



LIST OF DRAWINGS

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PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	13/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-04-17 9:38:35 AM

PROJECT NAME:
727 35th STREET N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 198-26

SCALE: AS SHOWN SHEET: A-0.0

FLOOR AREA - UNIT #518

BASEMENT =	945.67 SQ. FT.
MAIN =	945.67 SQ. FT.
UPPER =	1039.67 SQ. FT.
LOFT =	735.67 SQ.FT.
TOTAL =	2721.17 SQ. FT.

FLOOR AREA - UNIT #520

BASEMENT =	945.67 SQ. FT.
MAIN =	945.67 SQ. FT.
UPPER =	1039.67 SQ. FT.
LOFT =	735.67 SQ.FT.
TOTAL =	2721.17 SQ. FT.

EXTERIOR FINISHES:

- | | | | |
|---|---|---|-------------------------|
| 1 | ASPHALT SHINGLES | 5 | BRICK FINISH AS SPEC'D. |
| 2 | 6" ALUMINUM FASCIA | 6 | CONC. PARGING |
| 3 | HARDIE FINISH - LIGHT GREY (HORIZONTAL) | 7 | CAST IN PLACE CONCRETE |
| 4 | HARDIE FINISH - LIGHT GREY (VERTICAL) | 8 | TORCH-ON ROOF |

NOTE:
-SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED TO ACCOMMODATE CUSTOM WINDOWS

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	13/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

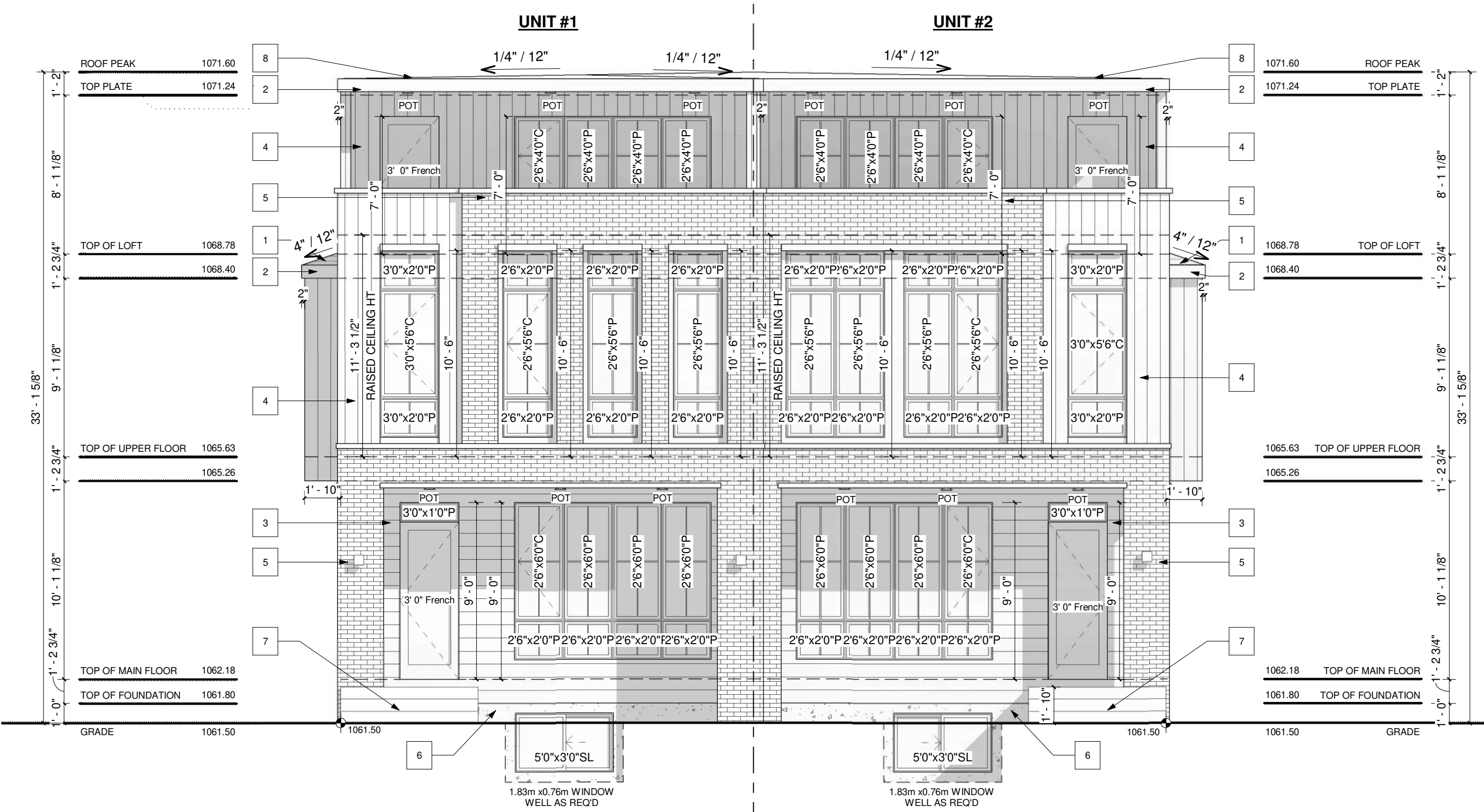
SIGNATURES:
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PRINTED: 2026-04-17 9:38:38 AM

PROJECT NAME:
727 35th STREET N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 198-26

SCALE: AS SHOWN SHEET: A-2.0



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | |
|---|---------------------------|
| 1 ASPHALT SHINGLES | 5 BRICK FINISH AS SPEC'D. |
| 2 6" ALUMINUM FASCIA | 6 CONC. PARGING |
| 3 HARDIE FINISH - LIGHT GREY (HORIZONTAL) | 7 CAST IN PLACE CONCRETE |
| 4 HARDIE FINISH - LIGHT GREY (VERTICAL) | 8 TORCH-ON ROOF |

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

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ISSUES:

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02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: **SEMI DETACHED**

