



PROPOSED SINGLE FAMILY DWELLING
LOT 52, BLOCK 18
631 53 AVE SW CALGARY, AB.

ISSUED FOR DEVELOPMENT PERMIT
MAY 06, 2026



SEAL

TRUE NORTH

THIS DRAWING MUST NOT BE SCALED.
THE CONTRACTOR SHALL VERIFY ALL LEVELS,
DATES, AND DIMENSIONS PRIOR TO
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PROPOSED SINGLE
FAMILY DWELLING

PROJECT NO. 0001

REVISIONS		
No.	Description	YY-MM-DD
1	IFCR	25-11-25

COVER PAGE

SCALE:

A0.0

DATE: 2025-09-02

DRAWN BY: M.O.



2 3D VIEW 1



1 3D VIEW 2

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No. Description YY-MM-DD

1 IFCR 25-11-25

3D VISUALIZATION

SCALE:

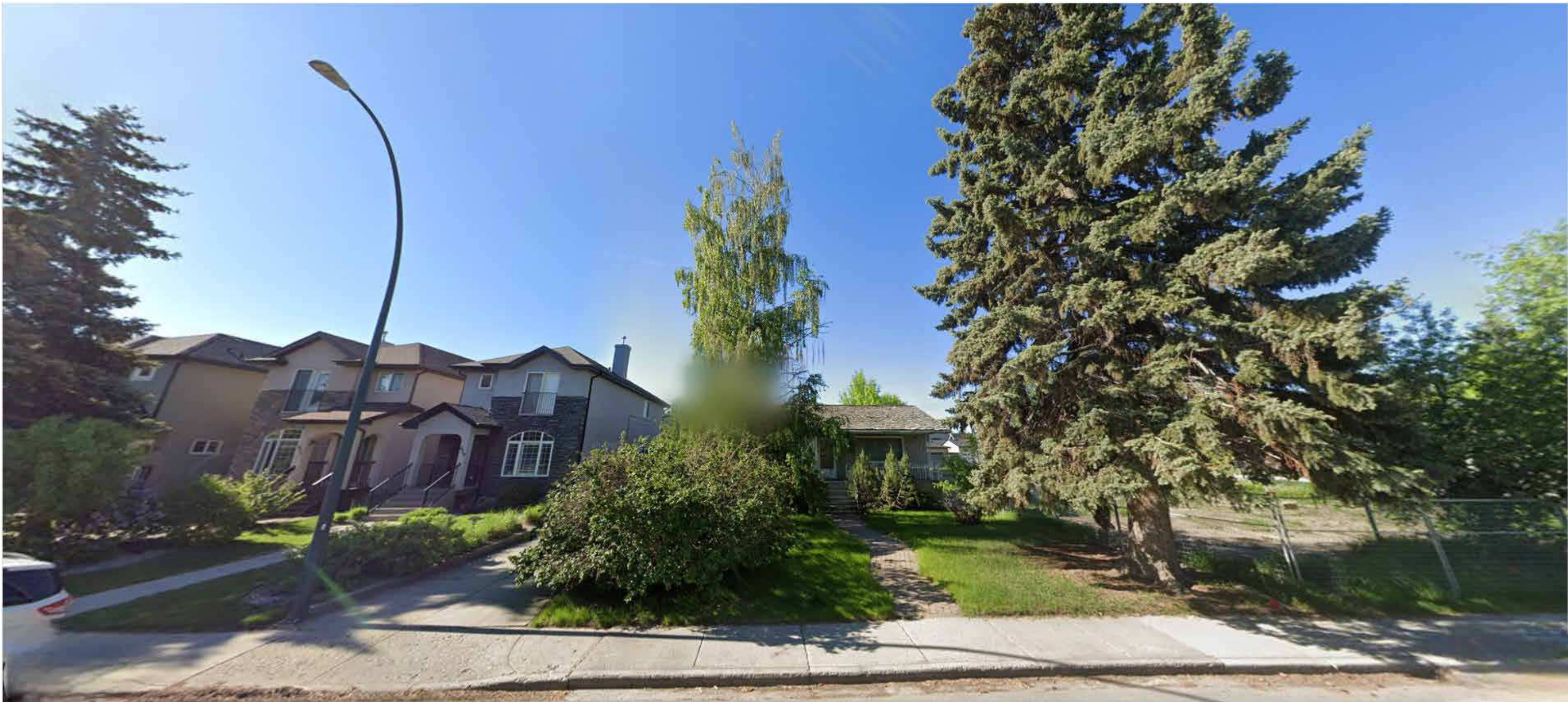
A0.1

DATE: 2025-09-02

DRAWN BY: M.O.



