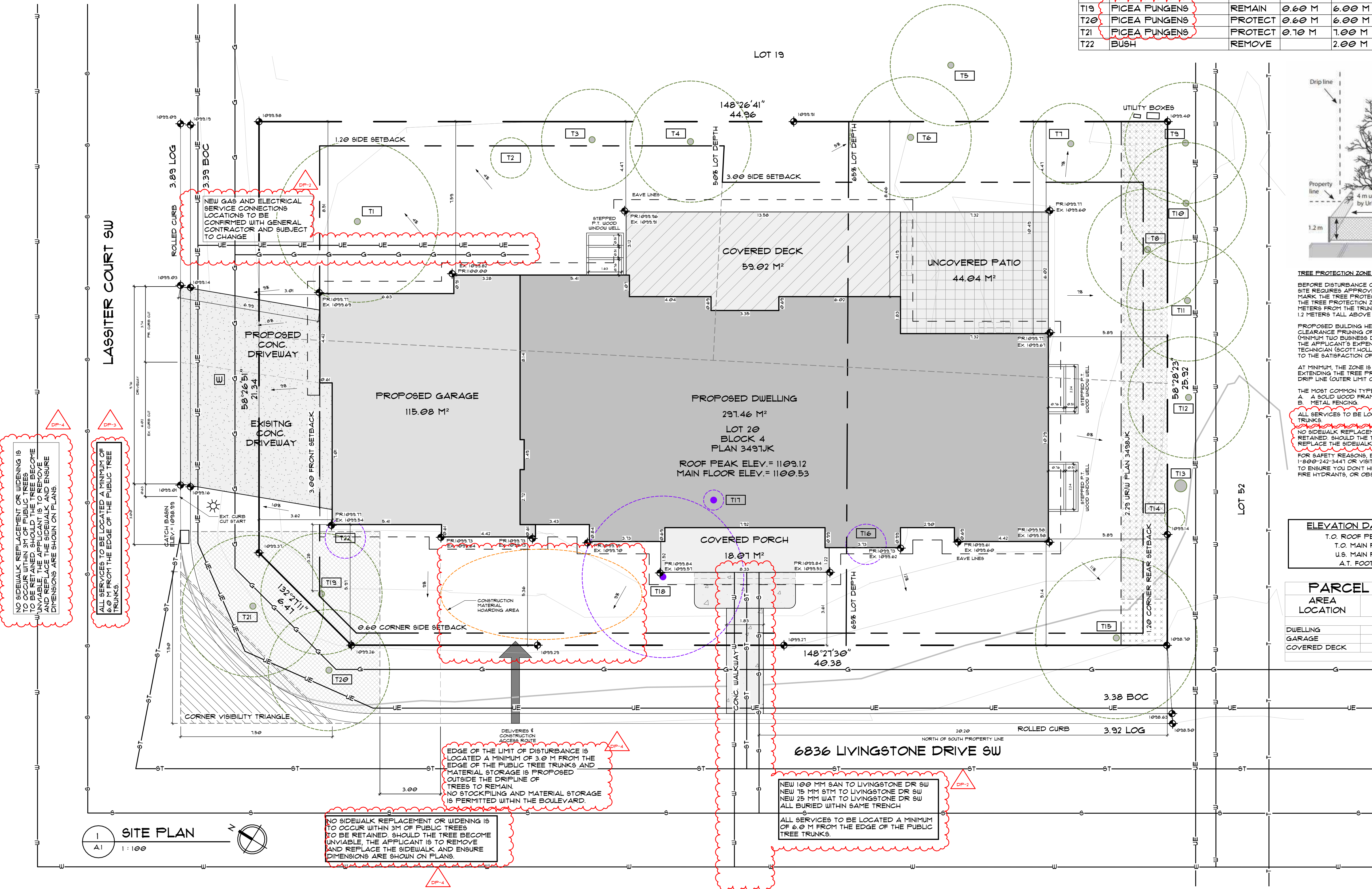
SHEET NO.

A.1

SCALE AS INDICATED

DRAWN BY: A.G.