STATUS: -

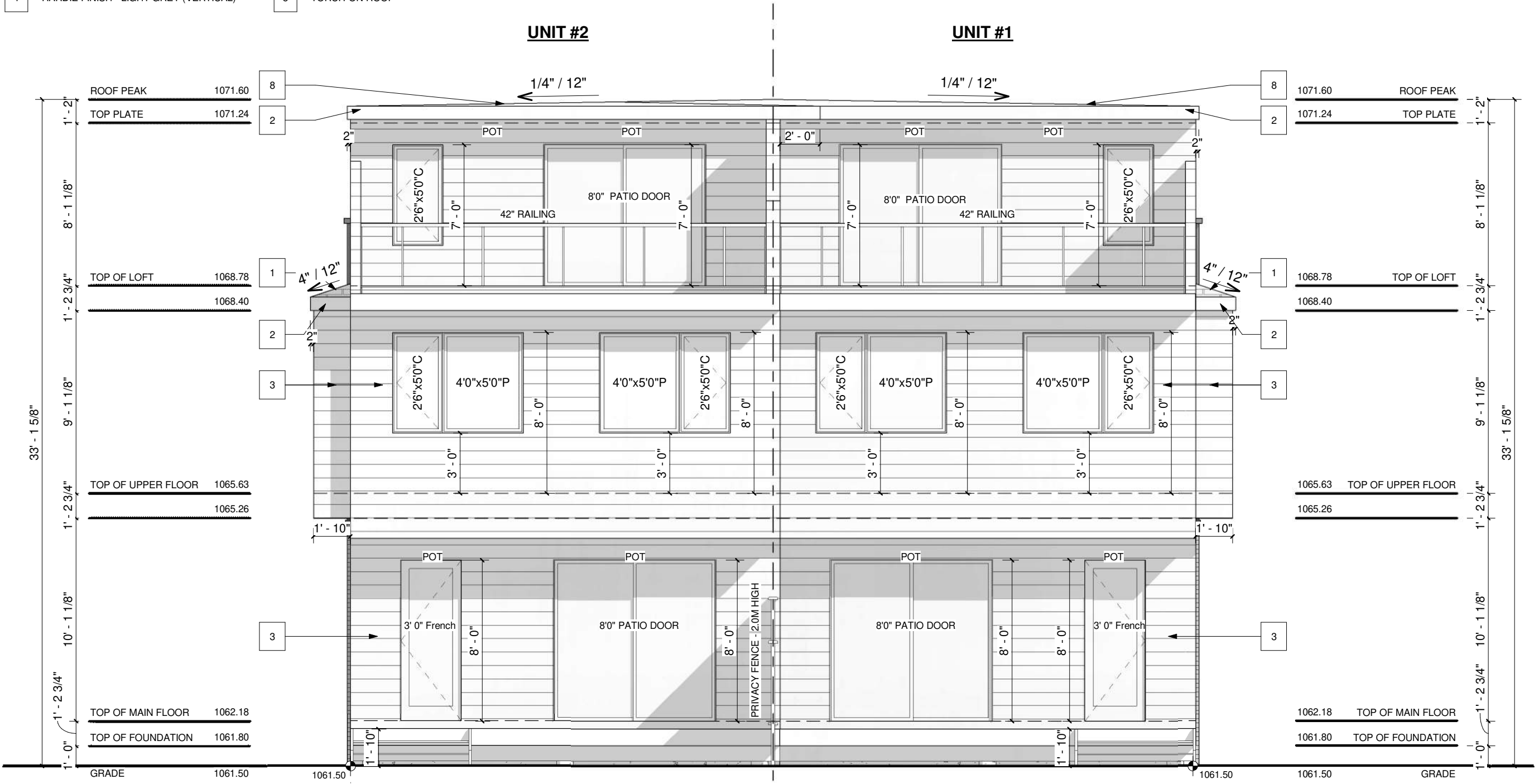
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PROJECT NAME:
727 35th STREET N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 198-26

SCALE: AS SHOWN SHEET: A-2.1



REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | | | |
|---|---|---|-------------------------|
| 1 | ASPHALT SHINGLES | 5 | BRICK FINISH AS SPEC'D. |
| 2 | 6" ALUMINUM FASCIA | 6 | CONC. PAVING |
| 3 | HARDIE FINISH - LIGHT GREY (HORIZONTAL) | 7 | CAST IN PLACE CONCRETE |
| 4 | HARDIE FINISH - LIGHT GREY (VERTICAL) | 8 | TORCH-ON ROOF |

WINDOW CALCULATION
 WALL AREA = 1377.00 SQ. FT.
 WINDOW AREA = 39.78 SQ. FT.
 TOTAL: 39.78 / 1377.00 = 2.89%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	13/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: **SEMI DETACHED**