1 SOUTH VIEW FROM LANE



2 NORTH VIEW FROM 53 AV SW



3 EAST VIEW FROM 53 AV



4 WEST VIEW FROM 53 AV SW

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SITE PHOTOS

SCALE:

A0.2

DATE: 2025-09-02

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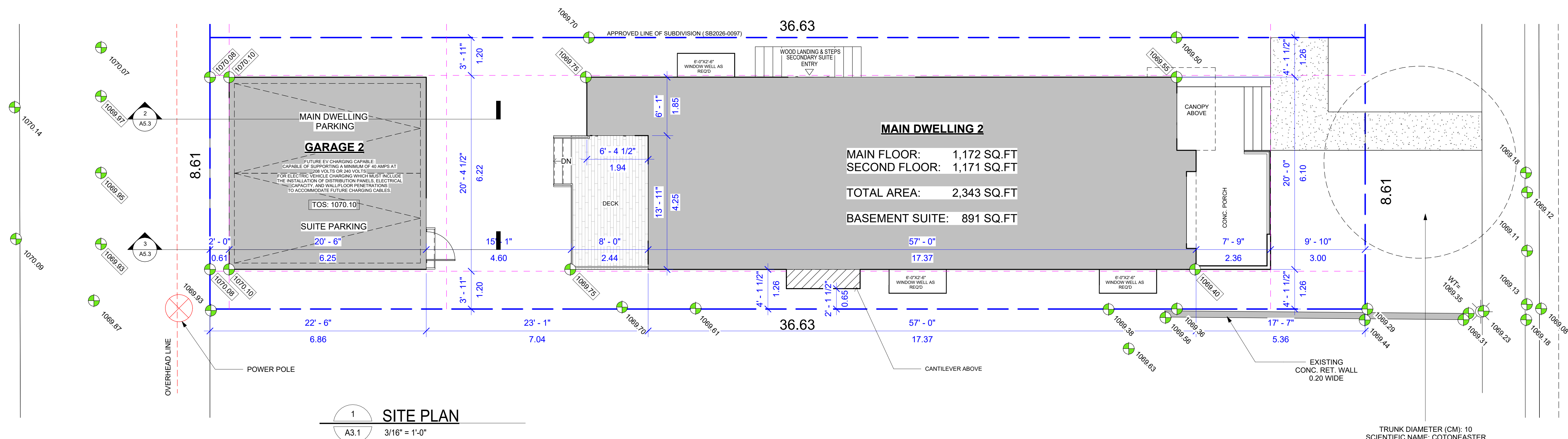
SITE PLAN

SCALE: 3/16" = 1'-0"

