



### LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Section

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	17/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.



**FLOOR AREA - UNIT #1**

BASEMENT	=	942.17 SQ. FT.
MAIN	=	928.17 SQ. FT.
UPPER	=	1040.00 SQ. FT.
LOFT	=	658.29 SQ.FT.
TOTAL	=	2626.46 SQ. FT.

**FLOOR AREA - UNIT #2**

BASEMENT	=	942.17 SQ. FT.
MAIN	=	928.17 SQ. FT.
UPPER	=	1040.00 SQ. FT.
LOFT	=	658.29 SQ.FT.
TOTAL	=	2626.46 SQ. FT.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-04-17 2:25:09 PM

PROJECT NAME:  
1412 RUSSET ROAD N.E.  
CALGARY, ALBERTA

DESIGNER: JT	JOB #: 239-26
SCALE: AS SHOWN	SHEET: A-0.0

**EXTERIOR FINISHES:**

- |  |                           |
|--|---------------------------|
| 1 ASPHALT SHINGLES                       | 5 BRICK FINISH AS SPEC'D. |
| 2 6" ALUMINUM FASCIA                     | 6 CONC. PARGING           |
| 3 HARDIE FINISH - DARK GREY (HORIZONTAL) | 7 CAST IN PLACE CONCRETE  |
| 4 HARDIE FINISH - DARK GREY (VERTICAL)   | 8 TORCH-ON ROOF           |

**NOTE:**

-SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED TO ACCOMMODATE CUSTOM WINDOWS

**VENTED SOFFIT NOTES:**

-VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

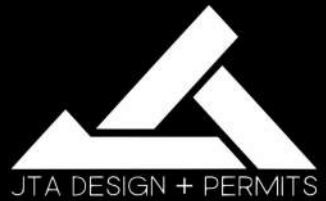
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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	17/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

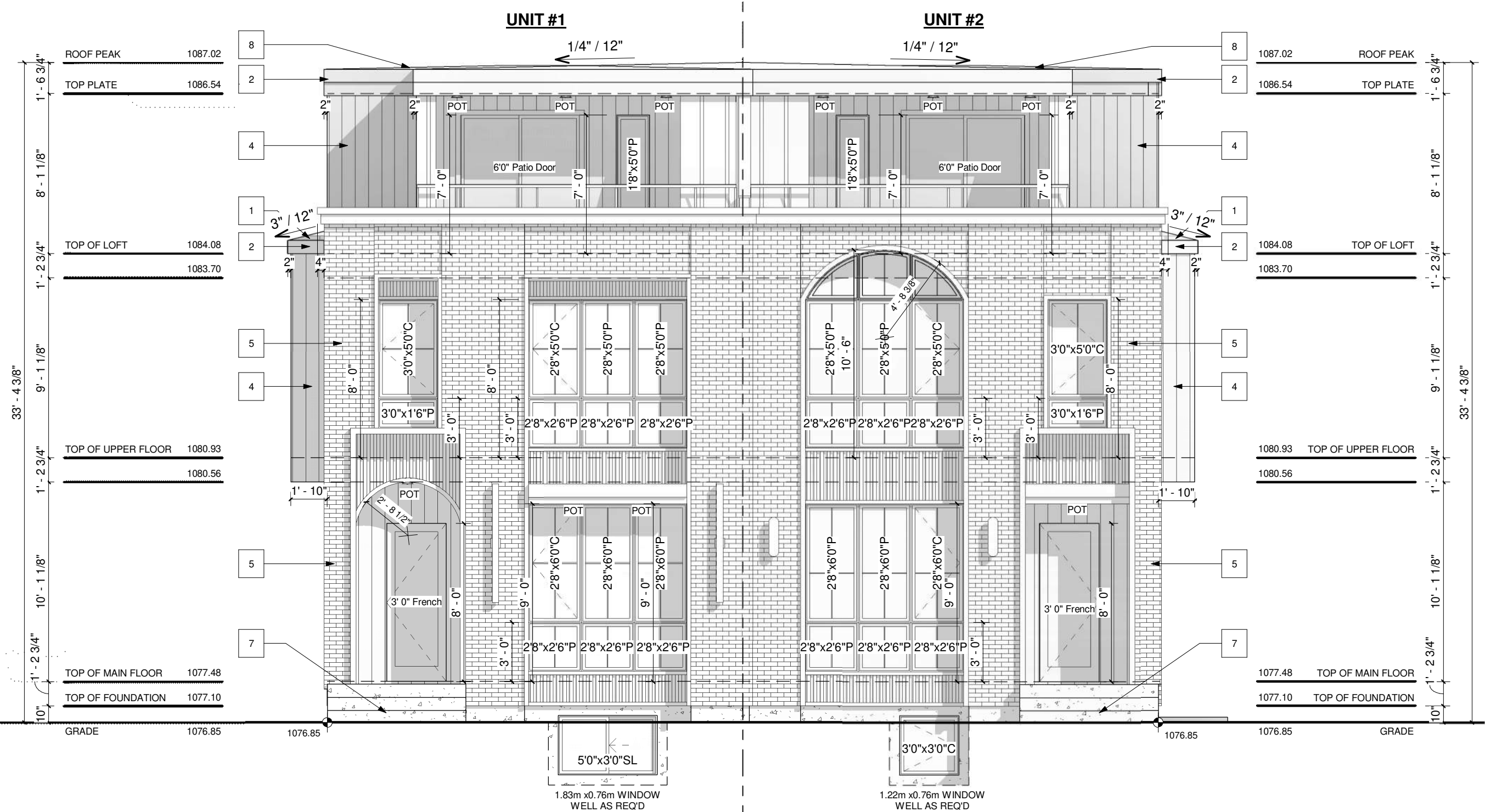
SIGNATURES:  
 X \_\_\_\_\_

PRINTED: 2026-04-17 2:25:12 PM

PROJECT NAME:  
 1412 RUSSET ROAD N.E.  
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 239-26

