

# This is a **contextual** application

## What's the difference?

The information below came from the Land Use Bylaw, please visit

for more information.



VS.



### Contextual Single Detached Dwelling

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

- The City
- The public

### Single Detached Dwelling

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

- The City
- The public

**Tip:** Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

**Contextual Single Detached** dwelling applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

#### What if the application does not meet the rules?

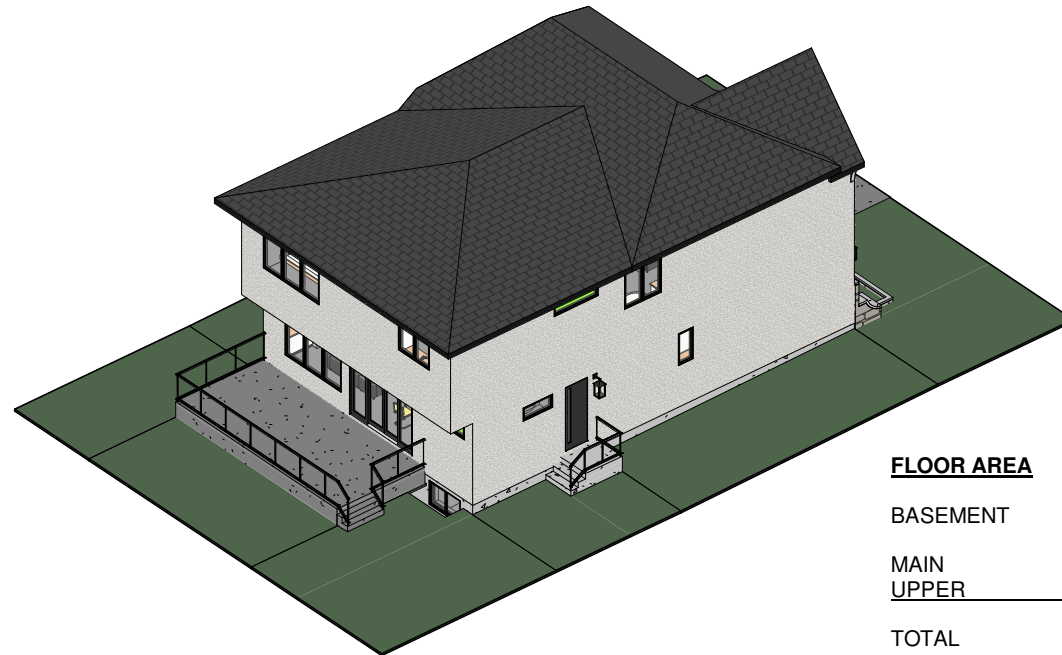
If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Single Detached** dwelling which would allow The City and the public to comment.



The City has reviewed this application and determined that it meets the contextual rules.

**These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.**

Learn more at:  
**Calgary.ca/development**



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-4.0	Garage Floor Plans
A-4.1	Garage Front & Rear Elevation
A-4.2	Garage Left & Right Elevation
A-4.3	Garage Section

PROJECT NOTES:

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	21/04/2026	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **NEW HOME**

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-04-21 10:09:27 AM

PROJECT NAME:  
1817 - 31 Ave S.W.  
CALGARY, ALBERTA

DESIGNER: JT      JOB #: 202-26

SCALE: AS SHOWN      SHEET: A-0.0

**FLOOR AREA**

BASEMENT = 1620.00 SQ. FT.

MAIN = 1620.00 SQ. FT.

UPPER = 1553.78 SQ. FT.

TOTAL = 3173.78 SQ. FT.

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA / EAVES
- 3 STUCCO - WHITE
- 4 STONE CLADDING
- 5 BOARD & BATTEN - BLACK/DARK GREY
- 6 CAST-IN PLACE CONCRETE
- 7 CONCRETE PARGING

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

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05.	--	--	--



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PROJECT: **NEW HOME**

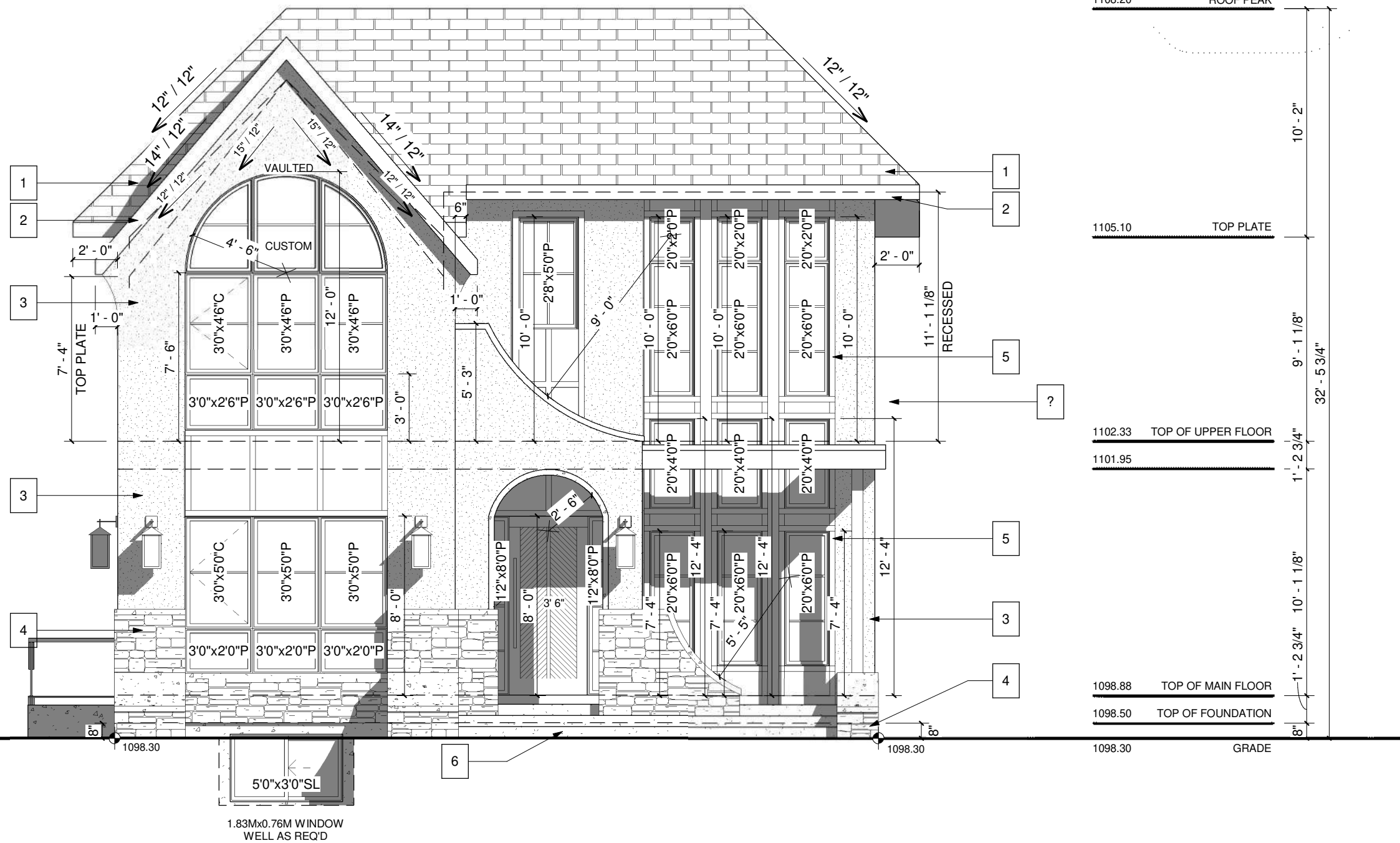
STATUS: -  
 SIGNATURES:  
 X \_\_\_\_\_