A1.1

DATE: 2025-09-02

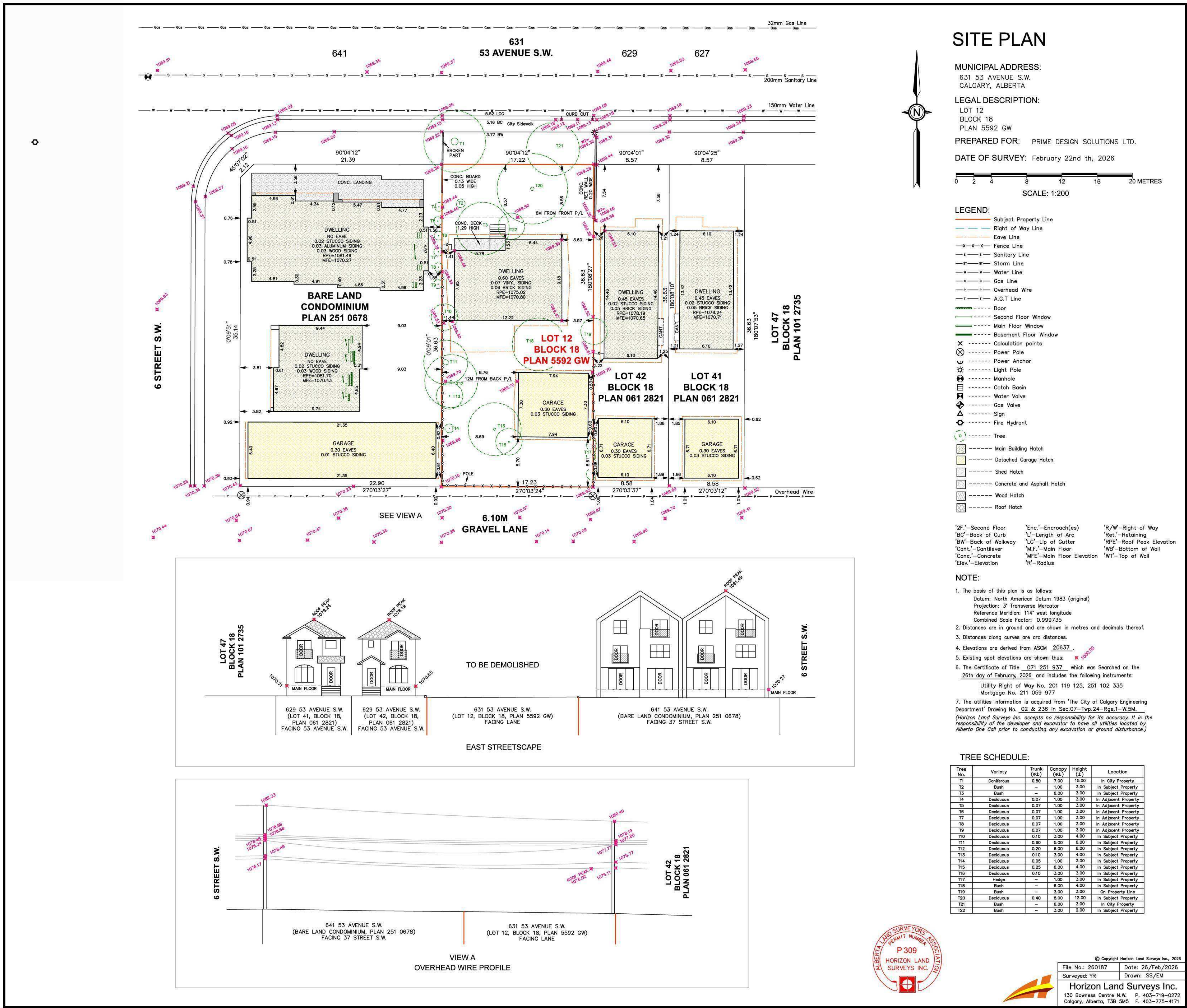
DRAWN BY: M.O.