SCALE: AS SHOWN SHEET: A-2.0



**FRONT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |  |                           |
|--|---------------------------|
| 1 ASPHALT SHINGLES                       | 5 BRICK FINISH AS SPEC'D. |
| 2 6" ALUMINUM FASCIA                     | 6 CONC. PAVING            |
| 3 HARDIE FINISH - DARK GREY (HORIZONTAL) | 7 CAST IN PLACE CONCRETE  |
| 4 HARDIE FINISH - DARK GREY (VERTICAL)   | 8 TORCH-ON ROOF           |

**VENTED SOFFIT NOTES:**

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

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**ISSUES:**

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01.	17/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: **SEMI DETACHED**

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-04-17 2:25:14 PM

PROJECT NAME:  
1412 RUSSET ROAD N.E.  
CALGARY, ALBERTA

DESIGNER: JT JOB #: 239-26

SCALE: AS SHOWN SHEET: A-2.1



**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |   |  |   |                         |
|---|--|---|-------------------------|
| 1 | ASPHALT SHINGLES                       | 5 | BRICK FINISH AS SPEC'D. |
| 2 | 6" ALUMNIMUM FASCIA                    | 6 | CONC. PARGING           |
| 3 | HARDIE FINISH - DARK GREY (HORIZONTAL) | 7 | CAST IN PLACE CONCRETE  |
| 4 | HARDIE FINISH - DARK GREY (VERTICAL)   | 8 | TORCH-ON ROOF           |

**WINDOW CALCULATION**  
 WALL AREA = 1342.94 SQ. FT.  
 WINDOW AREA = 35.31 SQ. FT.  
 TOTAL: 35.31 / 1342.94 = 2.63%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	17/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: **SEMI DETACHED**

STATUS: -  
 SIGNATURES:  
 X \_\_\_\_\_

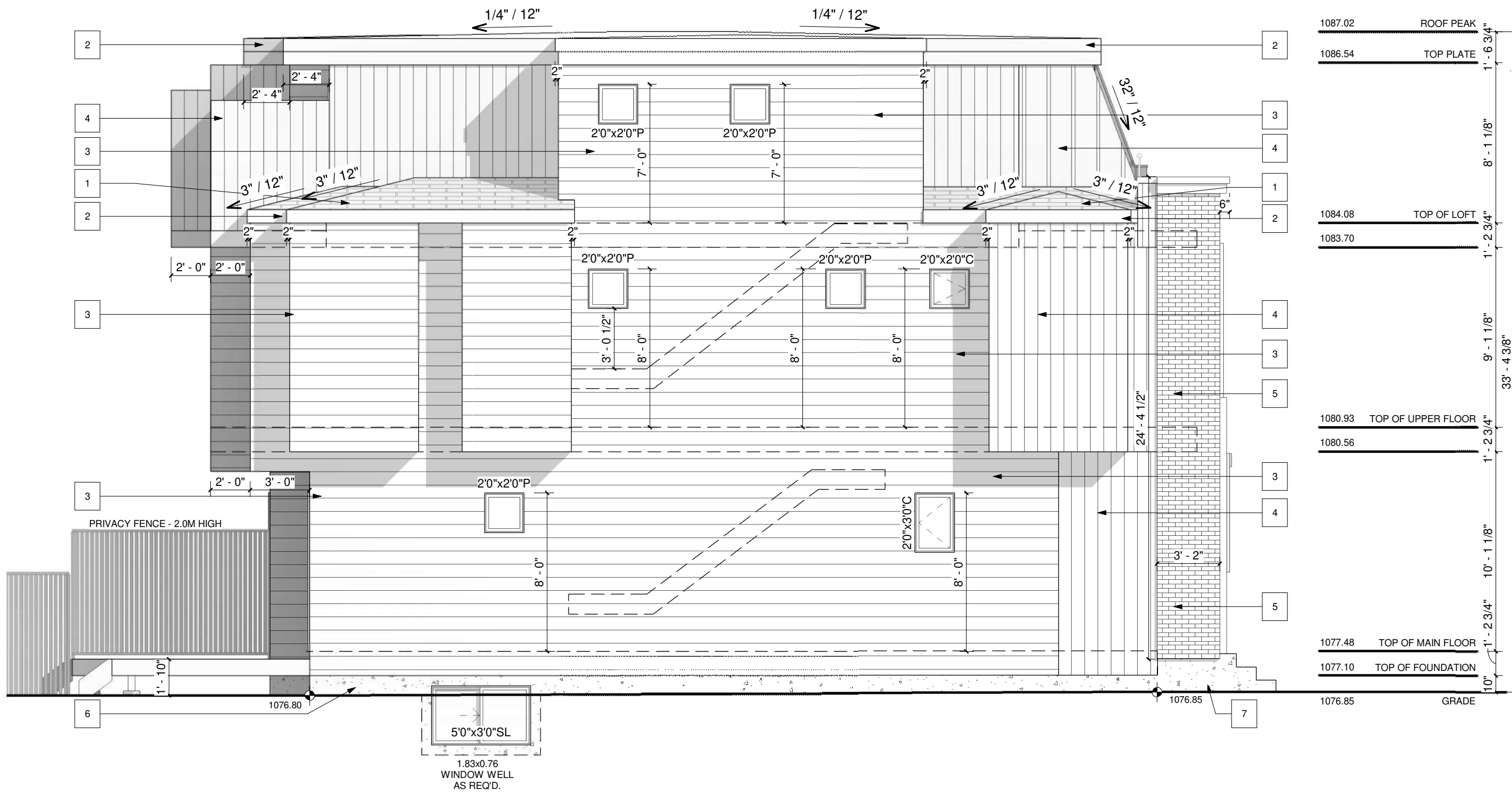
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PROJECT NAME:  
 1412 RUSSET ROAD N.E.  
 CALGARY, ALBERTA