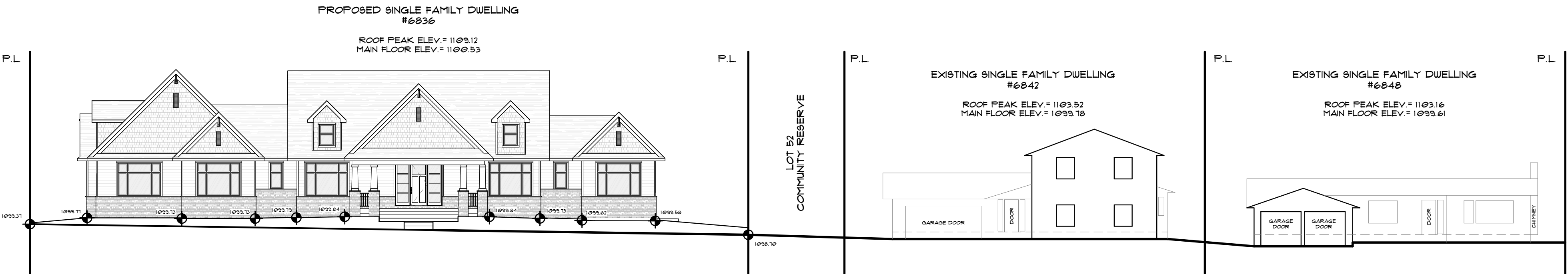
PLOT THESE AMP 6/10/2025 3:10:39 PM



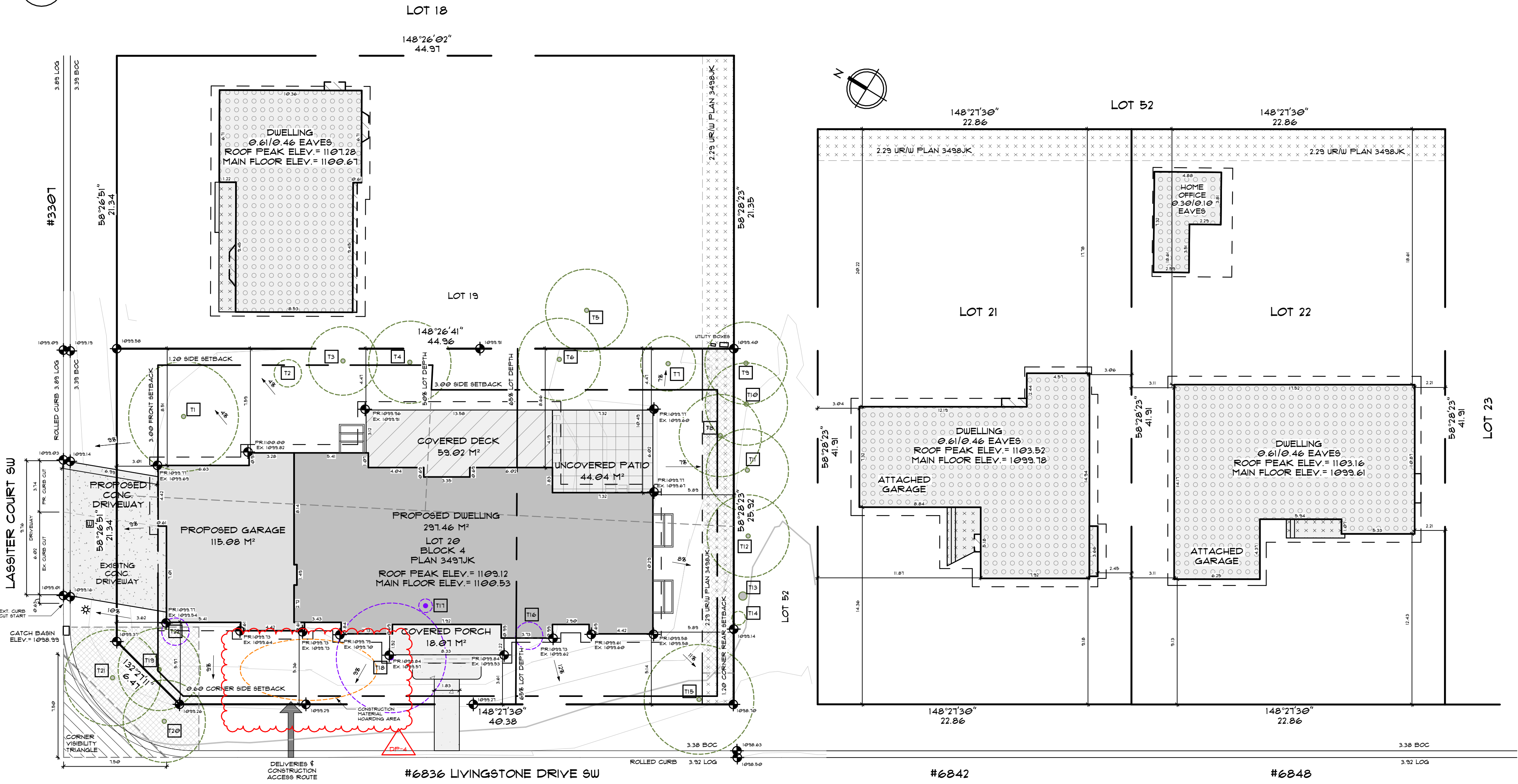
LEGEND			
PROPERTY LINE	---	PROPOSED DWELLING	
SETBACK LINE	---	PROPOSED GARAGE	
EAVE LINE ABV.	---	PROPOSED FRONT PORCH	
WATER LINE	—W—W—W—W—	PROPOSED COVERED DECK/PATIO	
SEWER LINE	—S—S—S—S—	PROPOSED UNCOVERED DECK/PATIO	
STORM LINE	—ST—ST—ST—ST—	PROPOSED WALKWAY	
GAS LINE	—G—G—G—G—	PROPOSED DRIVEWAY	
UNDERGROUND ELECTRICAL LINE	—UE—UE—UE—UE—	UTILITY RIGHT OF WAY (UR/W) ZONE	
TELEPHONE LINE	—T—T—T—T—	CORNER VISIBILITY TRIANGLE	
		PROTECTION TREE ZONE	
		GEODETIC DATUM	
		SLOPE OF GRADE	
		NORTH ARROW	
		TOP OF WALL	
		BOTTOM OF WALL	
		BACK OF CURB	
		LIP OF GUTTER	
		BACK OF SIDEWALK	
		STREET LAMP	
		WATER VALVE	
		TREE TO REMAIN	
		BUSH TO REMAIN	
		TRUNK TO REMAIN	
		TREE TO REMOVE	
		BUSH TO REMOVE	

PARCEL COVERAGE CALCULATION			
AREA LOCATION	COVERAGE AREA	TOTAL PARCEL AREA	% OF COVERAGE
DWELLING	291.46	1154.00	25.18%
GARAGE	115.00	1154.00	9.91%
COVERED DECK	59.02	1154.00	5.11%
	471.56		40.86%