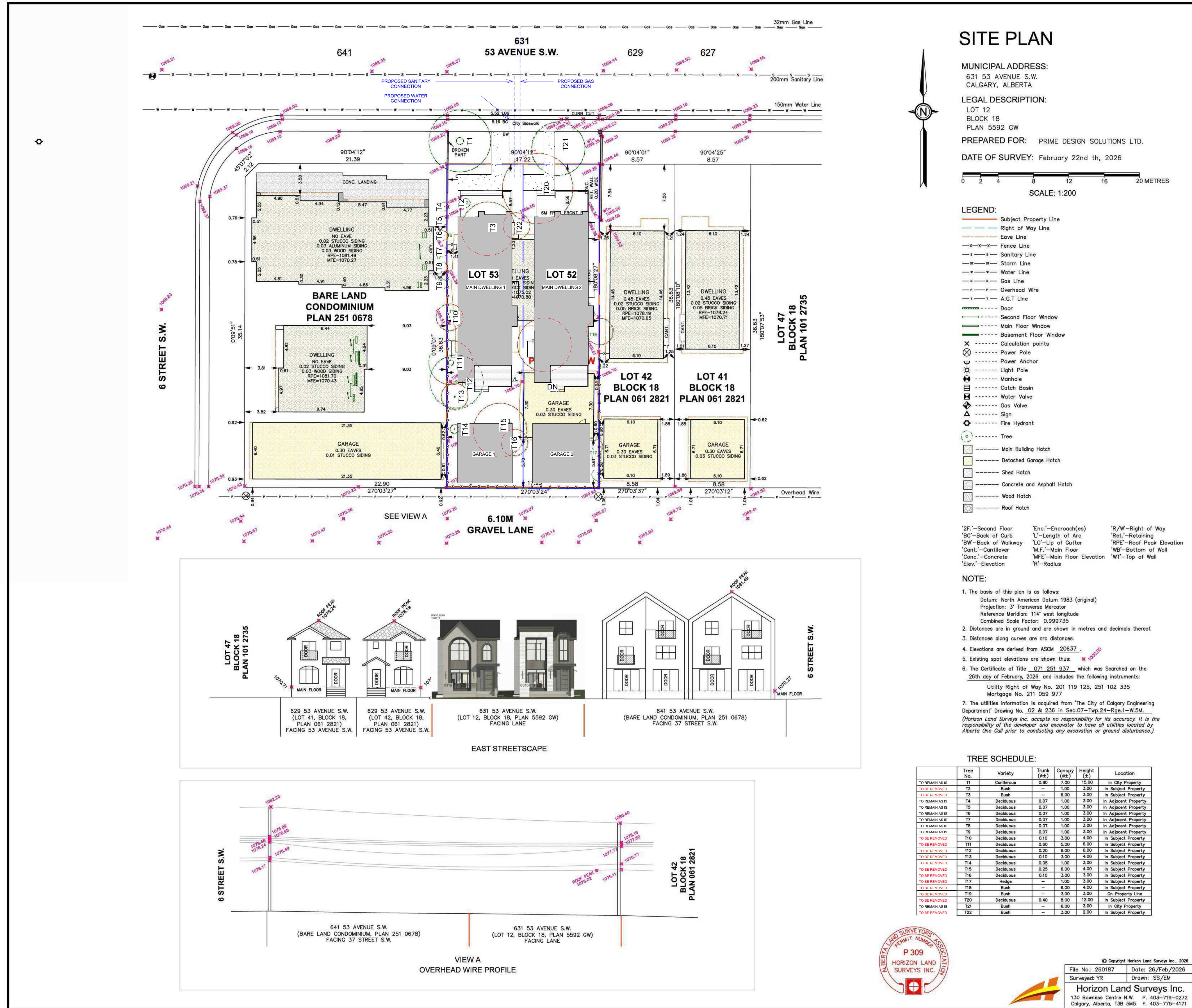


TRUNK DIAMETER (CM): 10
SCIENTIFIC NAME: COTONEASTER
SIZE AT MATURITY: SHRUB
MAINTAINED BY: CALGARY PARKS
TREE ID #: T-32048181
(TO REMAIN AS IS)

GRADE LEGEND	
XXXX.XX	EXISTING GRADE
XXXX.XX	PROPOSED GRADE

LOT 52 SITE COVERAGE	
SITE AREA:	3,395 ft ²
BUILDING FOOTPRINT:	1,156 ft ²
GARAGE FOOTPRINT:	410 ft ²
TOTAL LOT COVERAGE:	1,566 ft ²
LOT COVERAGE % :	46% (MAX. 45% PERMITTED)





MATERIAL LEGEND	
NO	DESCRIPTION
1	BOARD & BATTEN: DARK GREY
2	STONE VENEER: BROWN
3	HARDIE BOARD SIDING: GREY
4	HARDIE BOARD SIDING: DARK GREY
5	STONE VENEER: OFF WHITE
6	ASPHALT SHINGLES - COLOR: BLACK
7	SMART BOARD TRIM
8	CONCRETE

PRIMEDESIGN SOLUTIONS

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T: +1.403.970.7417
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720 28 ST. N.E. UNIT #128 CALGARY, AB