DESIGNER: JT      JOB #: 239-26

SCALE: AS SHOWN      SHEET: A-2.2

**UNIT #1**



**LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- |   |  |   |                         |
|---|--|---|-------------------------|
| 1 | ASPHALT SHINGLES                       | 5 | BRICK FINISH AS SPEC'D. |
| 2 | 6" ALUMNIMUM FASCIA                    | 6 | CONC. PARGING           |
| 3 | HARDIE FINISH - DARK GREY (HORIZONTAL) | 7 | CAST IN PLACE CONCRETE  |
| 4 | HARDIE FINISH - DARK GREY (VERTICAL)   | 8 | TORCH-ON ROOF           |

**WINDOW CALCULATION**  
 WALL AREA = 1342.94 SQ. FT.  
 WINDOW AREA = 35.31 SQ. FT.  
 TOTAL: 35.31 / 1342.94 = 2.63%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

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**ISSUES:**

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02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

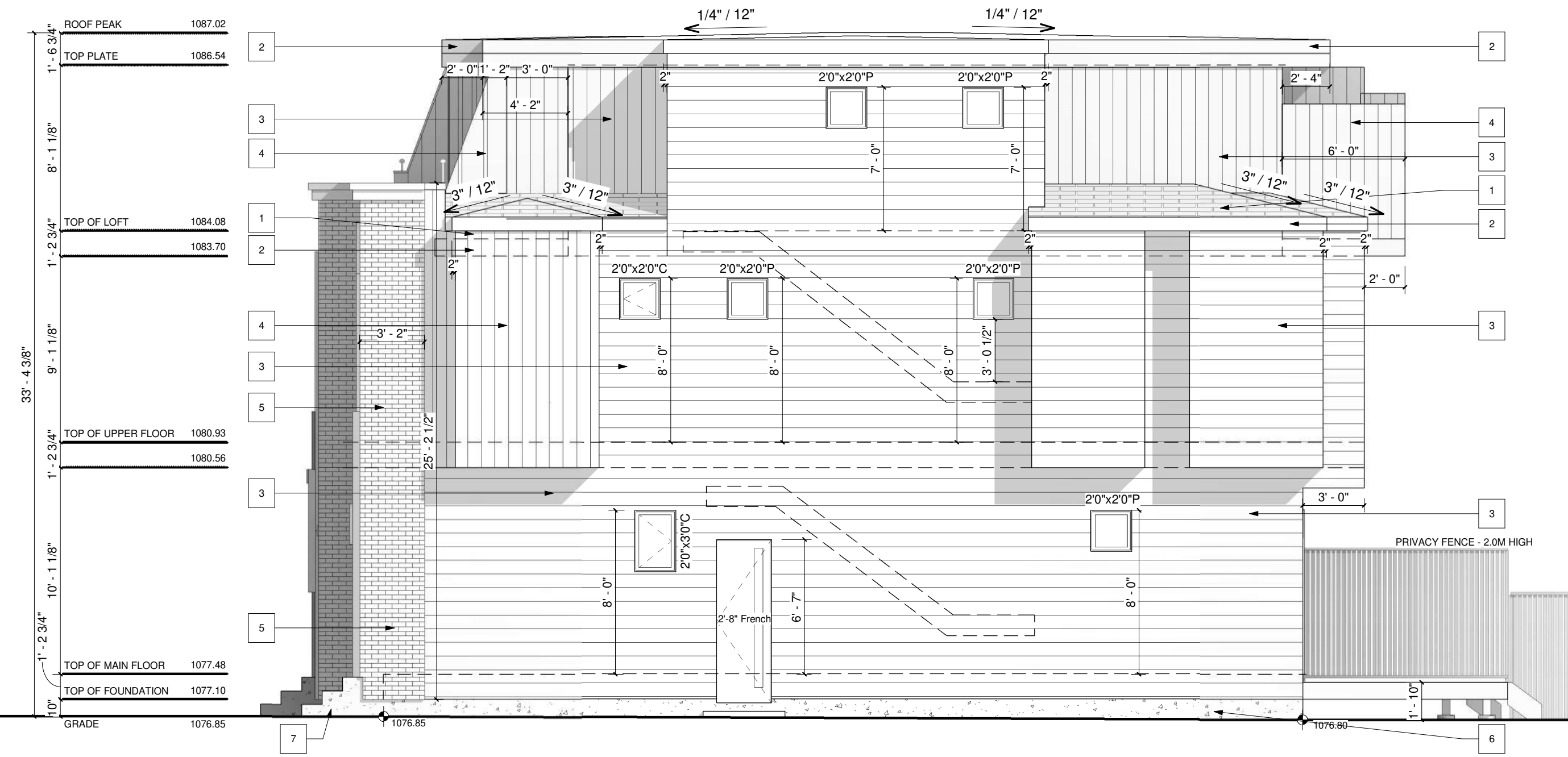
SIGNATURES:  
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PRINTED: 2026-04-17 2:25:18 PM