ELEVATION DATUM POINTS
T.O. ROOF PEAK 1109.20
T.O. MAIN FLR. 1100.53
U.S. MAIN FLR. 1100.11
A.T. FOOTING 1096.91



1
A.2
1/16" = 1'-0"



2
A.2
1:200



403-984-7513

BUILDER

PROJECT NAME

6836 LD

PROJECT INFO

ADDRESS

6836
LIVINGSTONE DR SW
CALGARY, AB.

ADDRESS LEGAL

LOT 20
PLAN 3491JK
BLOCK 4

COMPANY

LAKEVIEW

JOINS

R-CG

AREAS

MAIN FLOOR 3204 SF
ABOVE GRADE DEVELOPED TOTAL 3204 SF

LOWER FLOOR 7134 SF
BELOW GRADE DEVELOPED TOTAL 7134 SF

GARAGE 1234 SF
GARAGE TOTAL 1234 SF

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COVERED DECK 635 SF
DECKS & PATIOS COVERED TOTAL 828 SF

UNCOVERED PATIO 475 SF
DECKS & PATIOS UNCOVERED TOTAL 475 SF

PERMIT INFORMATION

DEVELOPMENT PERMIT NUMBER

DP2026-02435

BUILDING PERMIT NUMBER

BP NUMBER

DRAWING VERSION

DEVELOPMENT PERMIT DRAWINGS

SET ISSUE DATE

ISSUE DATE

DEVELOPMENT PERMIT 29 APR 2026
DEVELOPMENT PERMIT 12 JUN 2026
REVISIONS

DRAWING TITLE

BLOCK PLAN &
STREETSCAPE

SHEET NO.