PRINTED: 2026-04-21 10:09:33 AM

PROJECT NAME:  
 1817 - 31 Ave S.W.  
 CALGARY, ALBERTA

DESIGNER: JT      JOB #: 202-26

SCALE: AS SHOWN      SHEET: A-2.0



**FRONT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA / EAVES
- 3 STUCCO - WHITE
- 4 STONE CLADDING
- 5 BOARD & BATTEN - BLACK/DARK GREY
- 6 CAST-IN PLACE CONCRETE
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05.	--	--	--



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PROJECT: **NEW HOME**

STATUS: -

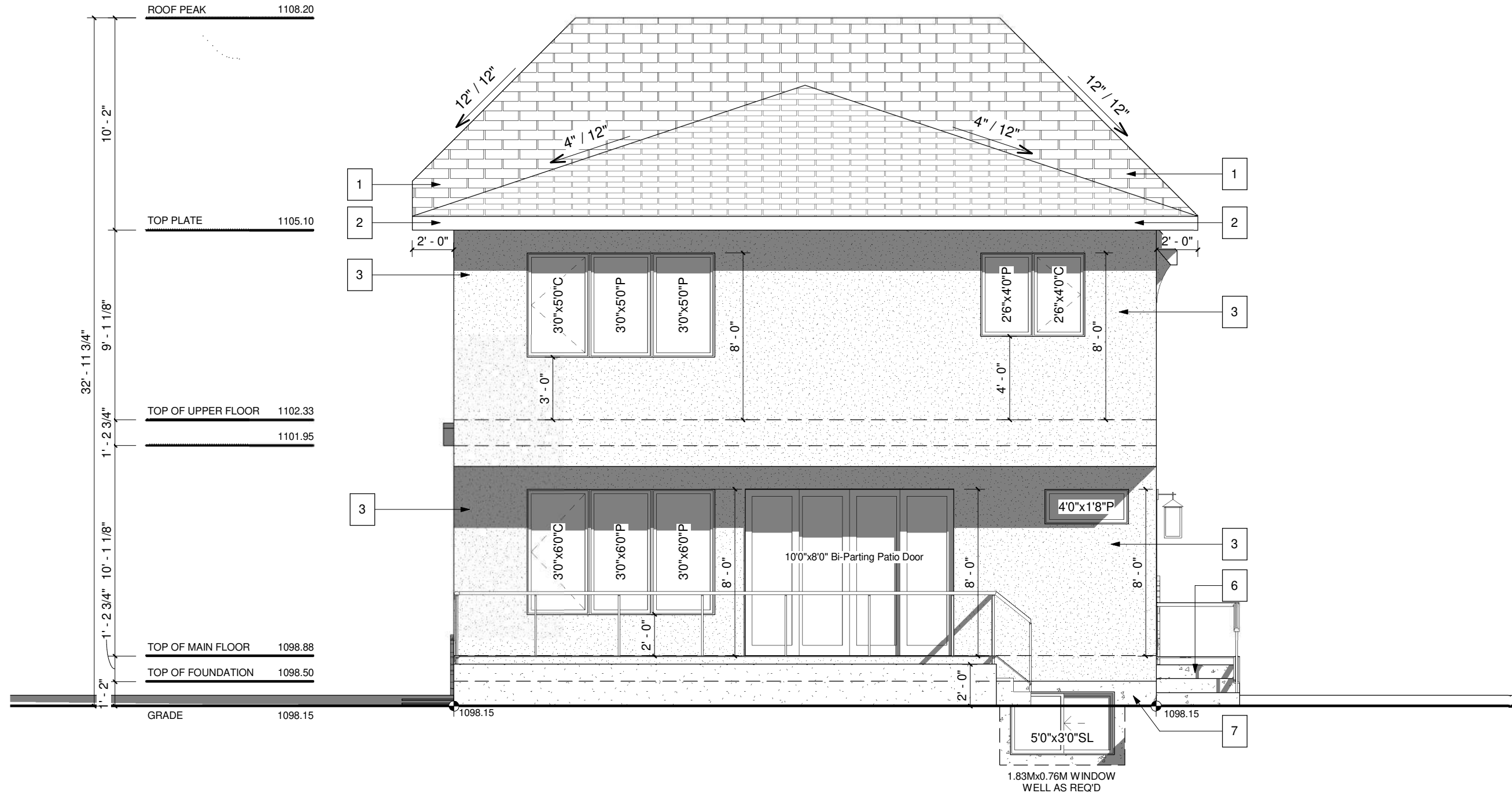
SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-04-21 10:09:34 AM