PROJECT NAME:  
 1412 RUSSET ROAD N.E.  
 CALGARY, ALBERTA

DESIGNER: JT	JOB #: 239-26
SCALE: AS SHOWN	SHEET: A-2.3

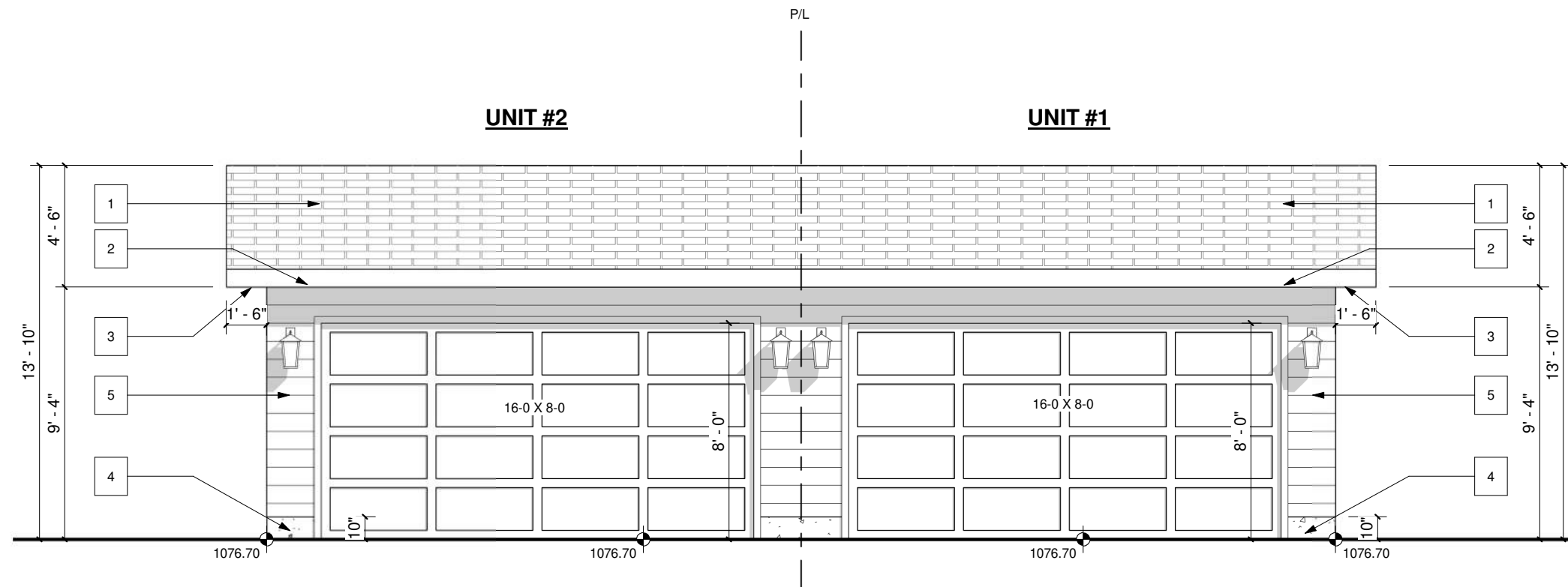
**UNIT #2**



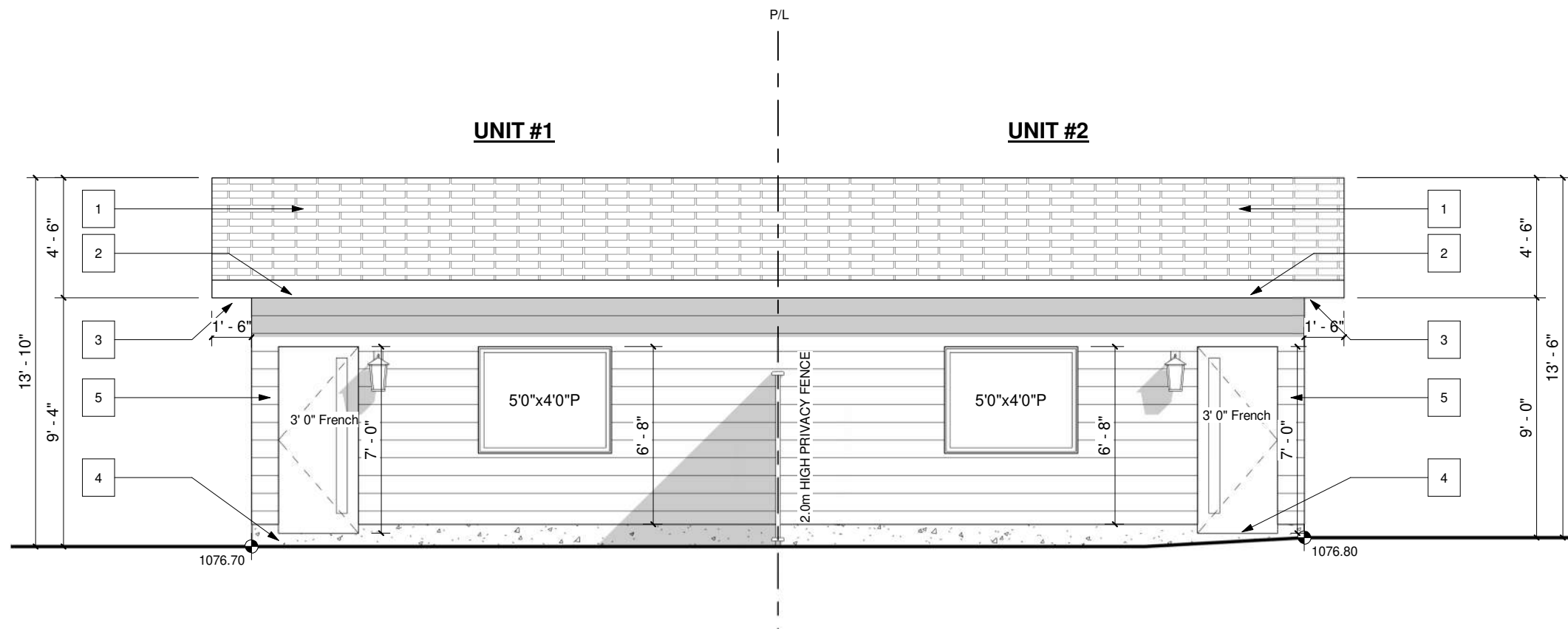
**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 SIDING FINISH



**GARAGE FRONT - BACK LANE**  
SCALE: 3/16" = 1'-0"