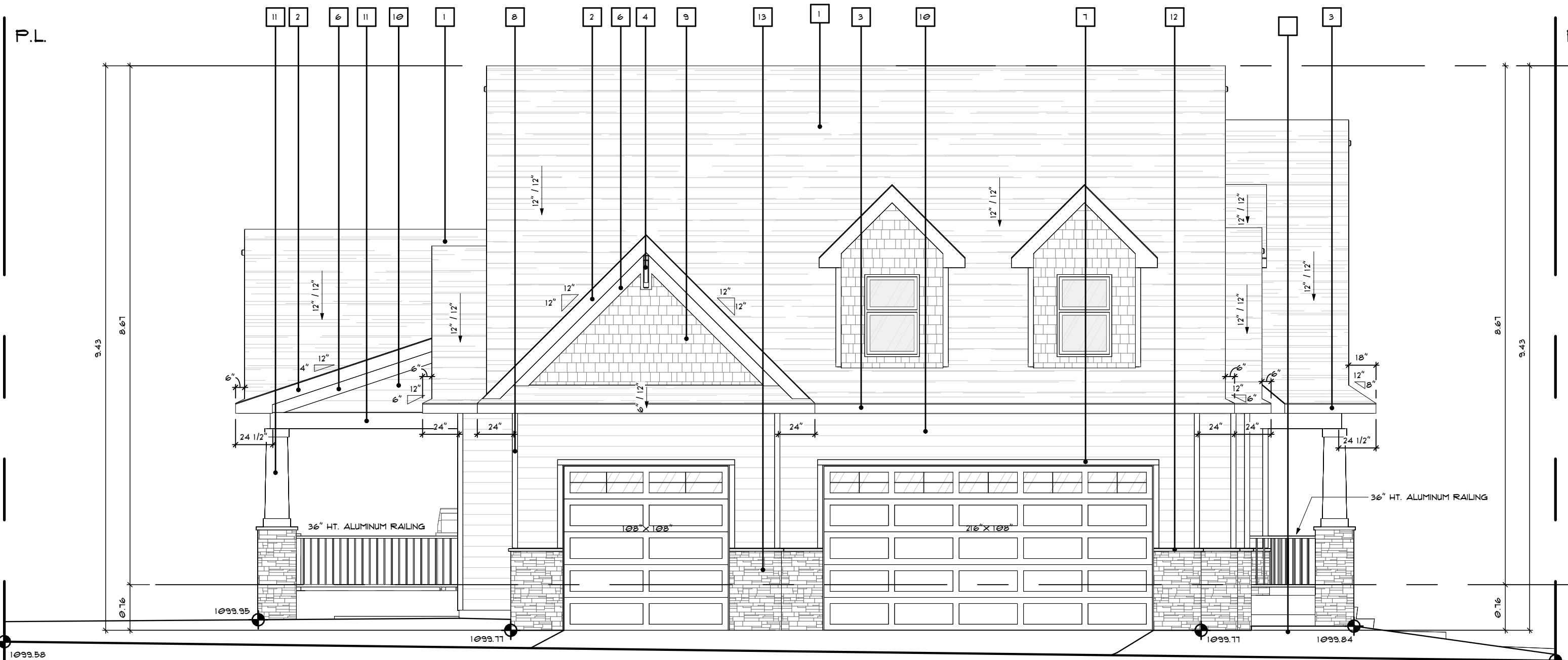
A.2

SCALE

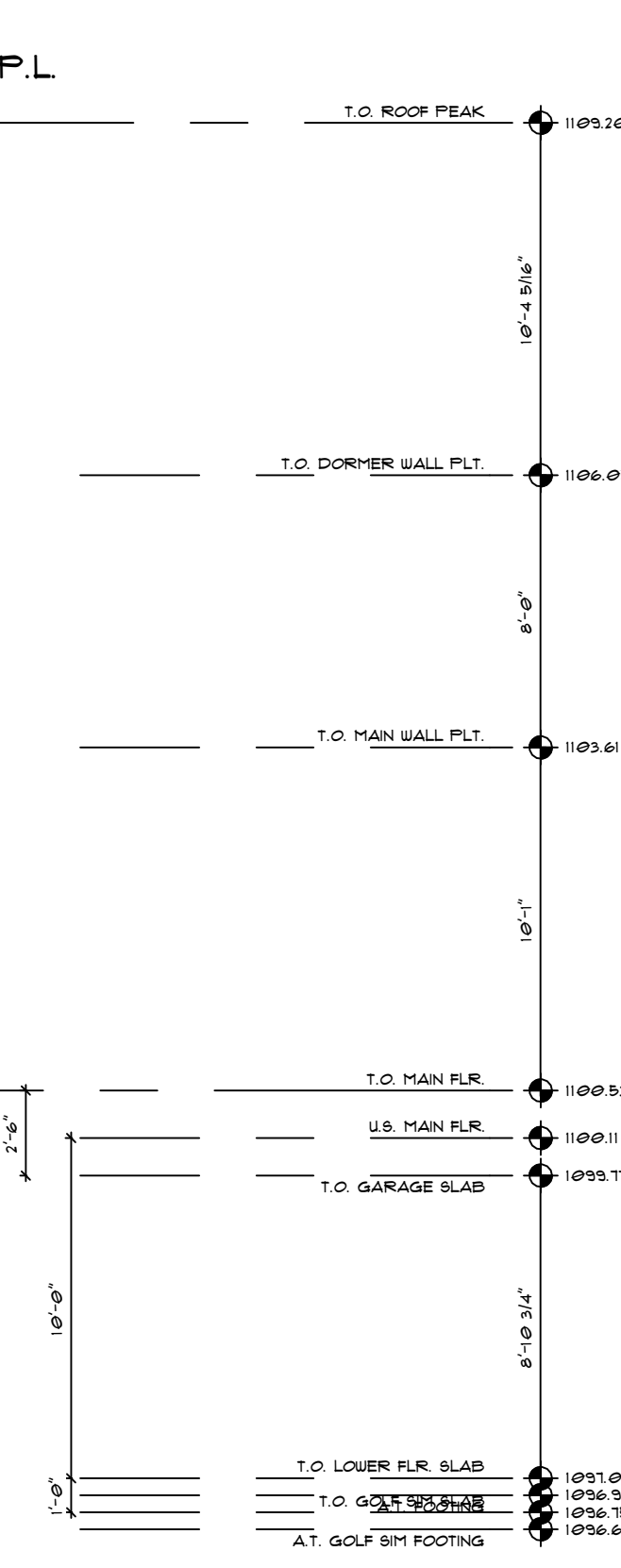
AS INDICATED

DRAWN BY:

A.G.



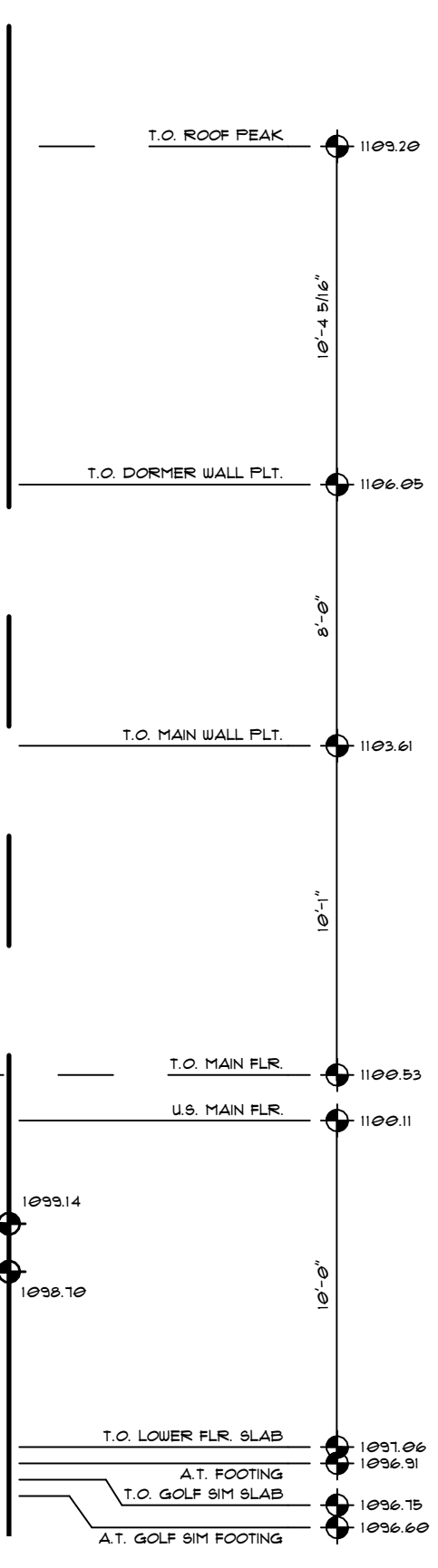
1 FRONT ELEVATION
A.6 3/16" = 1'-0"



MATERIAL SCHEDULE	
MARK	DESCRIPTION
1	ARCHITECTURAL ASPHALT SHINGLES
2	8" ALUMINUM FASCIA
3	6" ALUMINUM FASCIA
4	WOOD BRACKET
5	DECORATIVE LOUVERED VENT
6	8" SMART BOARD TRIM
7	4" SMART BOARD TRIM
8	4" CORNER TRIM
9	FIBER CEMENT BOARD SHINGLE STRAIGHT EDGE PANEL
10	FIBER CEMENT BOARD LAP SIDING
11	SMART BOARD PANEL
12	MASONRY CUP
13	STONE VENEER
14	PAVING



2 RIGHT ELEVATION
A.6 3/16" = 1'-0"



403-984-7573

BUILDER

PROJECT NAME
6836 LD

PROJECT INFO
ADDRESS
6836 LIVINGSTONE DR SW
CALGARY, AB.
ADDRESS LEGAL
LOT 20
PLAN 3491JK
BLOCK 4
COMPANY
LAKEVIEW
ZONING
R-CG

AREAS	
MAIN FLOOR	3204 SF
ABOVE GRADE DEVELOPED TOTAL	3204 SF
LOWER FLOOR	7134 SF
BELOW GRADE DEVELOPED TOTAL	7134 SF
GARAGE	1234 SF
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UNCOVERED PATIO	475 SF
DECKS & PATIOS UNCOVERED TOTAL	475 SF