STATUS: -
 SIGNATURES:
 X _____

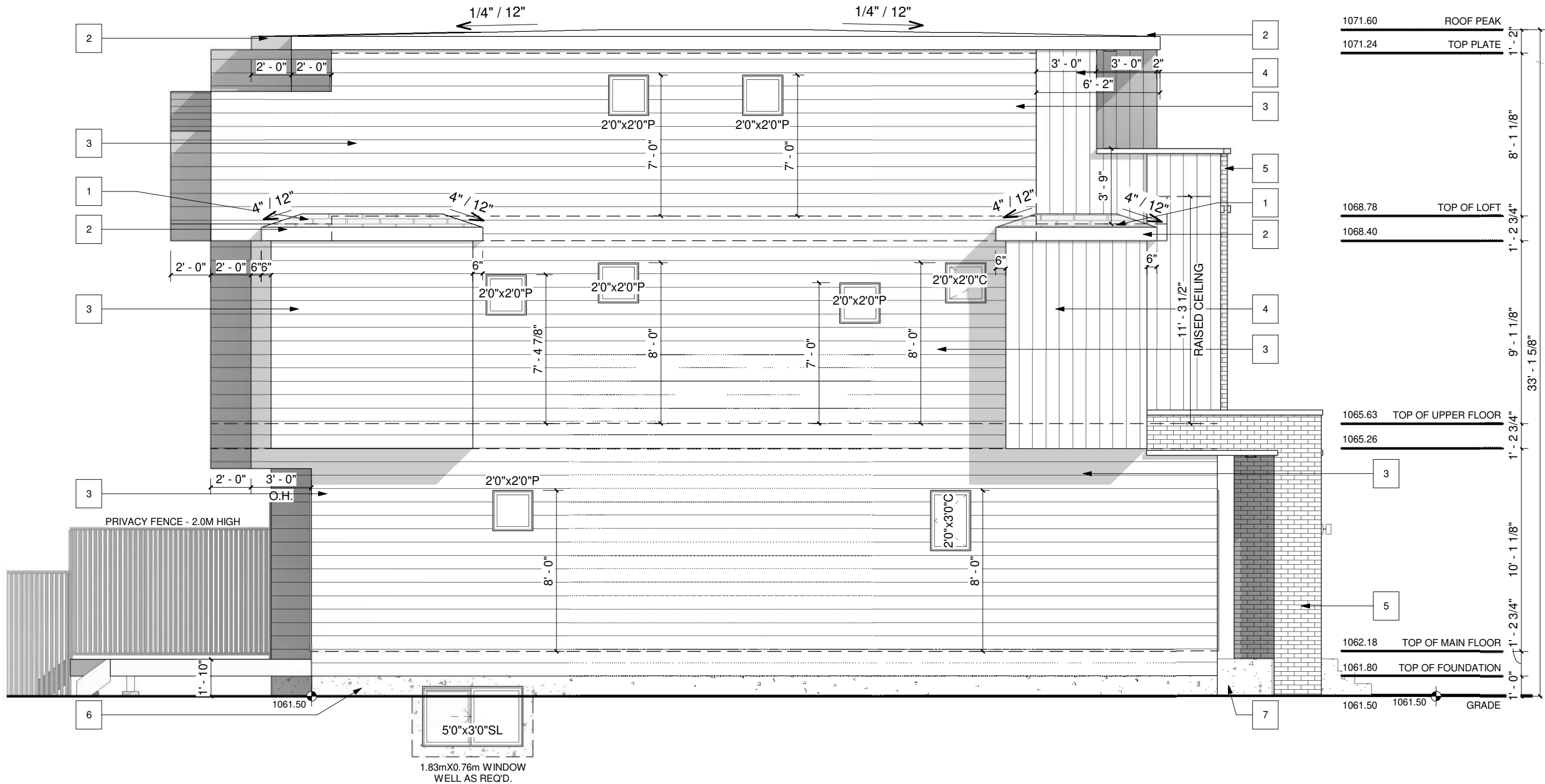
PRINTED: 2026-04-17 9:38:42 AM

PROJECT NAME:
 727 35th STREET N.W.
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 198-26

SCALE: AS SHOWN SHEET: A-2.2

UNIT #1



LEFT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | | | |
|---|---|---|-------------------------|
| 1 | ASPHALT SHINGLES | 5 | BRICK FINISH AS SPEC'D. |
| 2 | 6" ALUMINUM FASCIA | 6 | CONC. PAVING |
| 3 | HARDIE FINISH - LIGHT GREY (HORIZONTAL) | 7 | CAST IN PLACE CONCRETE |
| 4 | HARDIE FINISH - LIGHT GREY (VERTICAL) | 8 | TORCH-ON ROOF |

WINDOW CALCULATION
 WALL AREA = 1377.00 SQ. FT.
 WINDOW AREA = 36.81 SQ. FT.
 TOTAL: 39.78 / 1377.00 = 2.89%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

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01.	13/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
 X _____

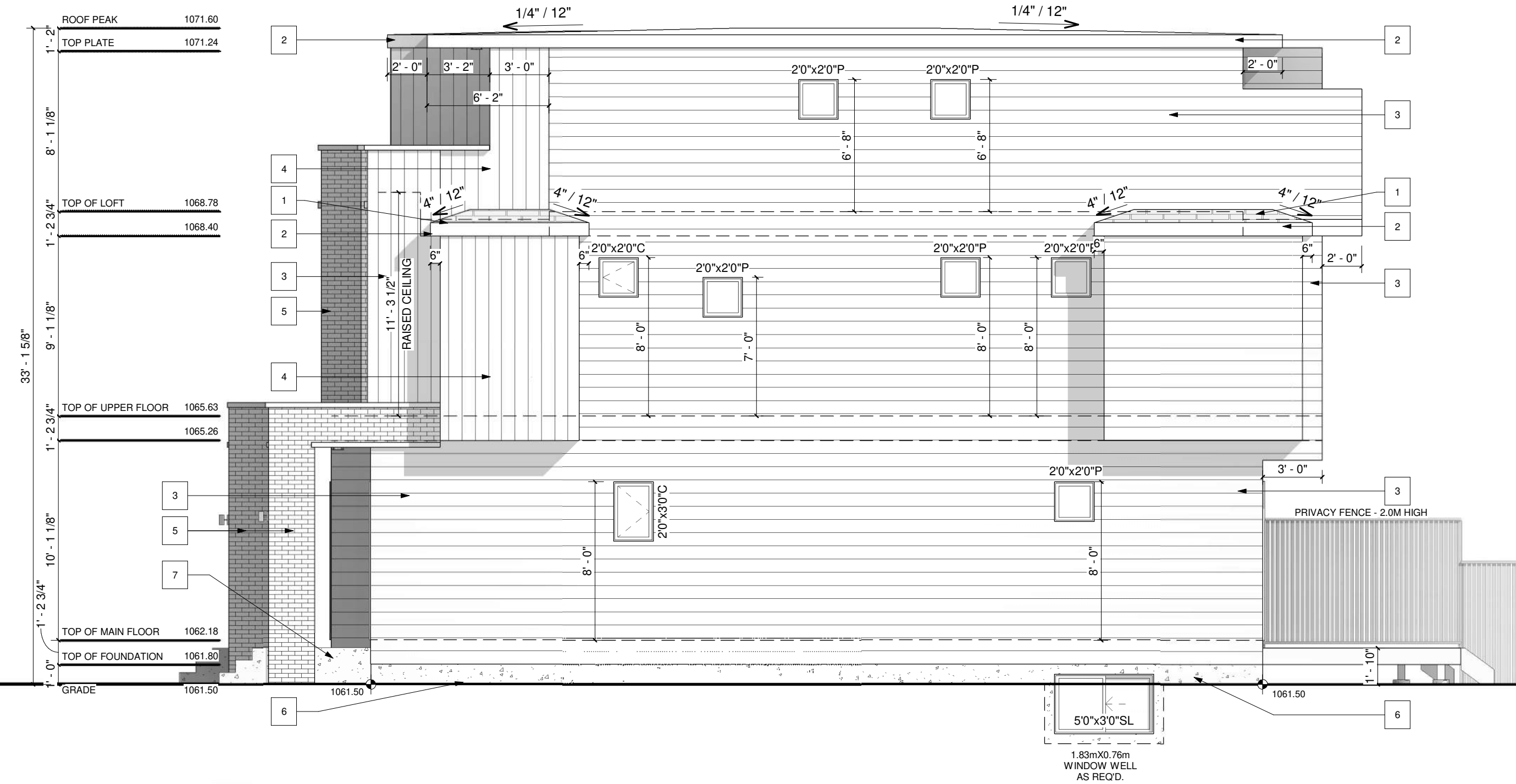
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PROJECT NAME:
 727 35th STREET N.W.
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 198-26