CONSULTANT

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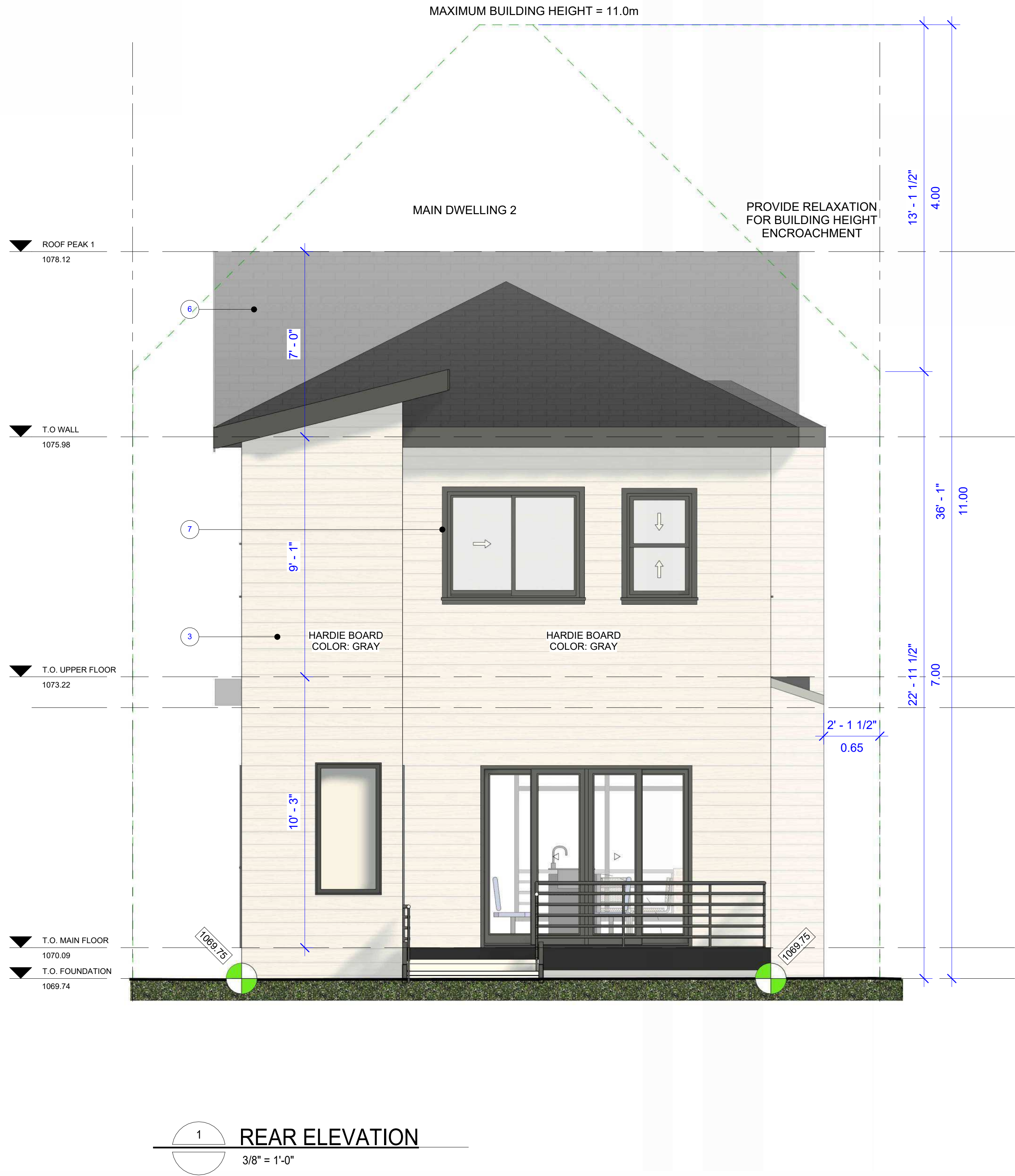
ELEVATIONS

SCALE: 3/8" = 1'-0"

A3.1

DATE: 2025-09-02

DRAWN BY: M.O.



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No.	Description	YY-MM-DD

ELEVATION

SCALE: 3/8" = 1'-0"

A3.3

DATE: 2025-09-02

DRAWN BY: Author





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REVISIONS

[illegible]