PERMIT INFORMATION
DEVELOPMENT PERMIT NUMBER
DP2026-02495
BUILDING PERMIT NUMBER
BP NUMBER

DRAWING VERSION
DEVELOPMENT PERMIT DRAWINGS

SET ISSUE DATE	
ISSUE	DATE
DEVELOPMENT PERMIT	25 APR 2026
DEVELOPMENT PERMIT	12 JUN 2026
REVISIONS	

DRAWING TITLE
FRONT & RIGHT ELEVATION

SHEET NO.
A.6

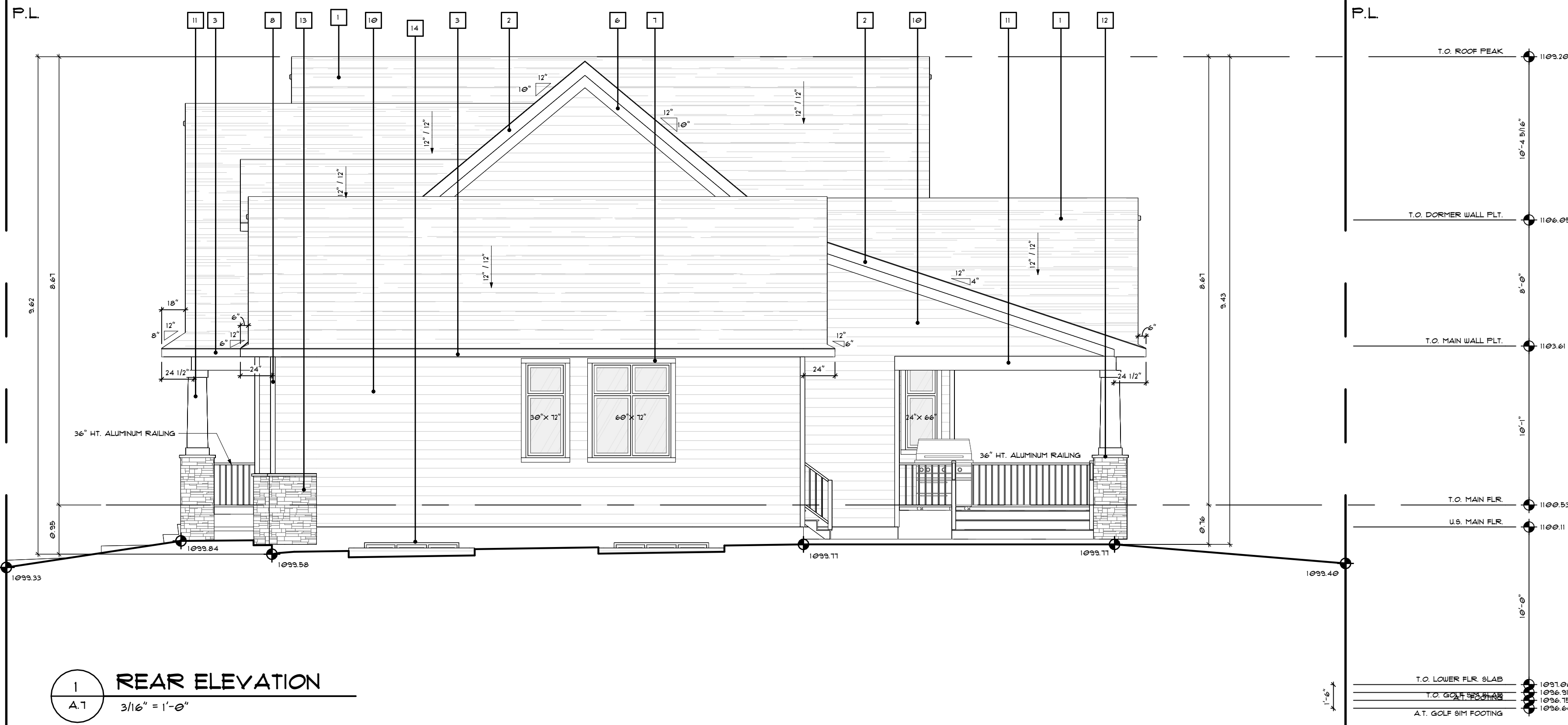
SCALE
3/16" = 1'-0"
DRAWN BY:
A.G.

MATERIAL SCHEDULE	
MARK	DESCRIPTION
1	ARCHITECTURAL ASPHALT SHINGLES
2	6" ALUMINUM FASCIA
3	6" ALUMINUM FASCIA
4	WOOD BRACKET
5	DECORATIVE LOUVERED VENT
6	8" SMART BOARD TRIM
7	4" SMART BOARD TRIM
8	4" CORNER TRIM
9	FIBER CEMENT BOARD SHINGLE STRAIGHT EDGE PANEL
10	FIBER CEMENT BOARD LAP SIDING
11	SMART BOARD PANEL
12	MASONRY CAP
13	STONE VENEER
14	PAVING

FACE #3
133.91 M²

OPENINGS #3
30.08 M²

EXPOSED BUILDING FACE SPATIAL CALCULATION	
TOTAL AREA OF EXPOSED BUILDING FACE	= 133.91 M ²
AREA OF EXPOSED BUILDING FACE 3	= 133.91 M ²
LIFTING DISTANCE	= 2.616 M
INTERPOLATED ALLOWABLE GLAZING (S)	= 2.616 M
ALLOWABLE GLAZING (H)	= 35.04 M ²
PROPOSED GLAZING (H)	= 30.08 M ²
ALLOWABLE GLAZING INTERPOLATION CALCULATION VALUES FROM CODE TABLE 9.10.15.4 NBC 2023 (A2)	
LIFTING DISTANCE LOWER VALUE	= 0.0 M
PERCENTAGE GLAZING LOWER VALUE	= 15 %
LIFTING DISTANCE HIGHER VALUE	= 0.0 M
PERCENTAGE GLAZING HIGHER VALUE	= 28 %
INTERPOLATED ALLOWABLE GLAZING (S)	= 2.616 M