SCALE: AS SHOWN SHEET: A-2.3

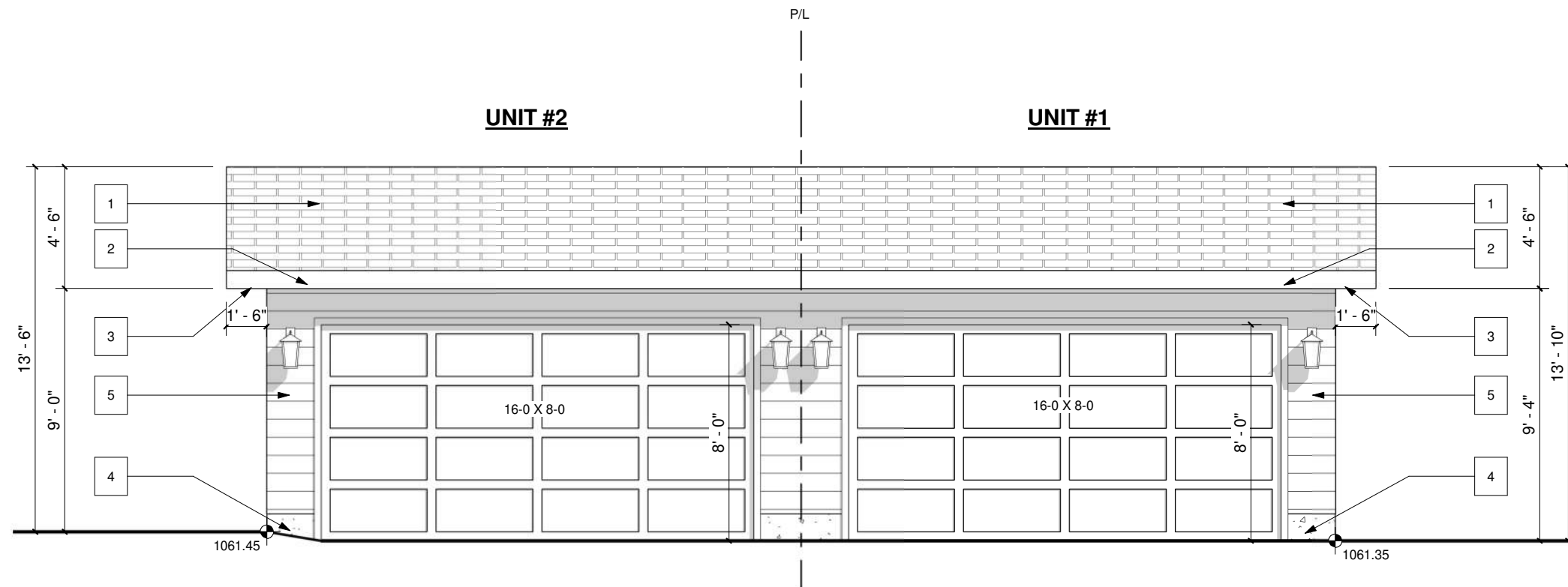
UNIT #2



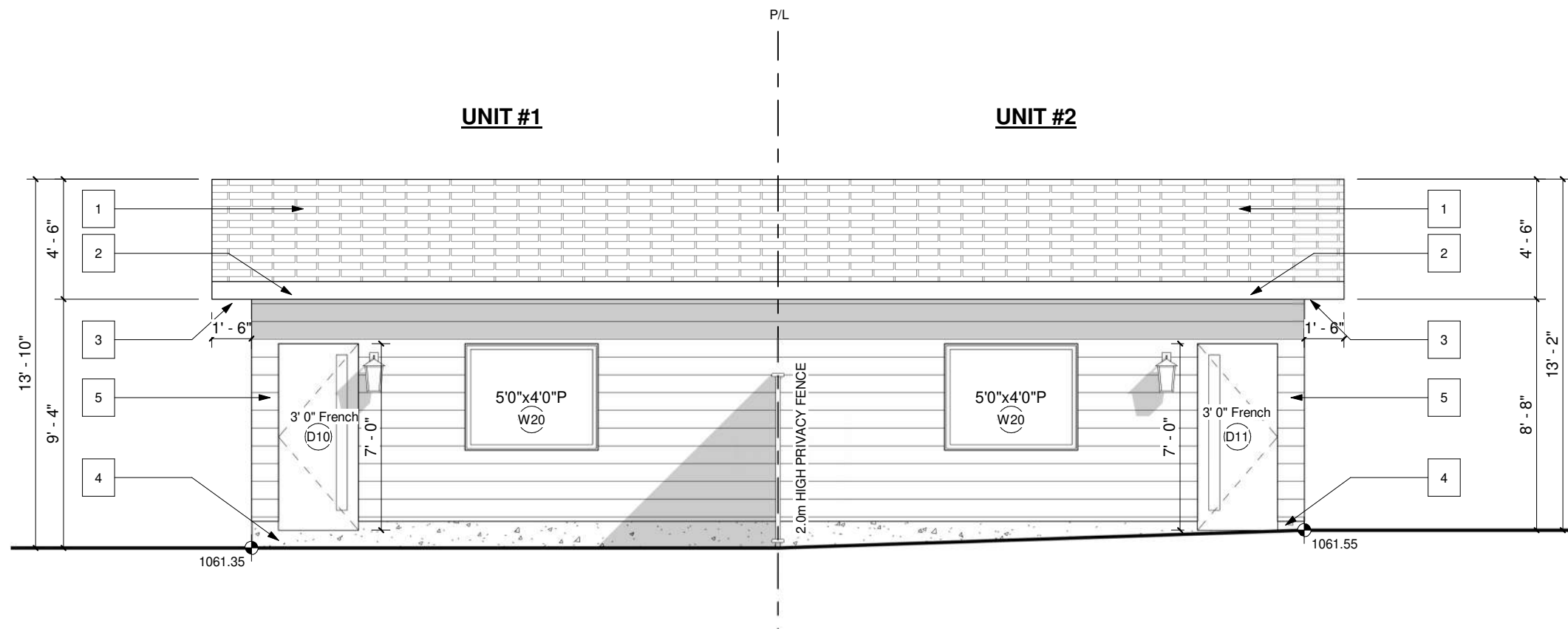
RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 HARDIE FINISH