PROJECT NAME:  
1817 - 31 Ave S.W.  
CALGARY, ALBERTA

DESIGNER: JT      JOB #: 202-26

SCALE: AS SHOWN      SHEET: A-2.1



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA / EAVES
- 3 STUCCO - WHITE
- 4 STONE CLADDING
- 5 BOARD & BATTEN - BLACK/DARK GREY
- 6 CAST-IN PLACE CONCRETE
- 7 CONCRETE PARGING

**WINDOW CALCULATION**

WALL AREA = 1204.75 SQ. FT.  
 WINDOW AREA = 55.60 SQ. FT.  
 TOTAL: 55.60/1204.75 = 4.62%

**VENTED SOFFIT NOTES:**

-VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

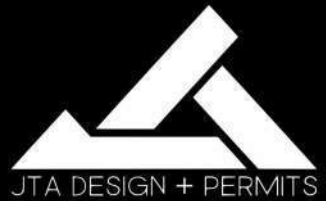
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PROJECT: **NEW HOME**

STATUS: -

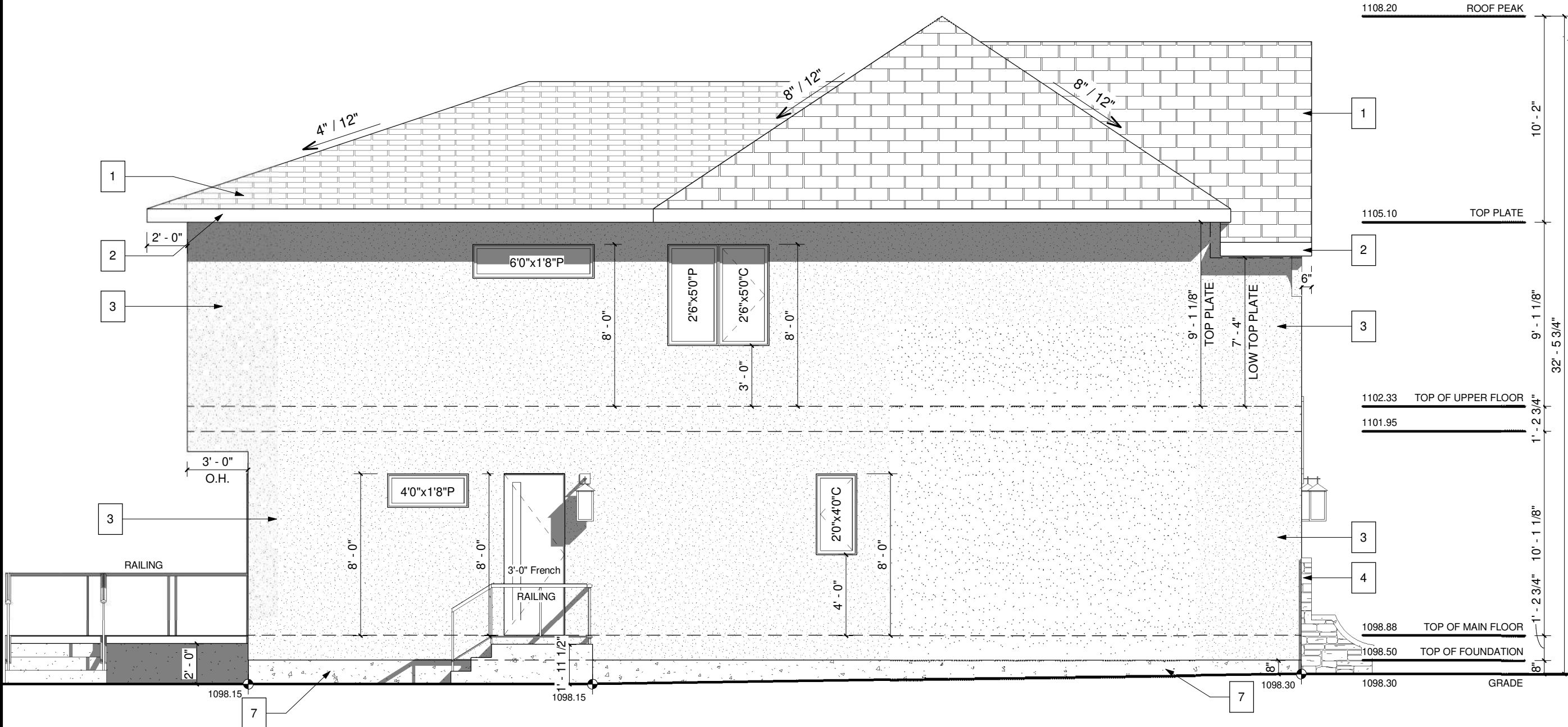
SIGNATURES:  
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PRINTED: 2026-04-21 10:09:35 AM

PROJECT NAME:  
 1817 - 31 Ave S.W.  
 CALGARY, ALBERTA

DESIGNER: JT      JOB #: 202-26

SCALE: AS SHOWN      SHEET: A-2.2



**LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |                              |                                    |                    |
|------------------------------|------------------------------------|--------------------|
| 1 ASPHALT SHINGLES           | 4 STONE CLADDING                   | 7 CONCRETE PARGING |
| 2 8" ALUMINUM FASCIA / EAVES | 5 BOARD & BATTEN - BLACK/DARK GREY |                    |
| 3 STUCCO - WHITE             | 6 CAST-IN PLACE CONCRETE           |                    |

**WINDOW CALCULATION**

WALL AREA = 1067.67 SQ. FT.  
 WINDOW AREA = 73.02 SQ. FT.  
 TOTAL: 73.02/1067.67 = 6.84%

**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
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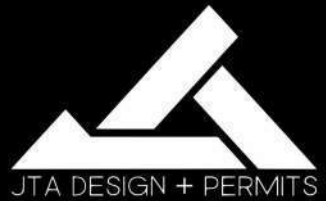
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PROJECT: **NEW HOME**