3 LEFT ELEVATION - SPATIAL SEPARATION
A.1 3/32" = 1'-0"



2 LEFT ELEVATION
A.1 3/16" = 1'-0"

AREAS	
MAIN FLOOR	3204 SF
ABOVE GRADE DEVELOPED TOTAL	3204 SF
LOWER FLOOR	7134 SF
BELOW GRADE DEVELOPED TOTAL	7134 SF
GARAGE	1234 SF
GARAGE TOTAL	1234 SF
MECHANICAL	288 SF
COLD STORAGE	171 SF
UNDEVELOPED TOTAL	459 SF
COVERED PORCH	193 SF
COVERED DECK	635 SF
DECKS & PATIOS COVERED TOTAL	828 SF
UNCOVERED PATIO	475 SF
DECKS & PATIOS UNCOVERED TOTAL	475 SF

DEVELOPMENT PERMIT DRAWINGS	
SET ISSUE DATE	
ISSUE	DATE
DEVELOPMENT PERMIT	25 APR 2026
DEVELOPMENT PERMIT	18 JUN 2026
REVISIONS	

LEGEND			
PROPERTY LINE	---	PROPOSED DWELLING	
SETBACK LINE	---	PROPOSED GARAGE	
EAVE LINE ABV.	---	PROPOSED FRONT PORCH	
WATER LINE	W---	PROPOSED COVERED DECK/PATIO	
SEWER LINE	S---	PROPOSED UNCOVERED DECK/PATIO	
STORM LINE	ST---	PROPOSED WALKWAY	
GAS LINE	G---	PROPOSED DRIVEWAY	
UNDERGROUND ELECTRICAL LINE	UE---	UTILITY RIGHT OF WAY (UR/W) ZONE	
TELEPHONE LINE	T---	CORNER VISIBILITY TRIANGLE	
		PROTECTION TREE ZONE	
		GEODETIC DATUM	
		SLOPE OF GRADE	
		NORTH ARROW	
		TOP OF WALL	
		BOTTOM OF WALL	
		BACK OF CURB	
		LIP OF GUTTER	
		BACK OF SIDEWALK	
		STREET LAMP	
		WATER VALVE	
		TREE TO REMAIN	
		BUSH TO REMAIN	
		TRUNK TO REMAIN	
		TREE TO REMOVE	
		BUSH TO REMOVE	

TREE SCHEDULE						
TREE NO.	VARIETY	STATUS	CALLIPER DIA	CANOPY DIA	HEIGHT	COMMENTS
T1	CONIFEROUS	REMAIN	1.00 M	8.00 M	14.0 M	PRIVATE TREE
T2	BUSH	REMAIN		2.00 M	2.0 M	PRIVATE TREE
T3	DECIDUOUS	REMAIN	0.30 M	5.00 M	8.0 M	PRIVATE TREE
T4	CONIFEROUS	REMAIN	0.30 M	6.00 M	14.0 M	PRIVATE TREE
T5	CONIFEROUS	REMAIN	0.40 M	6.00 M	14.0 M	LOT 13 PRIVATE TREE
T6	CONIFEROUS	REMAIN	0.30 M	6.00 M	14.0 M	PRIVATE TREE
T7	DECIDUOUS	REMAIN	0.40 M	4.00 M	5.0 M	PRIVATE TREE
T8	CONIFEROUS	REMAIN	0.30 M	6.00 M	14.0 M	PRIVATE TREE
T9	PICEA GLAUCA	PROTECT	0.50 M	6.00 M	13.0 M	PUBLIC TREE
T10	PICEA GLAUCA	PROTECT	0.40 M	6.00 M	13.0 M	PUBLIC TREE
T11	PICEA GLAUCA	PROTECT	0.50 M	6.00 M	13.0 M	PUBLIC TREE
T12	PICEA GLAUCA	PROTECT	0.10 M	6.00 M	13.0 M	PUBLIC TREE
T13	TRUNK	PROTECT	0.60 M		3.0 M	PUBLIC TRUNK
T14	BUSH	PROTECT		1.00 M	2.0 M	PUBLIC BUSH
T15	PICEA FUNGENS	REMAIN	1.00 M	8.00 M	14.0 M	PUBLIC TREE
T16	BUSH	REMOVE		2.00 M	2.0 M	PRIVATE TREE
T17	CONIFEROUS	REMOVE	0.10 M	1.00 M	3.0 M	PRIVATE TREE
T18	CONIFEROUS	REMOVE	1.00 M	8.00 M	14.0 M	PRIVATE TREE
T19	PICEA FUNGENS	REMAIN	0.60 M	6.00 M	13.0 M	PUBLIC TREE
T20	PICEA FUNGENS	PROTECT	0.60 M	6.00 M	13.0 M	PUBLIC TREE
T21	PICEA FUNGENS	PROTECT	0.10 M	1.00 M	14.0 M	PUBLIC TREE
T22	BUSH	REMOVE		2.00 M	1.0 M	PRIVATE BUSH



403-984-7513

BUILDER

PROJECT NAME

6836 LD

PROJECT INFO

ADDRESS
6836 LIVINGSTONE DR SW
CALGARY, AB.