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	13/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-04-17 9:38:45 AM

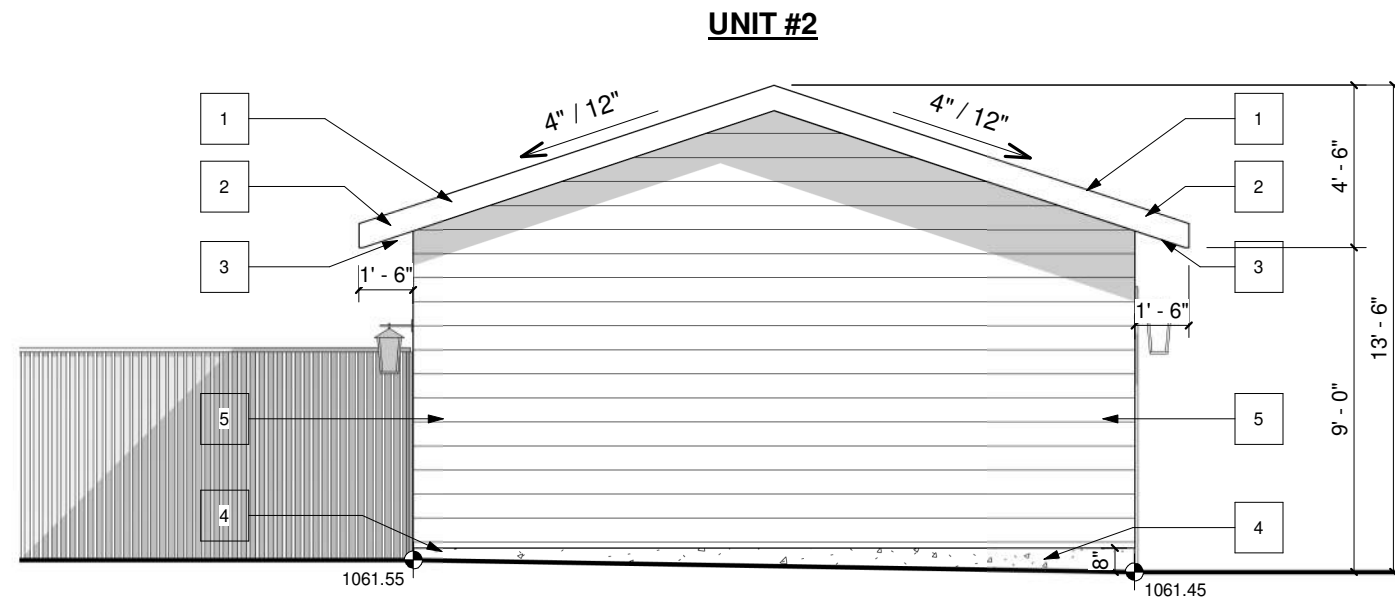
PROJECT NAME:
727 35th STREET N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 198-26