**GARAGE REAR**  
SCALE: 3/16" = 1'-0"

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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	17/04/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-04-17 2:25:18 PM

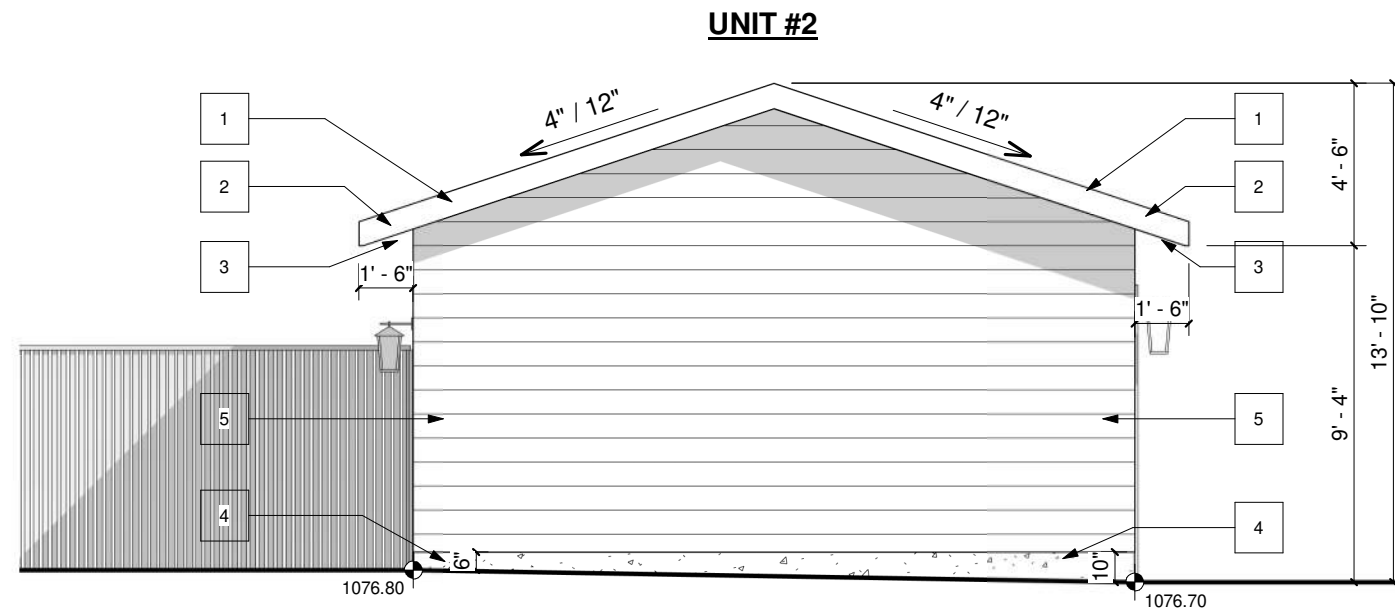
PROJECT NAME:  
1412 RUSSET ROAD N.E.  
CALGARY, ALBERTA