STATUS: -

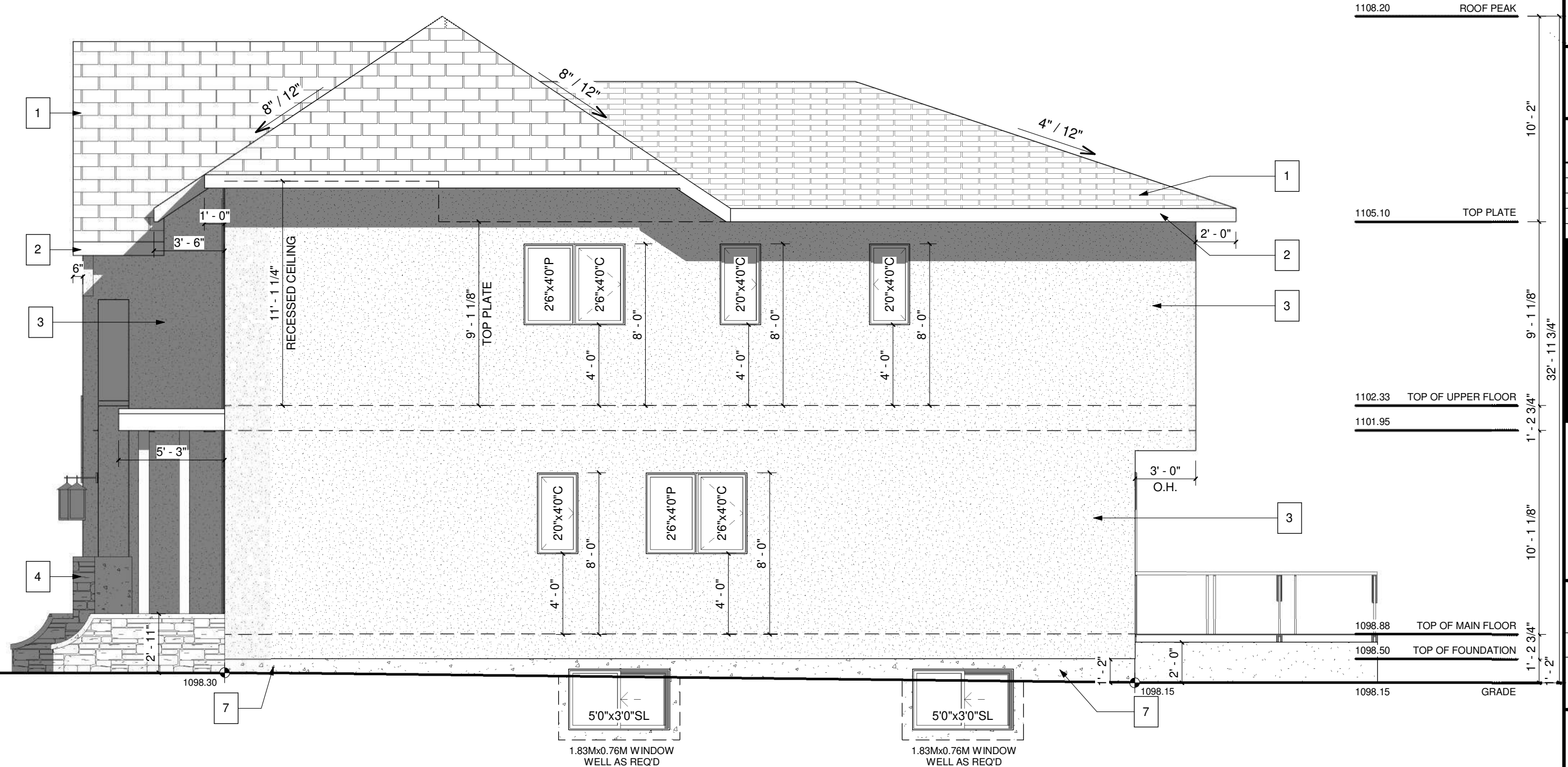
SIGNATURES:  
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PRINTED: 2026-04-21 10:09:37 AM

PROJECT NAME:  
 1817 - 31 Ave S.W.  
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 202-26

SCALE: AS SHOWN SHEET: A-2.3



**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |                              |                                    |                    |
|------------------------------|------------------------------------|--------------------|
| 1 ASPHALT SHINGLES           | 4 STONE CLADDING                   | 7 CONCRETE PARGING |
| 2 8" ALUMINUM FASCIA / EAVES | 5 BOARD & BATTEN - BLACK/DARK GREY |                    |
| 3 STUCCO - WHITE             | 6 CAST-IN PLACE CONCRETE           |                    |

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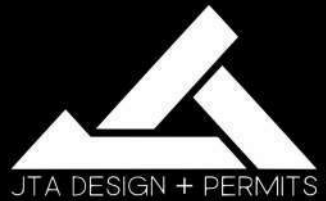
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PROJECT: **NEW HOME**