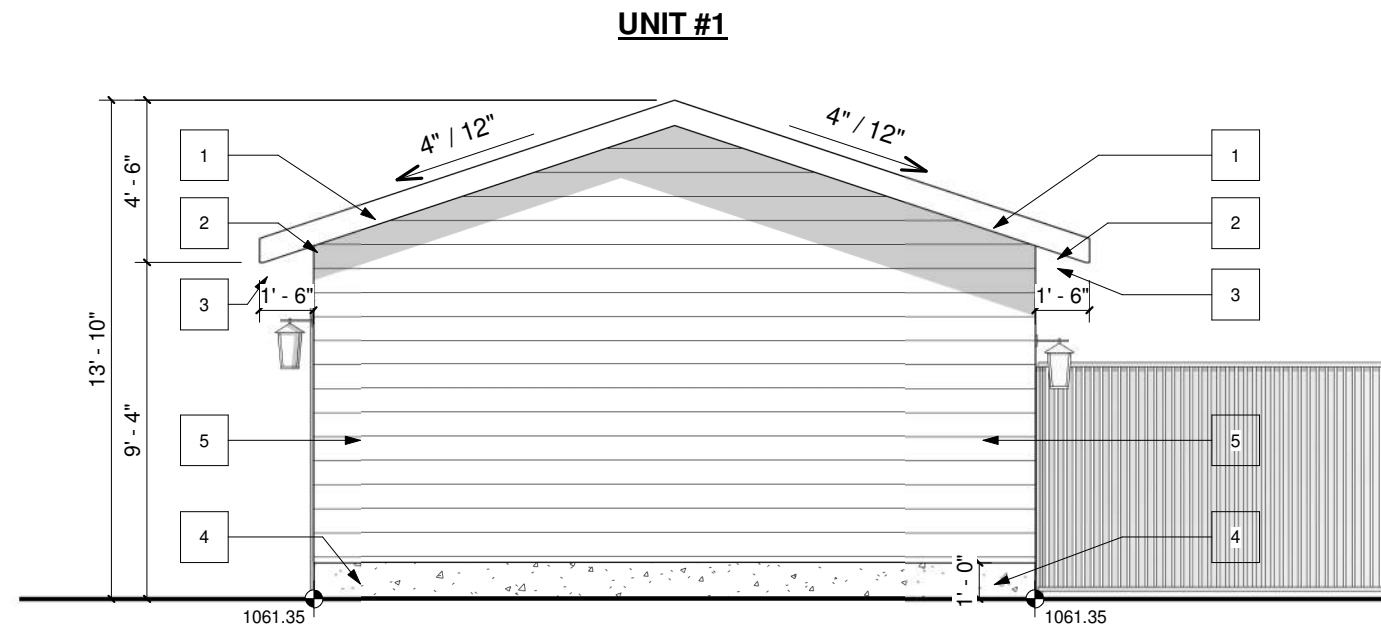
SCALE: AS SHOWN SHEET: A-3.1

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 HARDIE FINISH



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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01.	13/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-04-17 9:38:45 AM

PROJECT NAME:
727 35th STREET N.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 198-26

SCALE: AS SHOWN SHEET: A-3.2

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 140368
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- ⊠ denotes Water Valve
- ⊠ denotes Gas Valve
- ⊠ denotes Manhole
- ⊠ denotes Tree
- ⊠ denotes Power Pole
- ⊠ denotes Sign
- ⊠ denotes Light Standard
- X-X- denotes Fence
- S-S- denotes Sanitary Line
- ST-ST- denotes Storm Line
- W-W- denotes Water Line
- G-G- denotes Gas Line
- E-E- denotes Electrical Line
- A.G.T. denotes A.G.T. Line
- U.R.O.W. denotes Utility Right of Way Line
- P.P.L. denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall
 'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE 1:200

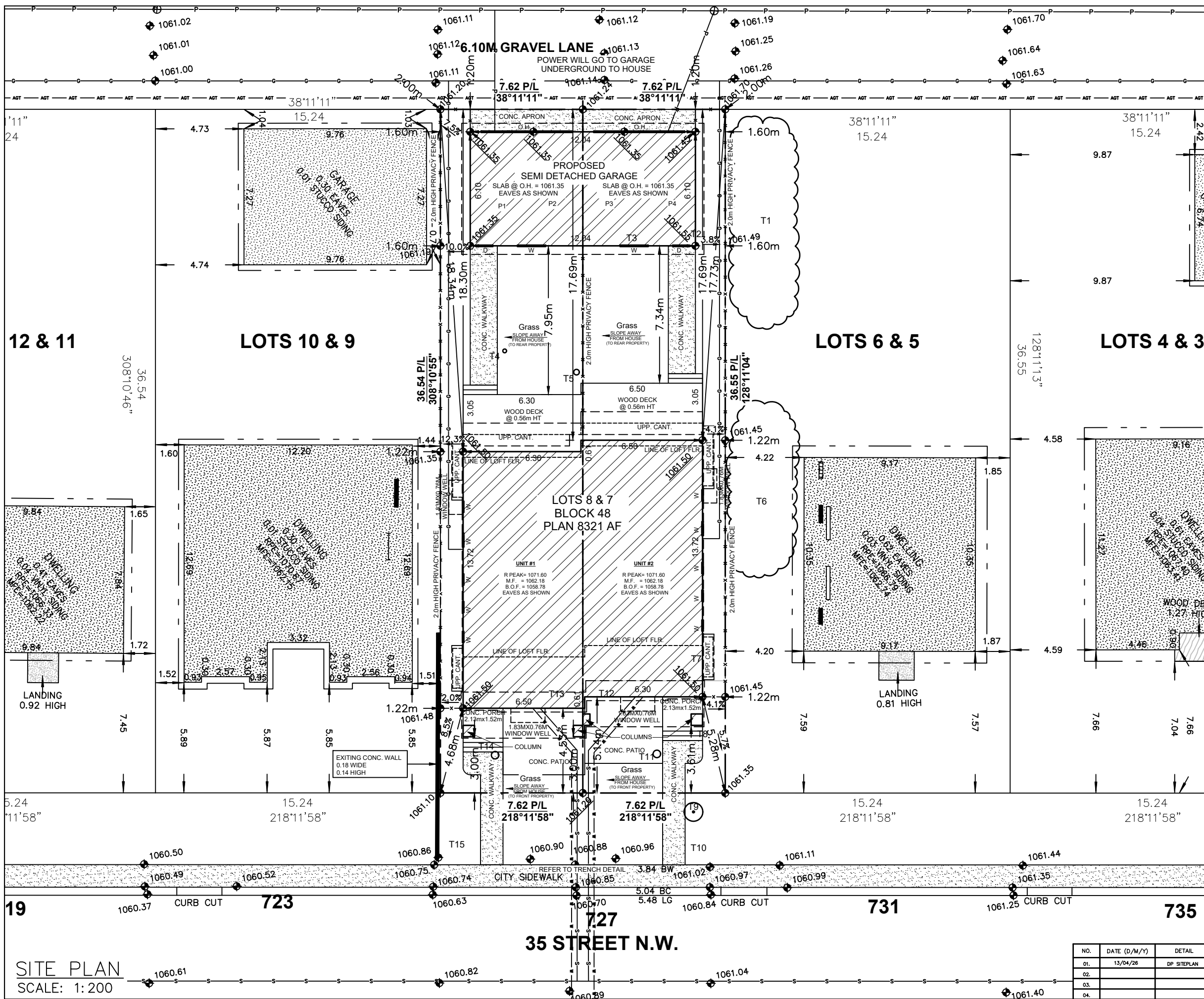
LEGAL DESCRIPTION:

Lots 8 & 7
 Block 48
 Plan 8321 AF

MUNICIPAL ADDRESS:

727 - 35th STREET N.W.
 Calgary, Alberta

LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)	LOT COVERAGE DETAIL: (UNIT #1)	LOT COVERAGE DETAIL: (UNIT #2)
LOT SIZE: 556.558 SQ M HOUSE SIZE: 175.711 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M WING WALL: 1.347 SQ M GARAGE: 73.393 SQ M TOTAL: 250.451/556.558 = 44.98%	LOT SIZE: 278.272 SQ M HOUSE SIZE: 87.855 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M WING WALL: 0.681 SQ M GARAGE: 36.697 SQ M TOTAL: 125.233/278.272 = 45.00%	LOT SIZE: 278.286 SQ M HOUSE SIZE: 87.855 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M WING WALL: 0.666 SQ M GARAGE: 36.697 SQ M TOTAL: 125.218/278.286 = 44.99%