DESIGNER: JT JOB #: 239-26

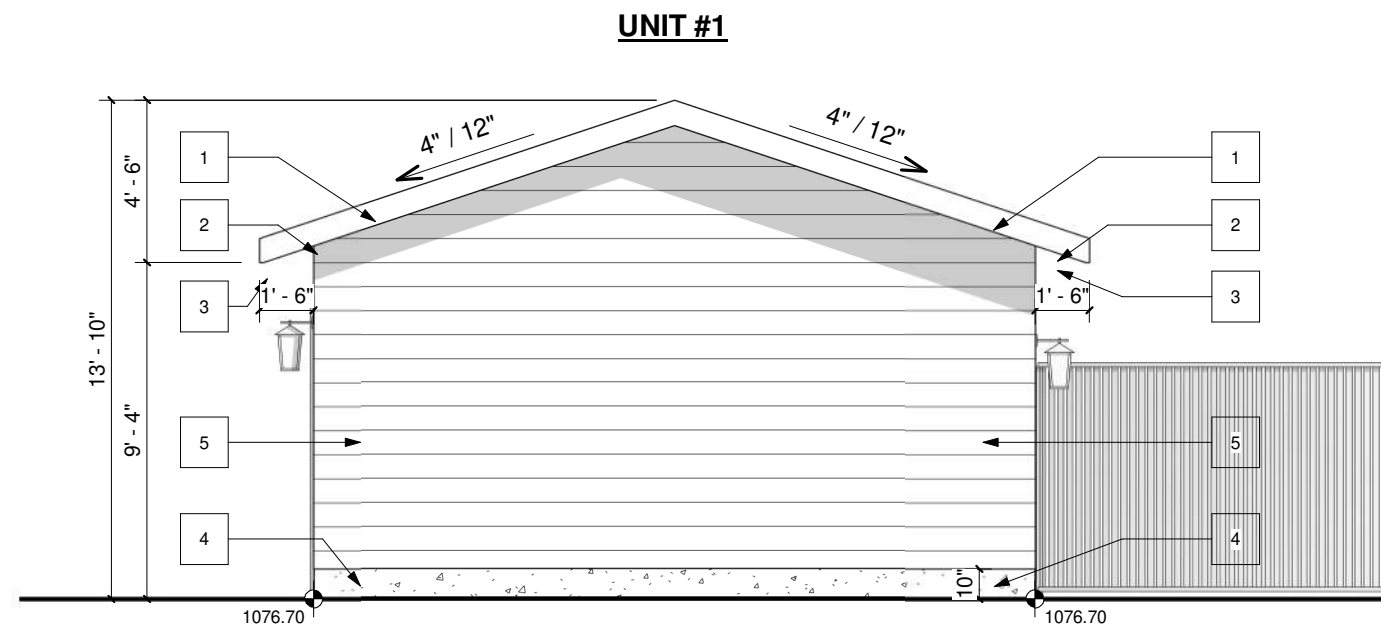
SCALE: AS SHOWN SHEET: A-3.1

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 SIDING FINISH



**GARAGE LEFT**  
SCALE: 3/16" = 1'-0"



**GARAGE RIGHT**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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**ISSUES:**

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02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

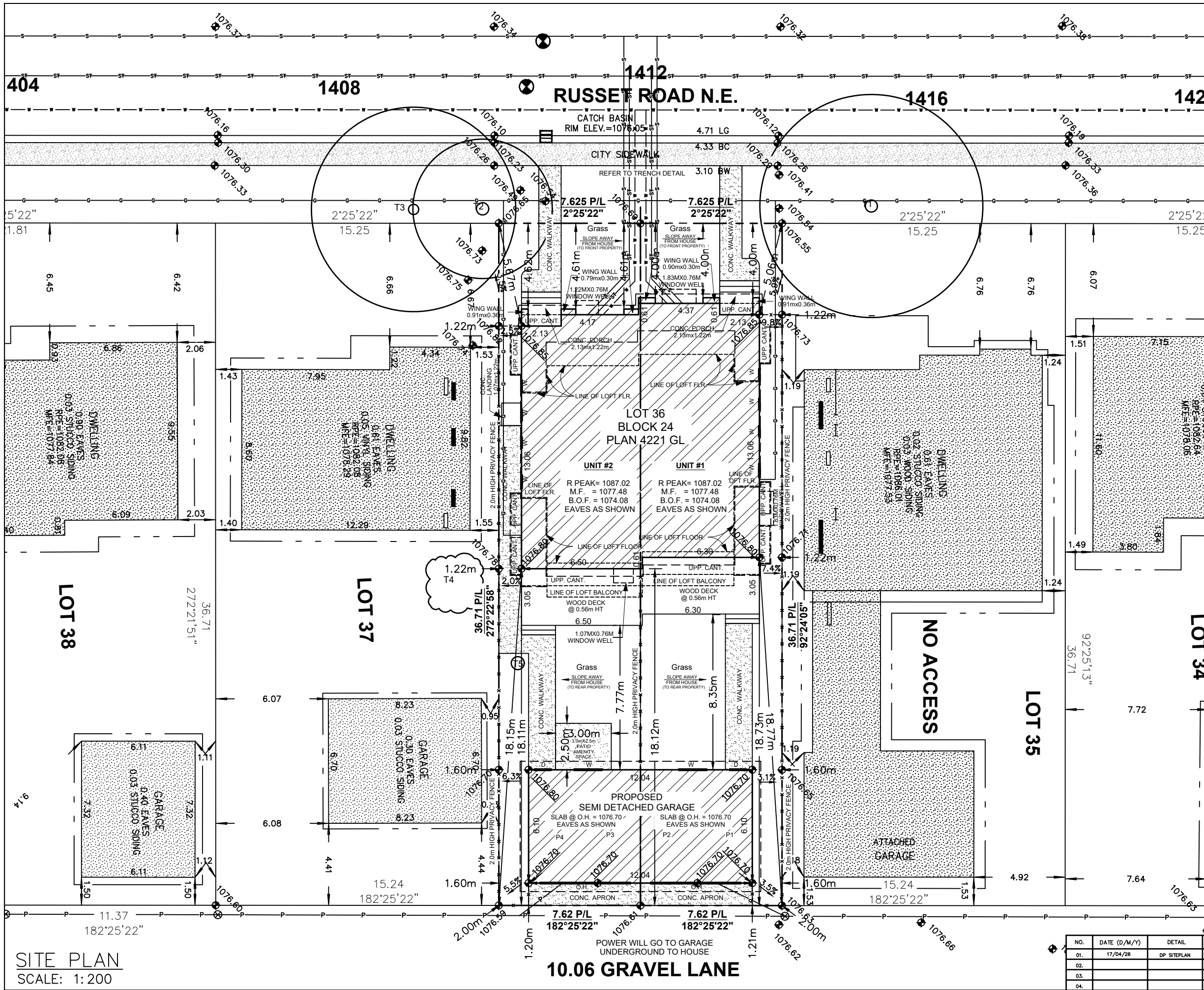
SIGNATURES:  
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PRINTED: 2026-04-17 2:25:19 PM