STATUS: -

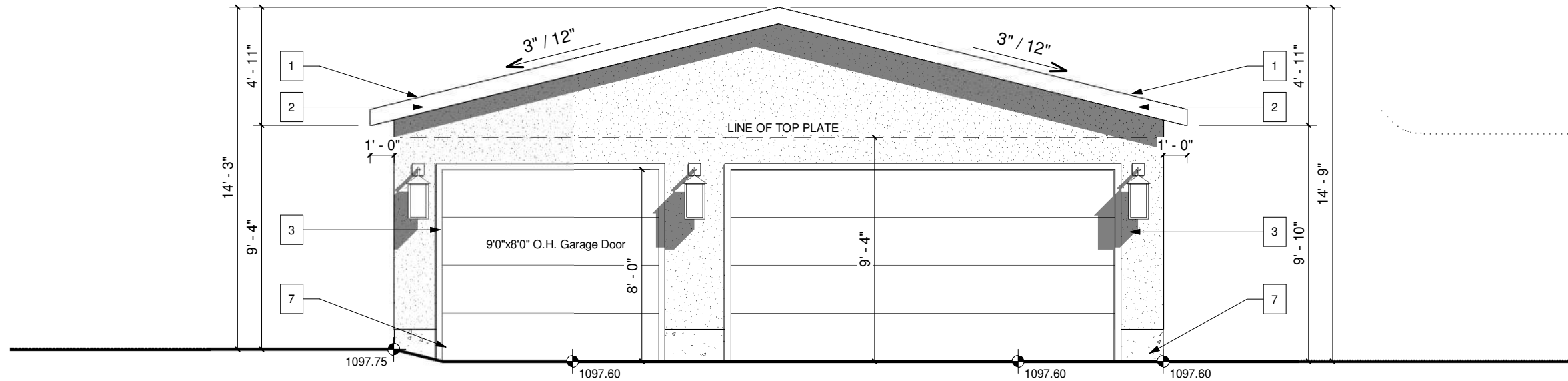
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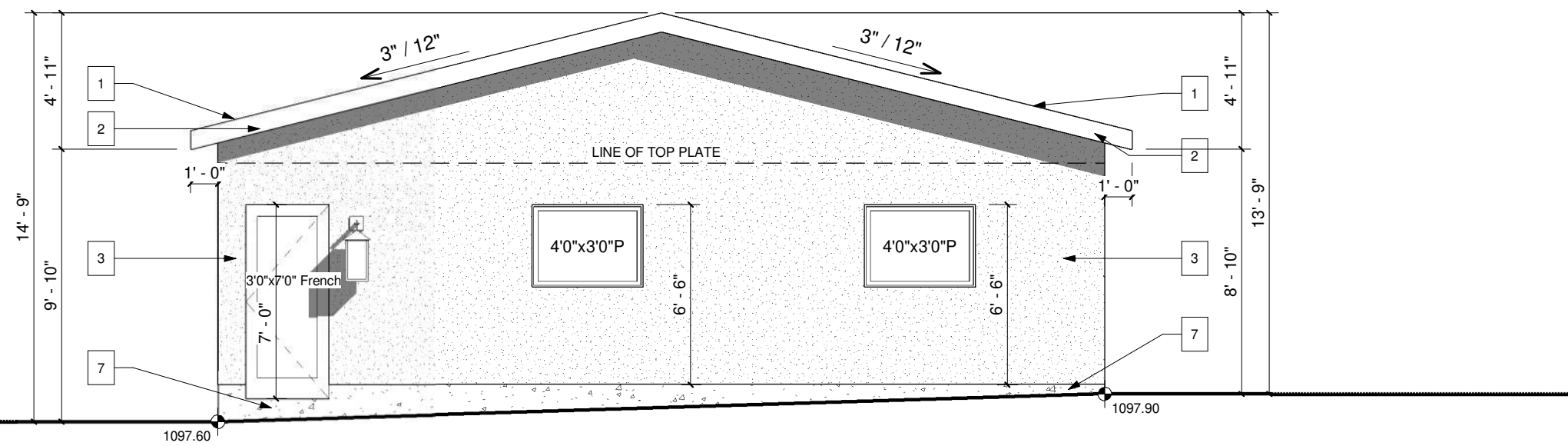
PROJECT NAME:  
1817 - 31 Ave S.W.  
CALGARY, ALBERTA

DESIGNER: JT      JOB #: 202-26

SCALE: AS SHOWN      SHEET: A-4.1



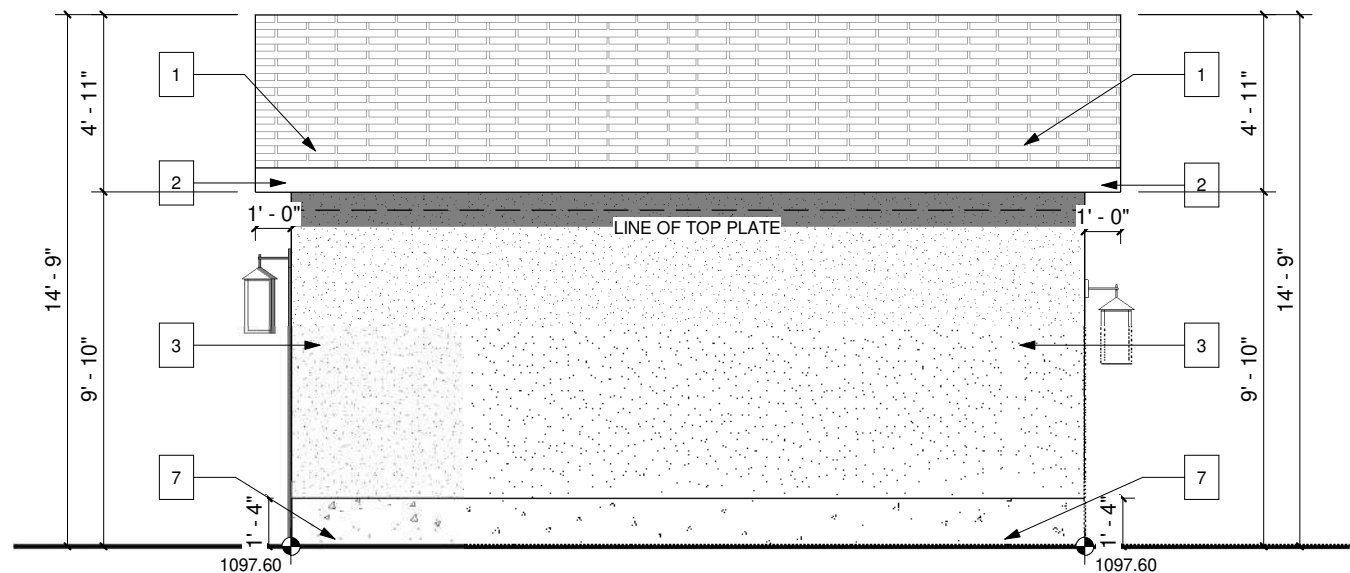
**GARAGE FRONT ELEVATION (LANE)**  
SCALE: 3/16" = 1'-0"