ADDRESS LEGAL

LOT 20
PLAN 3491JK
BLOCK 4

COMPANY

LAKEVIEW

JOINS

R-CG

AREAS

MAIN FLOOR 3204 SF

ABOVE GRADE DEVELOPED TOTAL 3204 SF

LOWER FLOOR 2134 SF

BELOW GRADE DEVELOPED TOTAL 2134 SF

GARAGE 1234 SF

GARAGE TOTAL 1234 SF

MECHANICAL 289 SF

COLD STORAGE 171 SF

UNDEVELOPED TOTAL 459 SF

COVERED PORCH 193 SF

COVERED DECK 639 SF

DECKS & PATIOS COVERED TOTAL 828 SF

UNCOVERED PATIO 475 SF

DECKS & PATIOS UNCOVERED TOTAL 475 SF

PROPOSED BUILDING HEIGHT MAY REQUIRE PRUNING OF THE PUBLIC TREE CANOPY. IF CLEARANCE PRUNING OF PUBLIC TREES IS REQUIRED, URBAN FORESTRY MUST BE NOTIFIED (MINIMUM TWO BUSINESS DAYS NOTICE) AND AN INDEPENDENT CONTRACTOR MUST BE USED AT THE APPLICANT'S EXPENSE. PLEASE CONTACT URBAN FORESTRY AT 311 OR URBAN FORESTRY TECHNICIAN (SCOTT@HOLLEYCALGARY.CA) FOR MORE INFORMATION. PRUNING IS TO BE DONE TO THE SATISFACTION OF THE URBAN FORESTRY TECHNICIAN.

AT MINIMUM, THE ZONE IS LIMITED TO CITY PROPERTY, HOWEVER, THE CITY RECOMMENDS EXTENDING THE TREE PROTECTION ZONE TO THE DRIP LINE (OUTER LIMIT OF THE TREE CANOPY) OF EACH PROTECTED TREE.

THE MOST COMMON TYPE OF BARRIER IS FENCING, CONSISTING OF EITHER:

A. A SOLID WOOD FRAME WITH ORANGE SHOU FENCING STAPLED TO THE OUTSIDE.

B. METAL FENCING.

ALL SERVICES TO BE LOCATED A MINIMUM OF 6.0 M FROM THE EDGE OF THE PUBLIC TREE TRUNKS.

NO SIDEWALK REPLACEMENT OR WIDENING IS TO OCCUR WITHIN 3M OF PUBLIC TREES TO BE RETAINED. SHOULD THE TREE BECOME UNVIABLE, THE APPLICANT IS TO REMOVE AND REPLACE THE SIDEWALK AND ENSURE DIMENSIONS ARE SHOWN ON PLANS.

FOR SAFETY REASONS, BEFORE INSTALLING THE FENCE BE SURE TO CALL ALBERTA 1-CALL AT 1-800-242-3441 OR VISIT CLICKBEFOREYOU.DIG.COM

TO ENSURE YOU DON'T HIT ANY BURIED UTILITIES, FENCING MUST NOT INTERFERE WITH ACCESS TO FIRE HYDRANTS, OR OBSCURE INTERSECTIONS OR TRAFFIC SIGNAGE.

ELEVATION DATUM POINTS

T.O. ROOF PEAK 1109.20

T.O. MAIN FLR 1100.53

U.S. MAIN FLR 1100.11

A.T. FOOTING 1096.91

PARCEL COVERAGE CALCULATION

AREA COVERAGE TOTAL % OF

LOCATION AREA PARCEL AREA COVERAGE

DWELLING 291.46 1154.00 25.18%

GARAGE 115.08 1154.00 9.97%

COVERED DECK 59.02 1154.00 5.11%

471.56 40.86%

PERMIT INFORMATION

DEVELOPMENT PERMIT NUMBER

DP2026-02495

BUILDING PERMIT NUMBER

BP NUMBER

DRAWING VERSION

DEVELOPMENT PERMIT DRAWINGS

SET ISSUE DATE

ISSUE DATE

DEVELOPMENT PERMIT 29 APR 2026

REVISIONS 10 JUN 2026

DRAWING TITLE

SITE PLAN & TREE PROTECTION PLAN

SHEET NO.

A.1

SCALE AS INDICATED

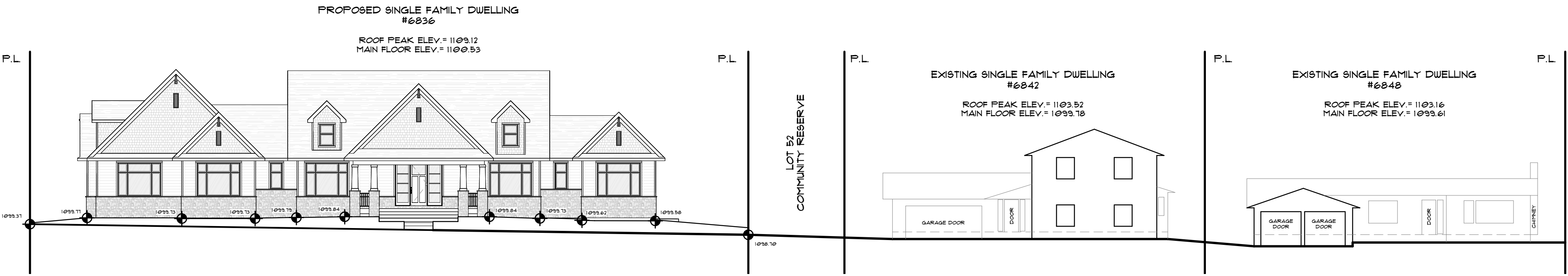
DRAWN BY: A.G.