PROJECT NAME:  
1412 RUSSET ROAD N.E.  
CALGARY, ALBERTA

DESIGNER: JT JOB #: 239-26

SCALE: AS SHOWN SHEET: A-3.2



# SITE PLAN

- LEGEND**
- ELEVATIONS ARE SHOWN THUS:  $\text{---}$  = 1000.00 METRES. (GEODETIC)  
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 140368  
 ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
- THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- $\square$  --- denotes Calculation points
  - $\boxtimes$  --- denotes Water Valve
  - $\blacklozenge$  --- denotes Gas Valve
  - $\odot$  --- denotes Manhole
  - $\circ$  --- denotes Tree
  - $\oplus$  --- denotes Power Pole
  - $\triangle$  --- denotes Sign
  - $\odot$  --- denotes Light Standard
  - $\text{---X---}$  denotes Fence
  - $\text{---S---}$  denotes Sanitary Line
  - $\text{---ST---}$  denotes Storm Line
  - $\text{---W---}$  denotes Water Line
  - $\text{---G---}$  denotes Gas Line
  - $\text{---E---}$  denotes Electrical Line
  - $\text{---A.G.T---}$  denotes A.G.T Line
  - $\text{---}$  denotes Utility Right of Way Line
  - $\text{---}$  denotes Property Line
  - $\text{---}$  denotes Door
  - $\text{---}$  denotes Main Floor Windows
  - $\text{---}$  denotes Second Floor Windows
  - $\text{---}$  denotes Basement Floor Windows
  - $\text{---}$  denotes Shed Hatch
  - $\text{---}$  denotes Detached Garage Hatch
  - $\text{---}$  denotes Main Building Hatch
  - $\text{---}$  denotes Concrete and Asphalt Hatch
  - $\text{---}$  denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'BW' denotes Back of Walkway  
 'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete  
 'Ret.' denotes Retaining  
 'BC' denotes Back of Curb  
 'TOW' denotes Top of Wall

**Disclaimer**  
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential  
 Grade-Oriented Infill

SCALE 1:200

**LEGAL DESCRIPTION:**  
 Lot 36  
 Block 24  
 Plan 4221 GL

**MUNICIPAL ADDRESS:**  
 1412 - RUSSET ROAD N.E.  
 Calgary, Alberta

LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)	LOT COVERAGE DETAIL: (UNIT #1)	LOT COVERAGE DETAIL: (UNIT #2)
LOT SIZE: 559,367 SQ M HOUSE SIZE: 172,459 SQ M COVERED PORCH: 3,252 SQ M CANT.: 0.000 SQ M WING WALL: 1,680 SQ M GARAGE: 73,393 SQ M TOTAL: 250,784/559,367 = 44.83%	LOT SIZE: 279,683 SQ M HOUSE SIZE: 86,230 SQ M COVERED PORCH: 1,626 SQ M CANT.: 0.000 SQ M WING WALL: 0,844 SQ M GARAGE: 36,697 SQ M TOTAL: 125,397/279,683 = 44.84%	LOT SIZE: 279,683 SQ M HOUSE SIZE: 86,230 SQ M COVERED PORCH: 1,626 SQ M CANT.: 0.000 SQ M WING WALL: 0,835 SQ M GARAGE: 36,697 SQ M TOTAL: 125,388/279,683 = 44.83%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	17/04/26	DP SITEPLAN	D.L.	1412 RUSSET ROAD NE Calgary, Alberta	SEMI DETACHED HOUSE	1: 200
02.				Lot 36 Block 24 Plan 4221 GL	DATE: APR 17, 2026	DIVISION NUMBER: S 01
03.						
04.						