**GARAGE REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |                              |                                    |                    |
|------------------------------|------------------------------------|--------------------|
| 1 ASPHALT SHINGLES           | 4 STONE CLADDING                   | 7 CONCRETE PARGING |
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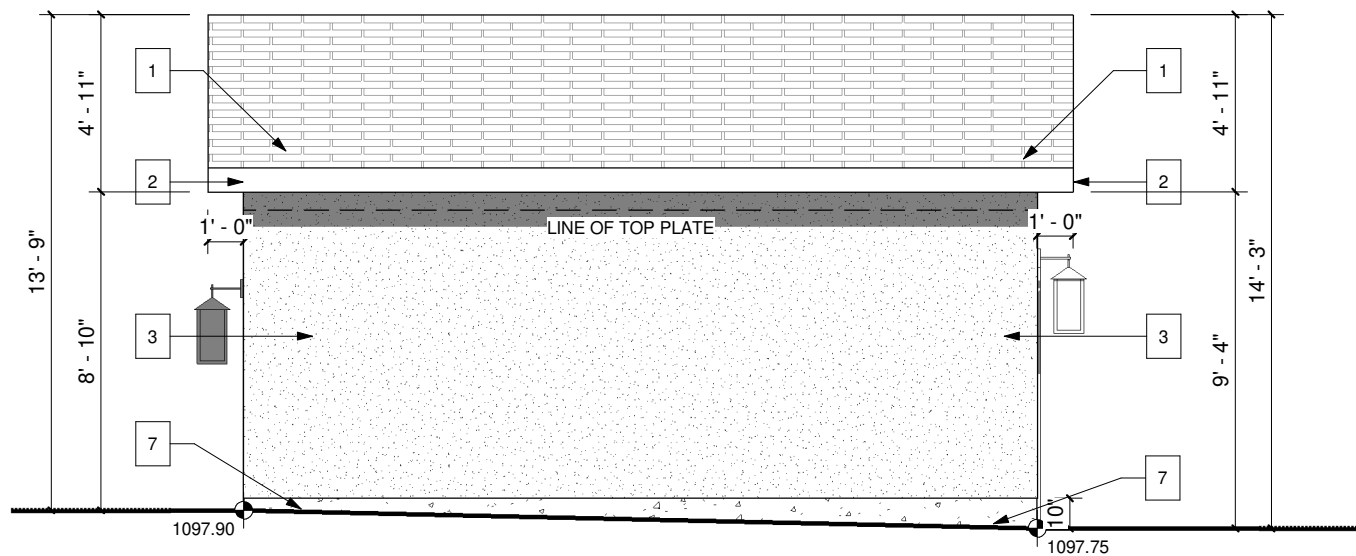


**GARAGE RIGHT ELEVATION**

SCALE: 3/16" = 1'-0"

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**GARAGE LEFT ELEVATION**

SCALE: 3/16" = 1'-0"

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PROJECT: NEW HOME

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-04-21 10:09:39 AM

PROJECT NAME:  
1817 - 31 Ave S.W.  
CALGARY, ALBERTA

DESIGNER: JT JOB #: 202-26

SCALE: AS SHOWN SHEET: A-4.2

# SITE PLAN

## LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)  
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 140368  
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- ◇ denotes Gas Valve
- ⊙ denotes Manhole
- ⊕ denotes Tree
- ⊗ denotes Power Pole
- △ denotes Sign
- ☀ denotes Light Standard
- X-X- denotes Fence
- S-S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- C- denotes Electrical Line
- A.G.T- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'BW' denotes Back of Walkway  
 'BOW' denotes Bottom of Wall  
 'Ret.' denotes Retaining  
 'BC' denotes Back of Curb  
 'TOW' denotes Top of Wall

**Disclaimer**  
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential  
 Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