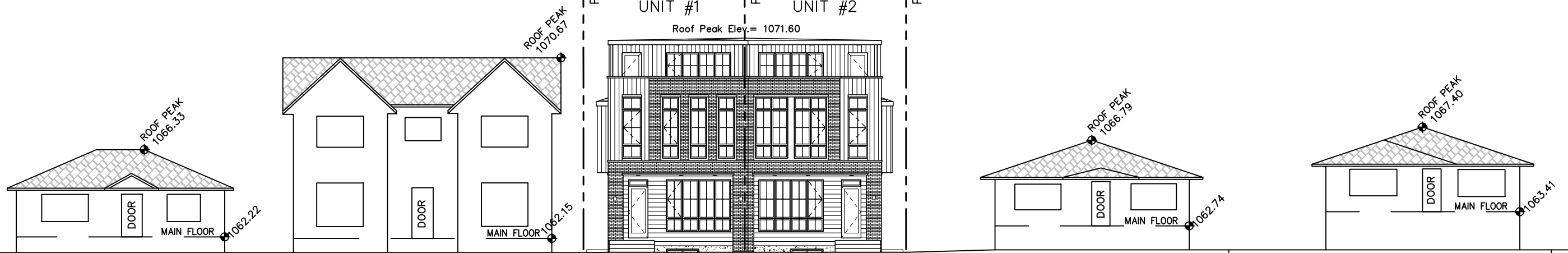
SITE PLAN

SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	13/04/26	DP SITEPLAN	D.L.	727 35th STREET NW Calgary, Alberta	SEMI DETACHED HOUSE	1:200
02.				Lots 8 & 7 Block 48 Plan 8321 AF		
03.					DATE: APR 13, 2026	DIVISION NUMBER: S 01
04.						

LOT 13

LOT 2



719 35 STREET N.W.
(LOTS 12 & 11, BLOCK 48, PLAN 8321 AF)
FACING 35 STREET N.W.

723 35 STREET N.W.
(LOTS 10 & 9, BLOCK 48, PLAN 8321 AF)
FACING 35 STREET N.W.

727 35 STREET N.W.
(LOTS 8 & 7, BLOCK 48, PLAN 8321 AF)
FACING 35 STREET N.W.

731 35 STREET N.W.
(LOTS 6 & 5, BLOCK 48, PLAN 8321 AF)
FACING 35 STREET N.W.

735 35 STREET N.W.
(LOTS 4 & 3, BLOCK 48, PLAN 8321 AF)
FACING 35 STREET N.W.

STREETSCAPE

SCALE: 1:200

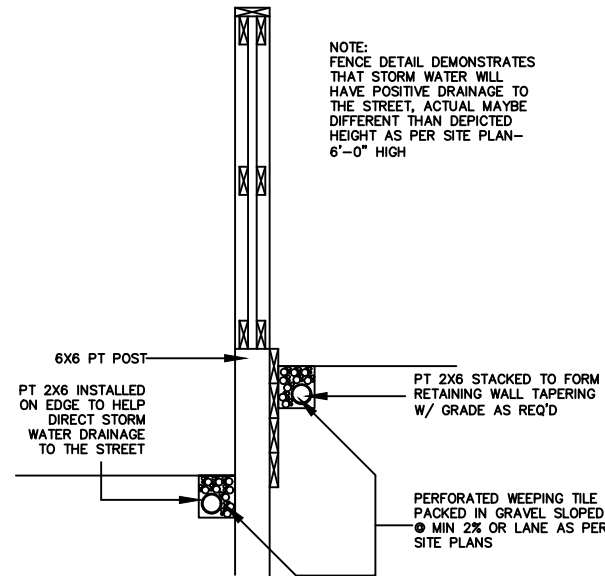
SOUTH EAST STREETSCAPE

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Bush	-	4.00	4.00	In Adjacent Property	To Stay
T2	Bush	-	1.50	1.50	In Subject Property	To be Removed
T3	Bush	-	1.50	1.50	In Subject Property	To be Removed
T4	Deciduous	0.20	3.00	3.50	In Subject Property	To be Removed
T5	Deciduous	0.30	4.00	3.50	In Subject Property	To be Removed
T6	Bush	-	4.00	4.00	In Adjacent Property	To Stay
T7	Bush	-	1.00	1.50	In Subject Property	To be Removed
T8	Bush	-	1.00	1.50	In Subject Property	To be Removed
T9	Coniferous	0.10	1.00	2.00	In City Property	To Stay
T10	Bush	-	1.50	1.50	In City Property	To be Removed
T11	Deciduous	0.40	1.50	4.00	In Subject Property	To be Removed
T12	Bush	-	1.50	1.50	In Subject Property	To be Removed
T13	Bush	-	1.50	1.50	In Subject Property	To be Removed
T14	Deciduous	0.40	3.00	4.00	In Subject Property	To be Removed
T15	Bush	-	1.50	1.50	In City Property	To be Removed

SEMI DETACHED SQFT:

	UNIT #1	UNIT #2
BASEMENT	945.67 SQ FT	945.67 SQ FT
MAIN FLOOR	945.67 SQ FT	945.67 SQ FT
UPPER FLOOR	1039.67 SQ FT	1039.67 SQ FT
LOFT FLOOR	735.67 SQ FT	735.67 SQ FT
TOTAL AREA	2721.17 SQ FT	2721.17 SQ FT