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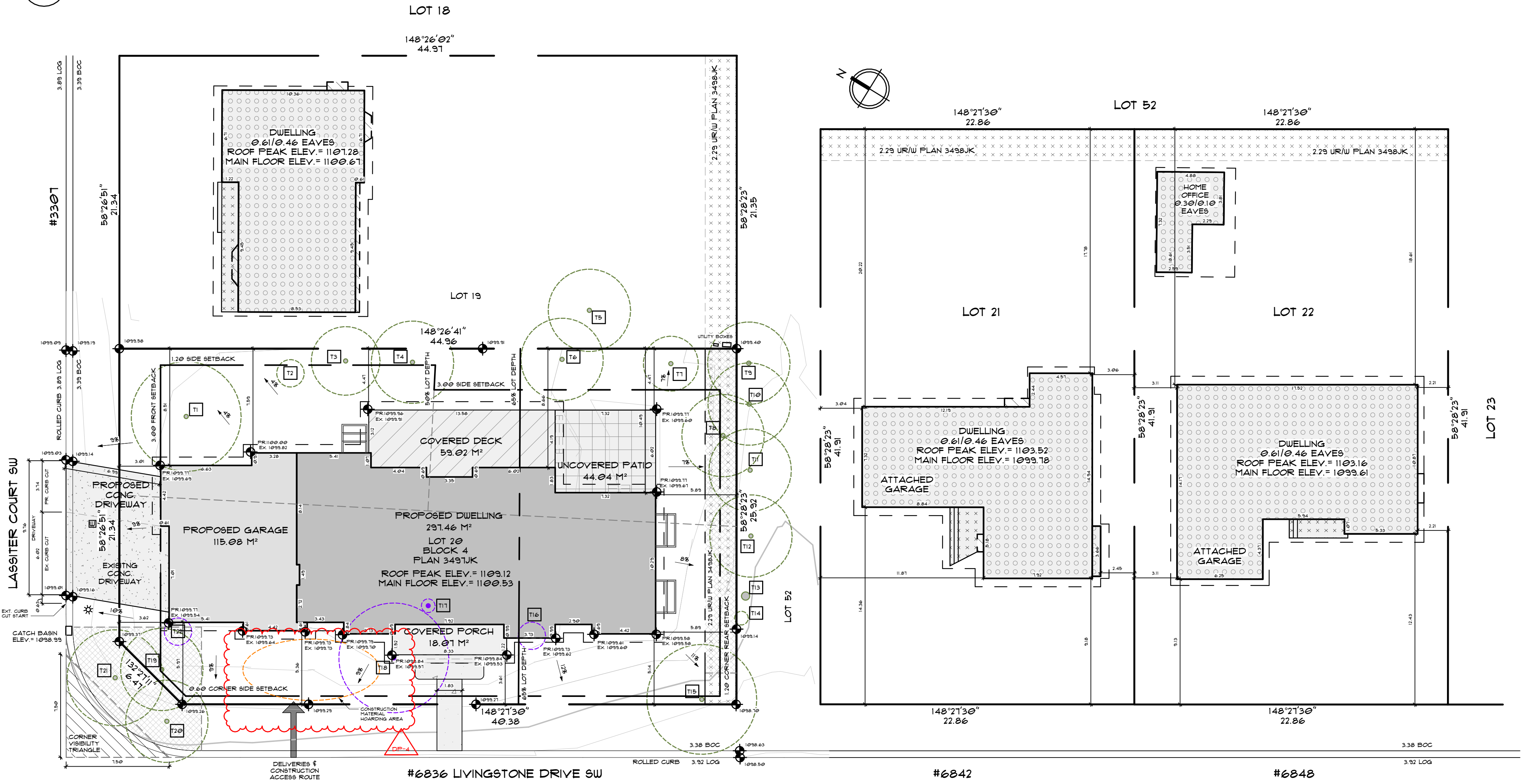
LEGEND			
PROPERTY LINE		PROPOSED DWELLING	
SETBACK LINE		PROPOSED GARAGE	
EAVE LINE ABV.		PROPOSED FRONT PORCH	
WATER LINE		PROPOSED COVERED DECK/PATIO	
SEWER LINE		PROPOSED UNCOVERED DECK/PATIO	
STORM LINE		PROPOSED WALKWAY	
GAS LINE		PROPOSED DRIVEWAY	
UNDERGROUND ELECTRICAL LINE		UTILITY RIGHT OF WAY (UR/W) ZONE	
TELEPHONE LINE		CORNER VISIBILITY TRIANGLE	
		PROTECTION TREE ZONE	
		GEODETIC DATUM	
		SLOPE OF GRADE	
		NORTH ARROW	
		TOP OF WALL	
		BOTTOM OF WALL	
		BACK OF CURB	
		LIP OF GUTTER	
		BACK OF SIDEWALK	
		T.O.W.	
		B.O.W.	
		B.O.C.	
		L.O.G.	
		B.W.	
		STREET LAMP	
		WATER VALVE	
		TREE TO REMAIN	
		BUSH TO REMAIN	
		TRUNK TO REMAIN	
		TREE TO REMOVE	
		BUSH TO REMOVE	

PARCEL COVERAGE CALCULATION			
AREA LOCATION	COVERAGE AREA	TOTAL PARCEL AREA	% OF COVERAGE
DWELLING	291.46	1154.00	25.18%
GARAGE	115.00	1154.00	9.91%
COVERED DECK	59.02	1154.00	5.11%
	471.56		40.86%

ELEVATION DATUM POINTS
T.O. ROOF PEAK 1109.20
T.O. MAIN FLR. 1100.53
U.S. MAIN FLR. 1100.11
A.T. FOOTING 1096.91



1
A.2
1/16" = 1'-0"



2
A.2
1:200



403-984-7513

BUILDER

PROJECT NAME
6836 LD

PROJECT INFO

ADDRESS

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CALGARY, AB.**

ADDRESS LEGAL

**LOT 20
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COMPANY

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UNCOVERED PATIO 475 SF

DECKS & PATIOS UNCOVERED TOTAL 475 SF

PERMIT INFORMATION

DEVELOPMENT PERMIT NUMBER

DP2026-02495

BUILDING PERMIT NUMBER

BP NUMBER

DRAWING VERSION

**DEVELOPMENT
PERMIT DRAWINGS**

SET ISSUE DATE

ISSUE DATE

DEVELOPMENT PERMIT 29 APR 2026

DEVELOPMENT PERMIT 18 JUN 2026

REVISIONS

DRAWING TITLE

**BLOCK PLAN &
STREETSCAPE**

SHEET NO.

A.2

SCALE

AS INDICATED

DRAWN BY:

A.G.