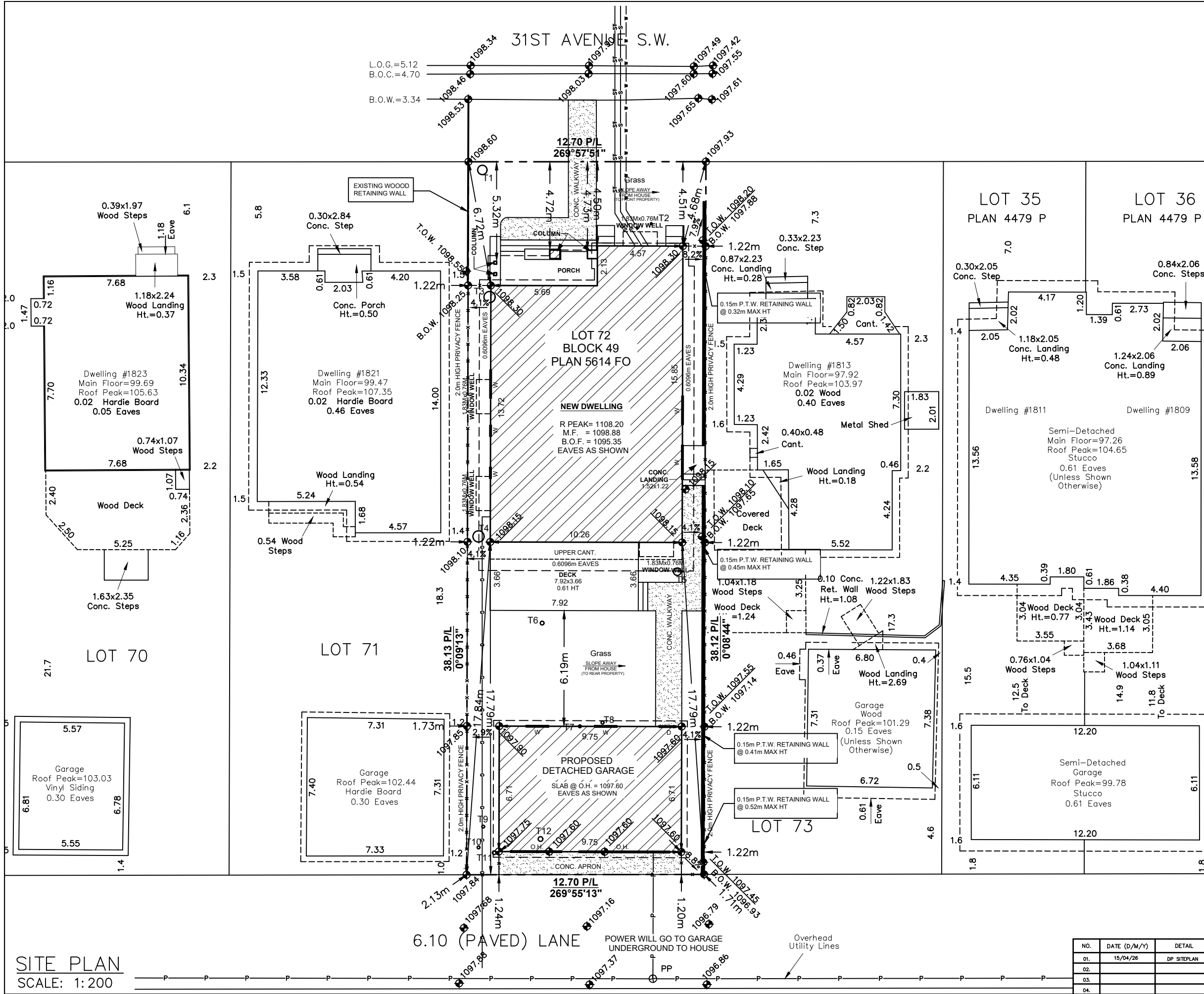
Lot 72  
 Block 49  
 Plan 5614 FO

MUNICIPAL ADDRESS:

1817 - 31st AVENUE S.W.  
 Calgary, Alberta

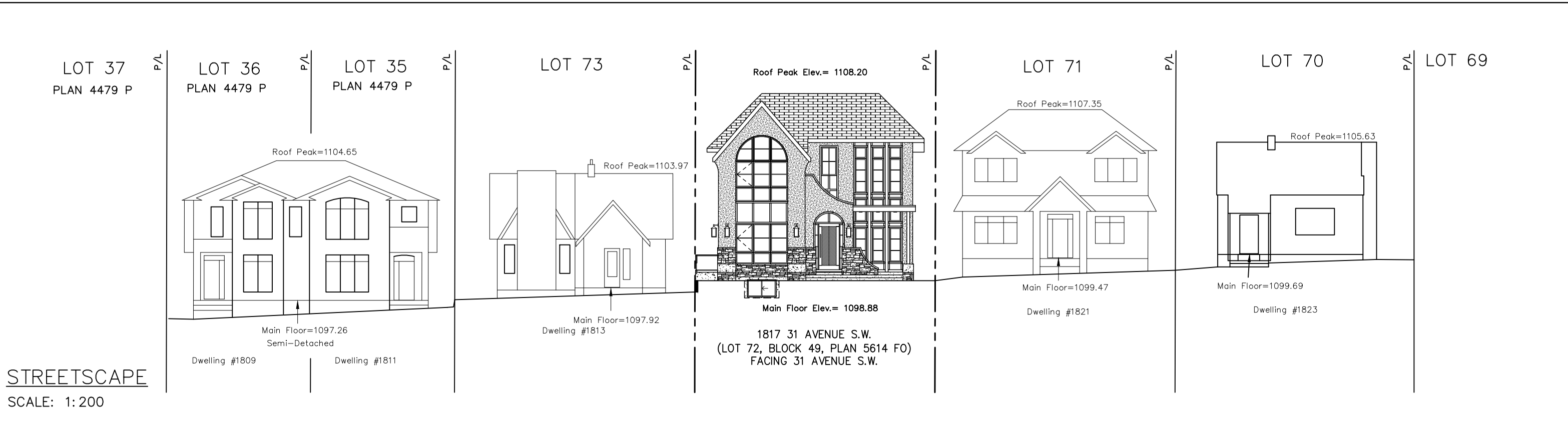
LOT COVERAGE DETAIL:  
 (SINGLE LOT AND HOUSE)

LOT SIZE: 484.099 SQ M  
 HOUSE: 150.503 SQ M  
 COVERED PORCH: 0.000 SQ M  
 CANT.: 0.000 SQ M  
 WING WALL: 0.534 SQ M  
 GARAGE: 65.404 SQ M  
 TOTAL: 216.441/484.099  
 = 44.71%



SITE PLAN  
 SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	15/04/26	DP SITEPLAN	D.L.	1817 31st AVENUE SW Calgary, Alberta	SINGLE DETACHED HOUSE	1:200
02.				Lot 72 Block 49 Plan 5614 FO	DATE:	DIVISION NUMBER
03.					APR 15, 2026	S 01
04.						