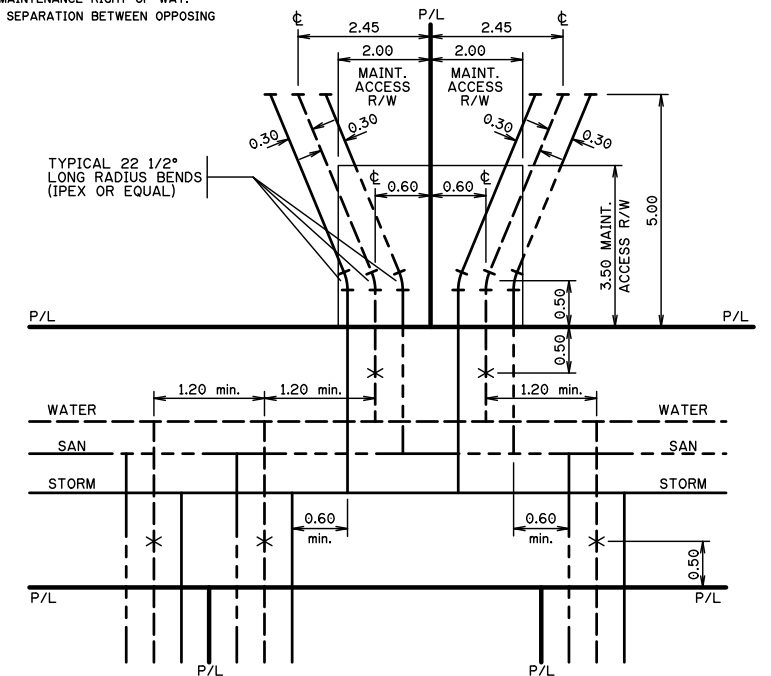


FENCE SECTION DETAIL

SCALE: NTS

NOTES:

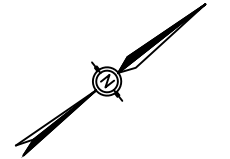
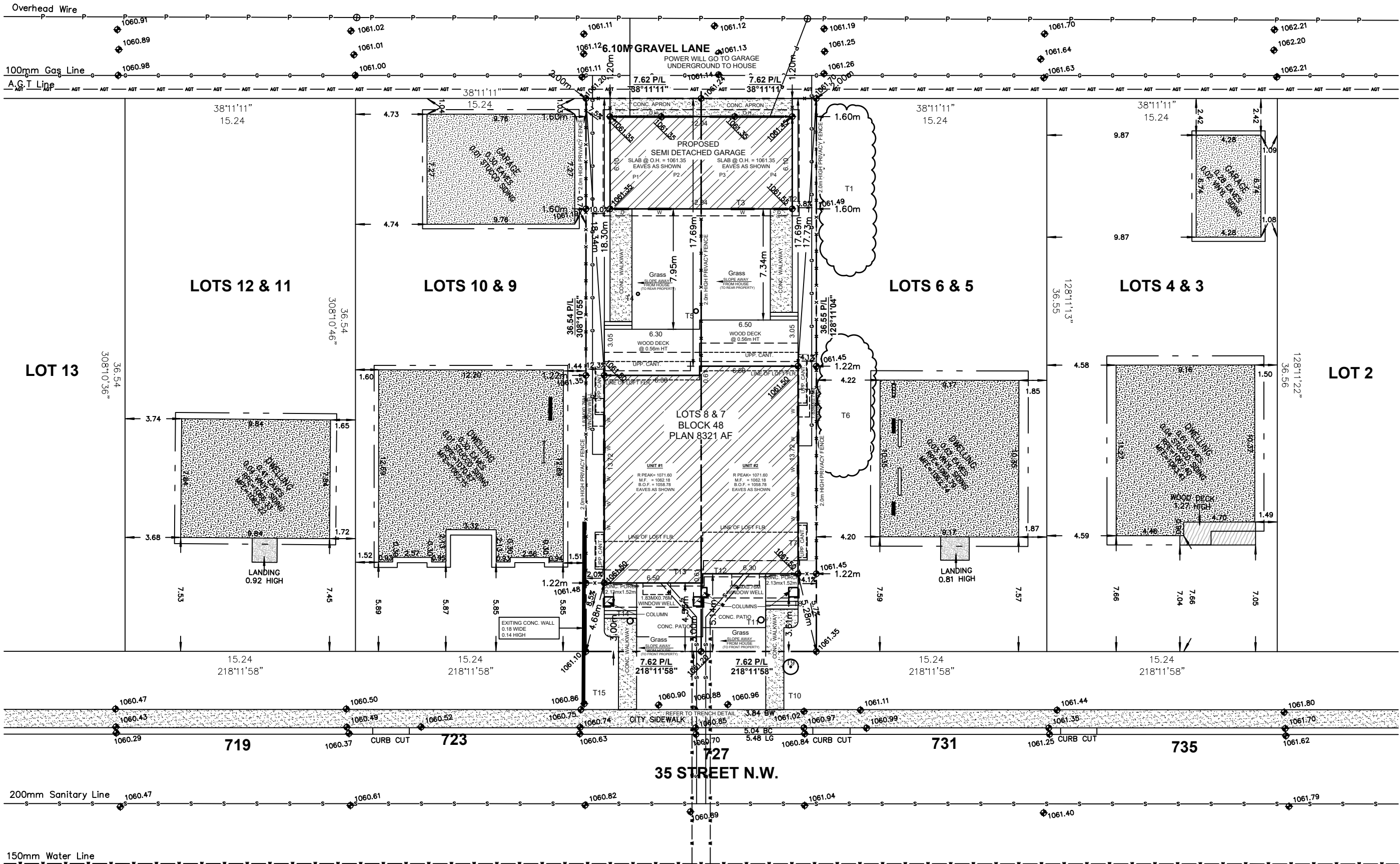
- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
- DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
- SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
- THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
- DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
- WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22 1/2 DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL

SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	13/04/26	DP SITEPLAN	D.L.	727 35th STREET NW Calgary, Alberta	SEMI DETACHED HOUSE	AS SHOWN
02.				Lots 8 & 7 Block 48		
03.				Plan 8321 AF		
04.						
					DATE:	DIVISION NUMBER
					APR 13, 2026	S 02



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	13/04/26	DP SITEPLAN	D.L.	727 35th STREET NW Calgary, Alberta	SEMI DETACHED HOUSE	1: 200
02.				Lots 8 & 7 Block 48 Plan 8321 AF	DATE:	DIVISION NUMBER
03.					APR 13, 2026	S 03
04.						