ELEVATION

A3.4

DRAWN BY: Author



SEAL

TRUE NORTH

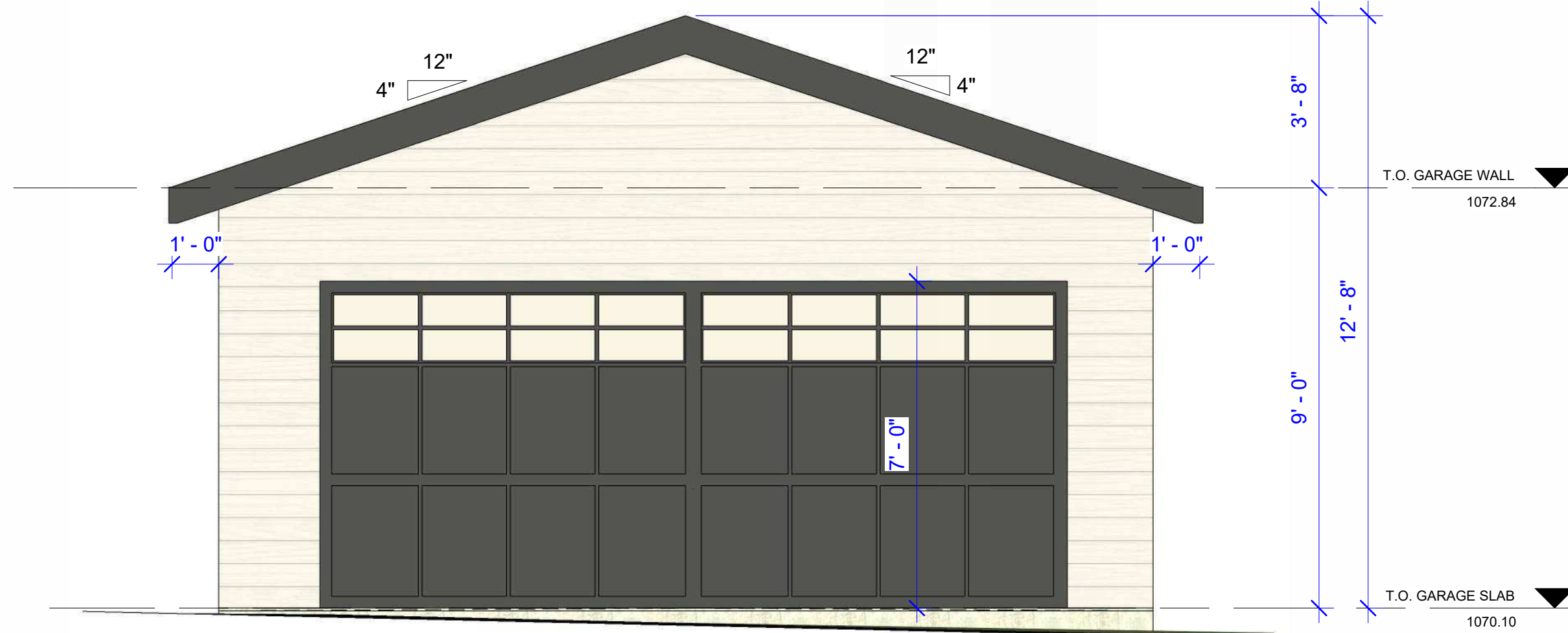
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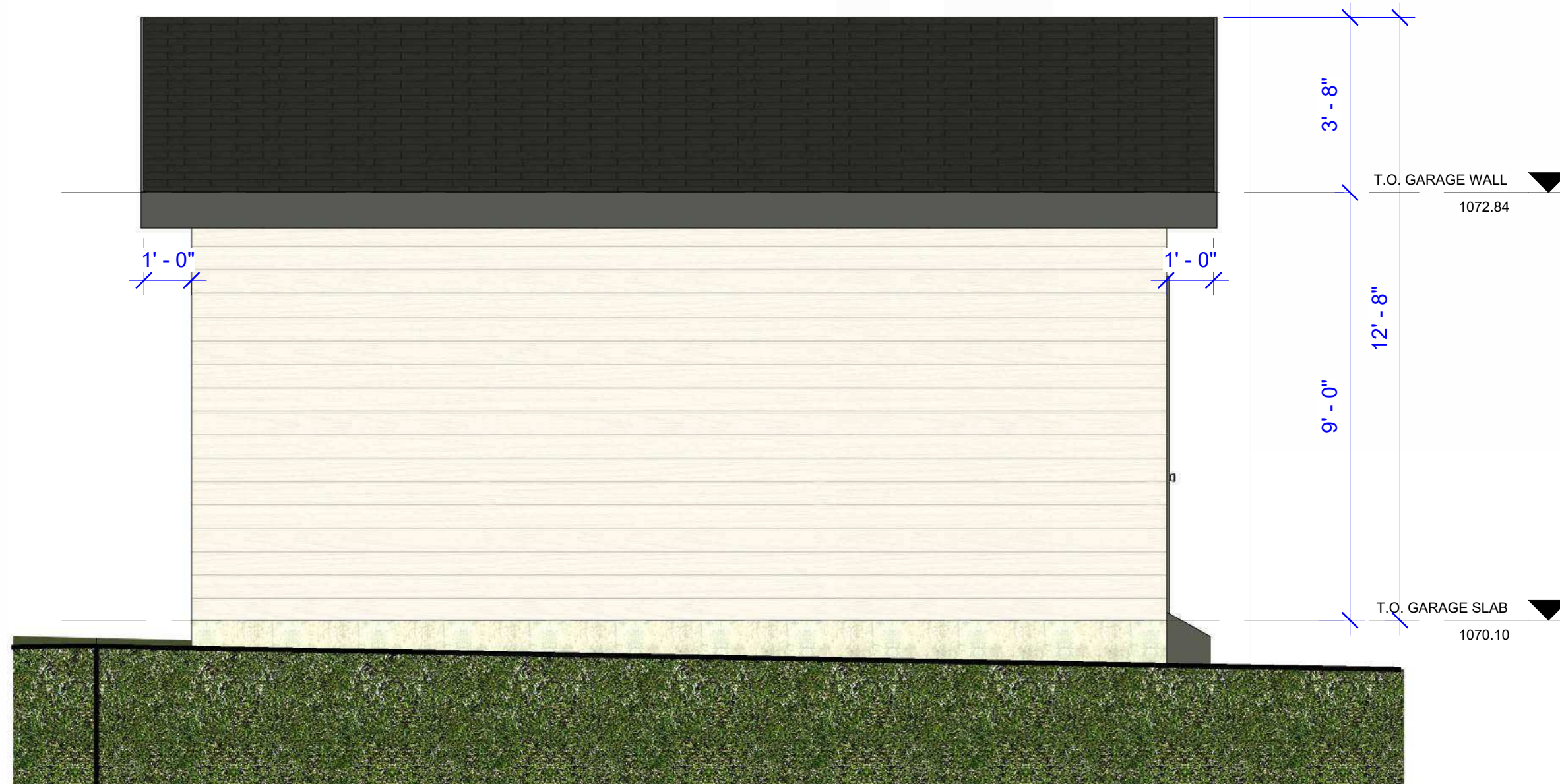
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