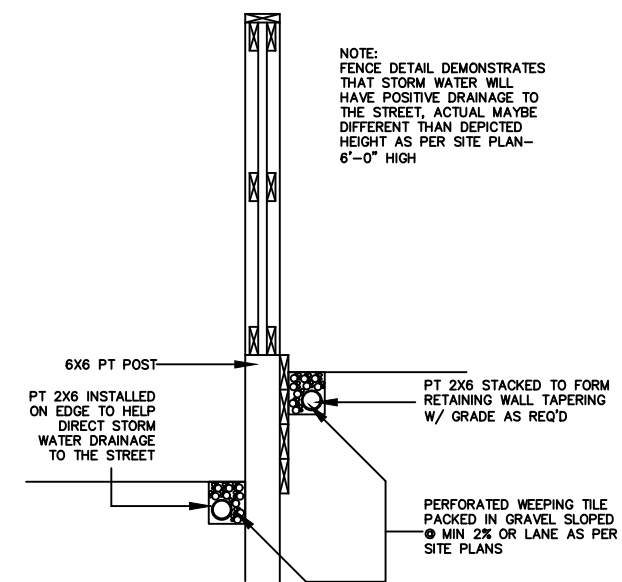


**TREE SCHEDULE:**

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Coniferous	0.50	4.00	14.00	In Subject Property	To be Removed
T2	Deciduous	0.10	2.50	5.00	In Subject Property	To be Removed
T3	Deciduous	0.60	3.00	8.00	In Subject Property	To be Removed
T4	Deciduous	0.60	5.00	8.00	In Subject Property	To be Removed
T5	Coniferous	0.40	2.00	11.00	In Subject Property	To be Removed
T6	Coniferous	0.20	2.50	10.00	In Subject Property	To be Removed
T7	Deciduous	0.15	0.50	10.00	In Subject Property	To be Removed
T8	Deciduous	0.15	0.50	9.00	In Subject Property	To be Removed
T9	Coniferous	0.15	1.00	4.00	In Subject Property	To be Removed
T10	Coniferous	0.15	2.00	4.00	In Subject Property	To be Removed
T11	Coniferous	0.20	2.00	5.00	In Subject Property	To be Removed
T12	Deciduous	0.25	4.00	6.00	In Subject Property	To be Removed

**SINGLE DETACHED SQFT:**

	AREA
<b>BASEMENT</b>	1620.00 SQ FT
<b>MAIN FLOOR</b>	1620.00 SQ FT
<b>UPPER FLOOR</b>	1553.78 SQ FT
<b>TOTAL AREA</b>	3173.78 SQ FT



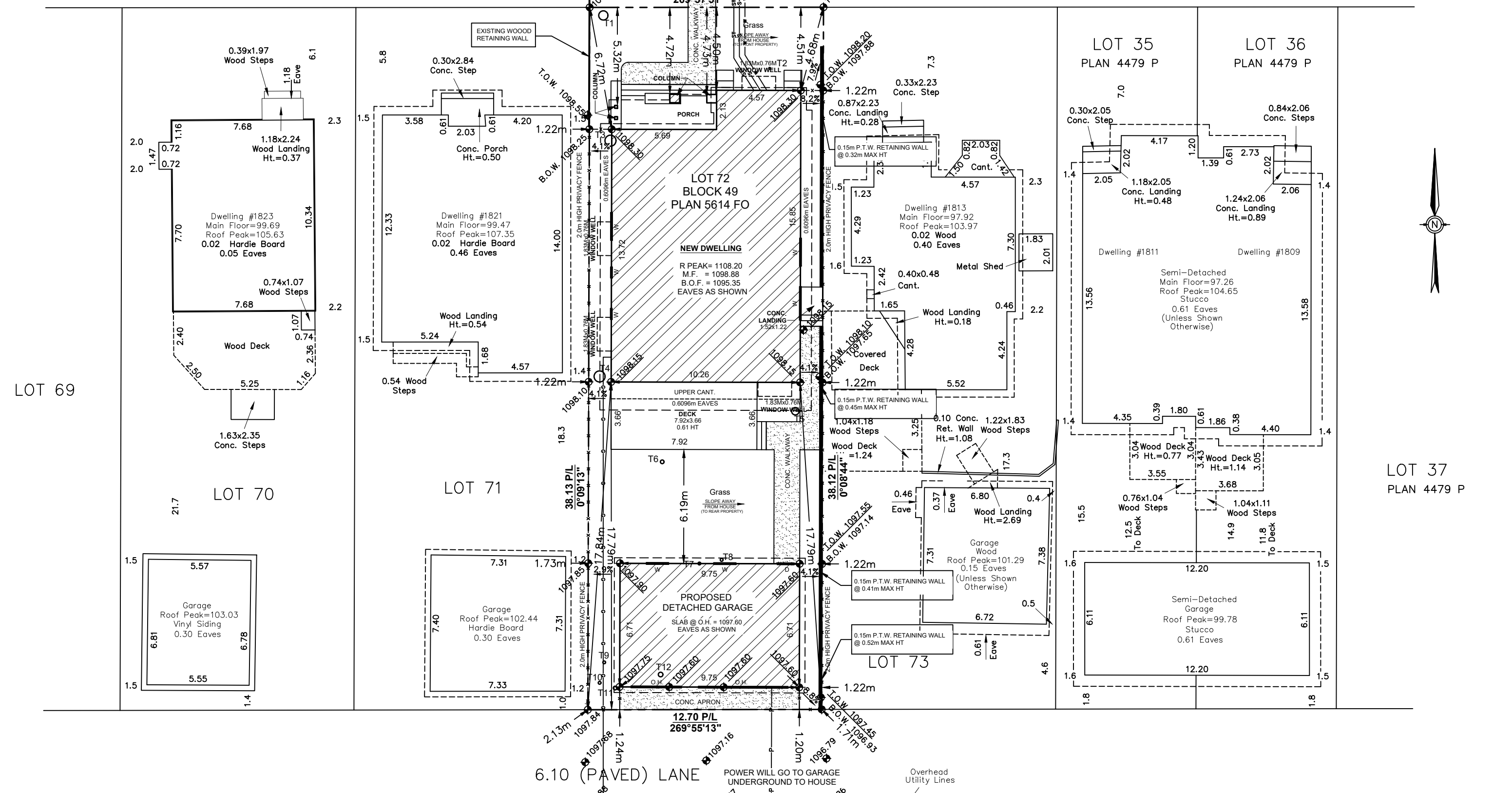
**FENCE SECTION DETAIL**  
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	15/04/26	DP SITEPLAN	D.L.	1817 31st AVENUE SW Calgary, Alberta	SINGLE DETACHED HOUSE	AS SHOWN
02.				Lot 72 Block 49 Plan 5614 FO		
03.						
04.						

DATE: APR 15, 2026  
DIVISION: S  
NUMBER: 02

31ST AVENUE S.W.

L.O.G.=5.12  
B.O.C.=4.70  
B.O.W.=3.34



BLOCK PLAN  
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	15/04/26	DP SITEPLAN	D.L.	1817 31st AVENUE SW Calgary, Alberta	SINGLE DETACHED HOUSE	1: 200
02.				Lot 72 Block 49 Plan 5614 FO	DATE:	DIVISION NUMBER:
03.					APR 15, 2026	S 03
04.						