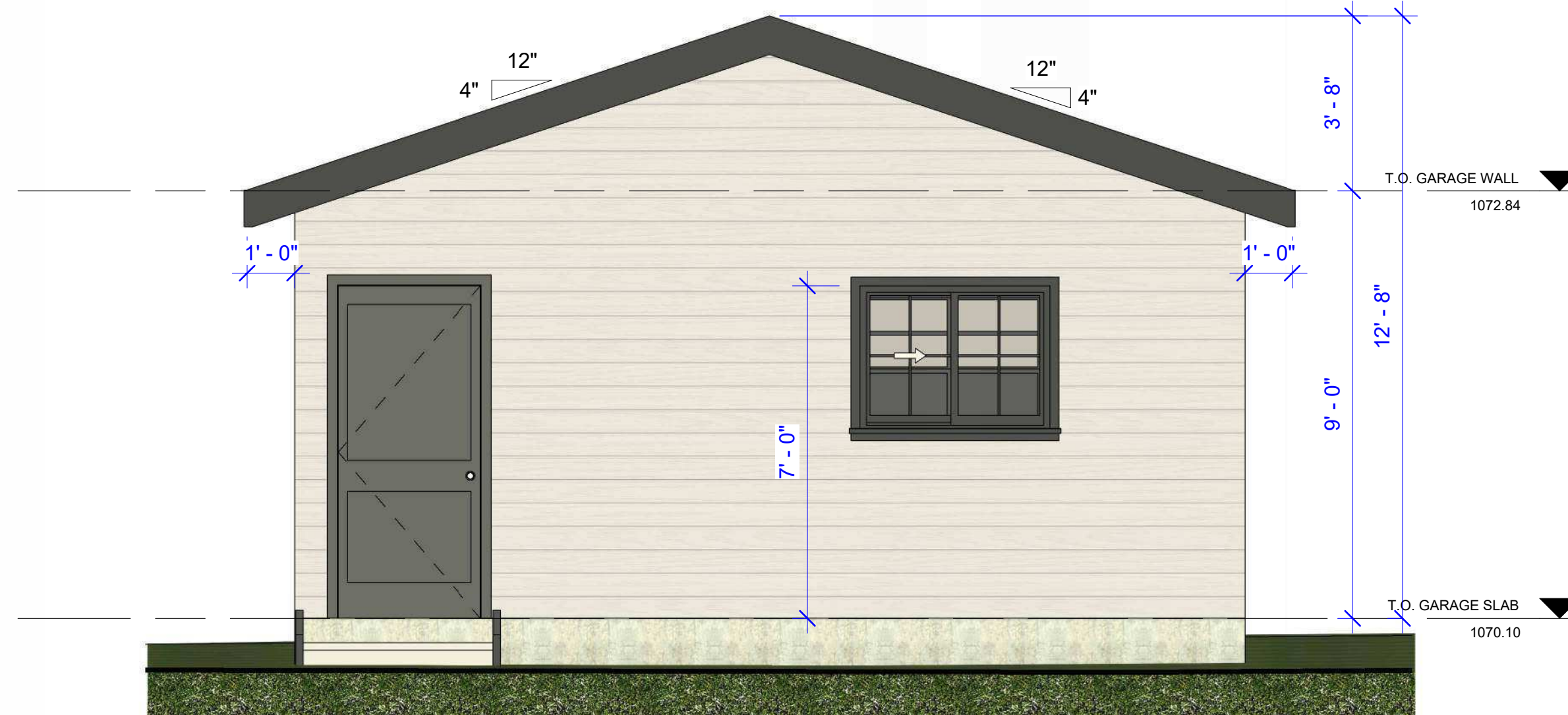
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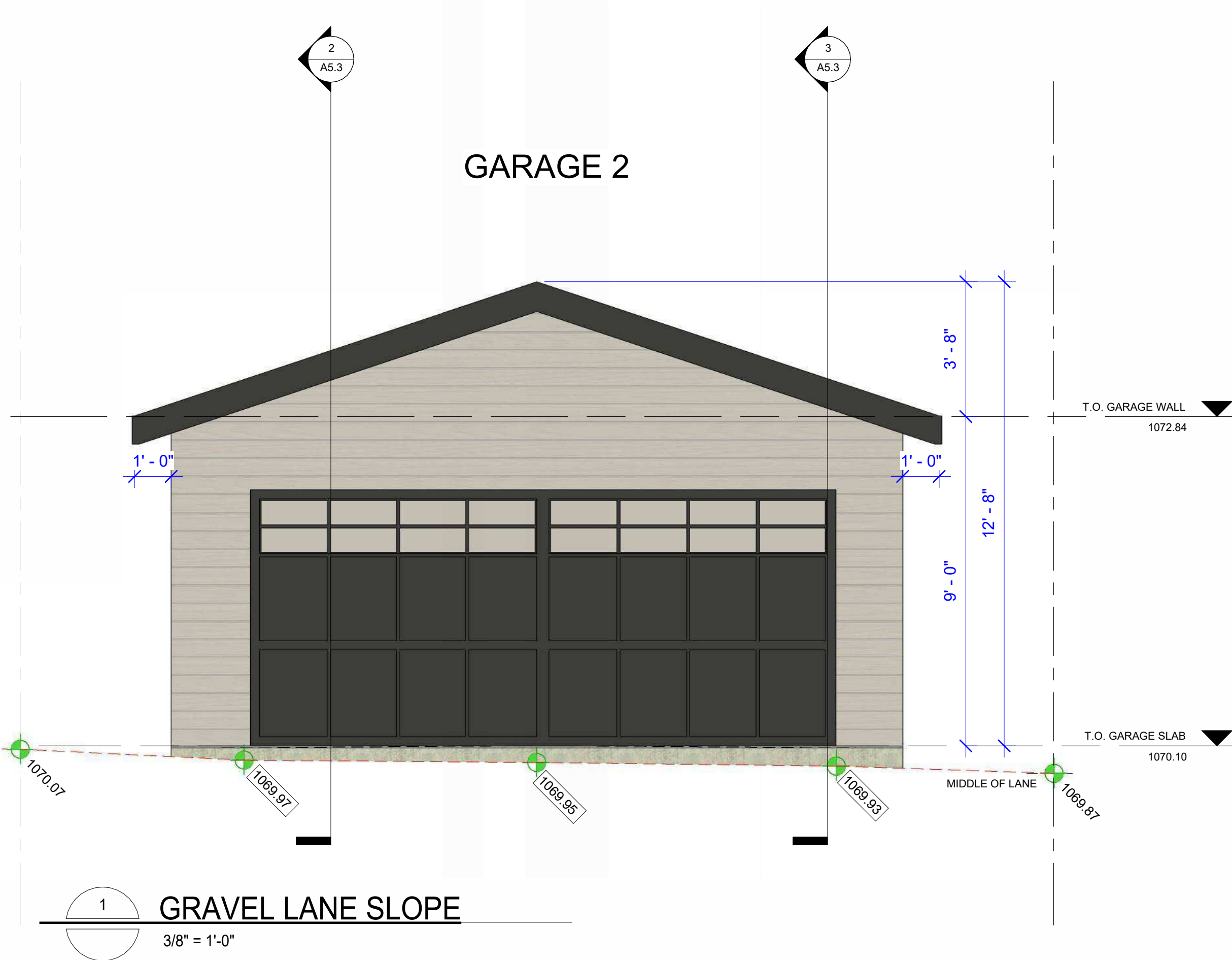
3 GARAGE 2 FRONT ELEVATION
3/8" = 1'-0"



4 GARAGE 2 SIDE ELEVATION
3/8" = 1'-0"



5 GARAGE 2 REAR ELEVATION
3/8" = 1'-0"



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GARAGE

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A5.3

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