**SITE PLAN**  
 SCALE: 1:200

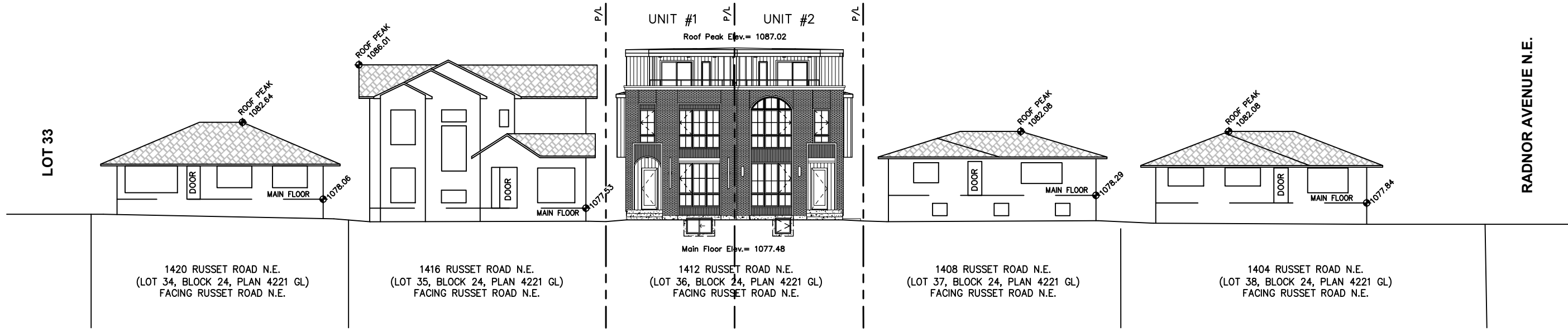
**10.06 GRAVEL LANE**

POWER WILL GO TO GARAGE  
 UNDERGROUND TO HOUSE

**NO ACCESS**

LOT 33

RADNOR AVENUE N.E.



STREETSCAPE  
SCALE: 1:250

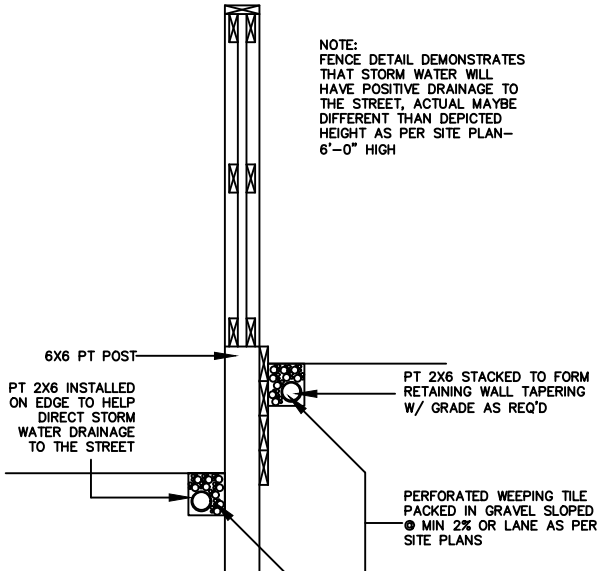
WEST STREETSCAPE

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Deciduous	0.65	12.00	11.00	In City Property	To Stay
T2	Coniferous	0.66	7.50	11.00	In City Property	To Stay
T3	Deciduous	0.55	11.00	11.00	In City Property	To Stay
T4	Hedge	-	3.00	3.00	In Adjacent Property	To Stay
T5	Coniferous	0.70	5.00	15.00	In Subject Property	To Be Removed

SEMI DETACHED SQFT:

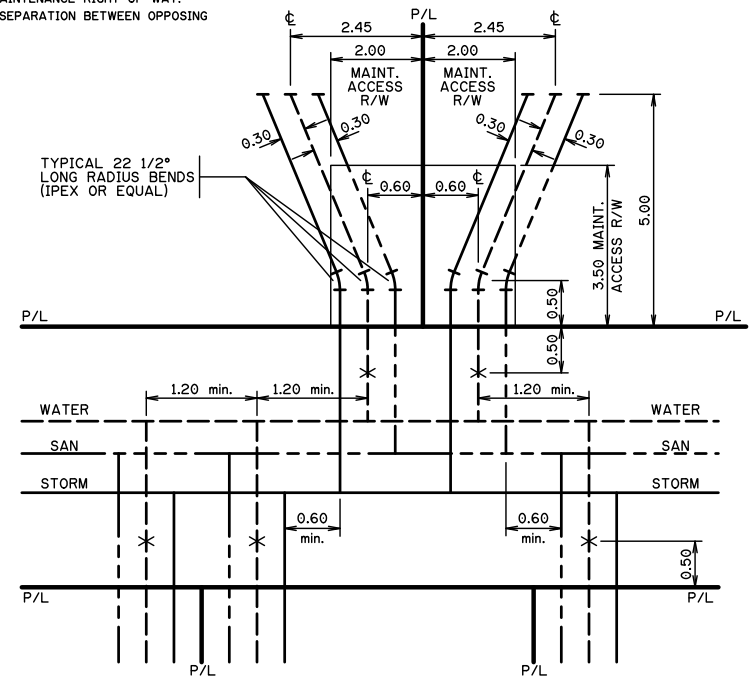
	UNIT #1	UNIT #2
BASEMENT	942.17 SQ FT	942.17 SQ FT
MAIN FLOOR	928.17 SQ FT	928.17 SQ FT
UPPER FLOOR	1040.00 SQ FT	1040.00 SQ FT
LOFT FLOOR	658.29 SQ FT	658.29 SQ FT
TOTAL AREA	2626.46 SQ FT	2626.46 SQ FT



FENCE SECTION DETAIL  
SCALE: NTS

NOTES:

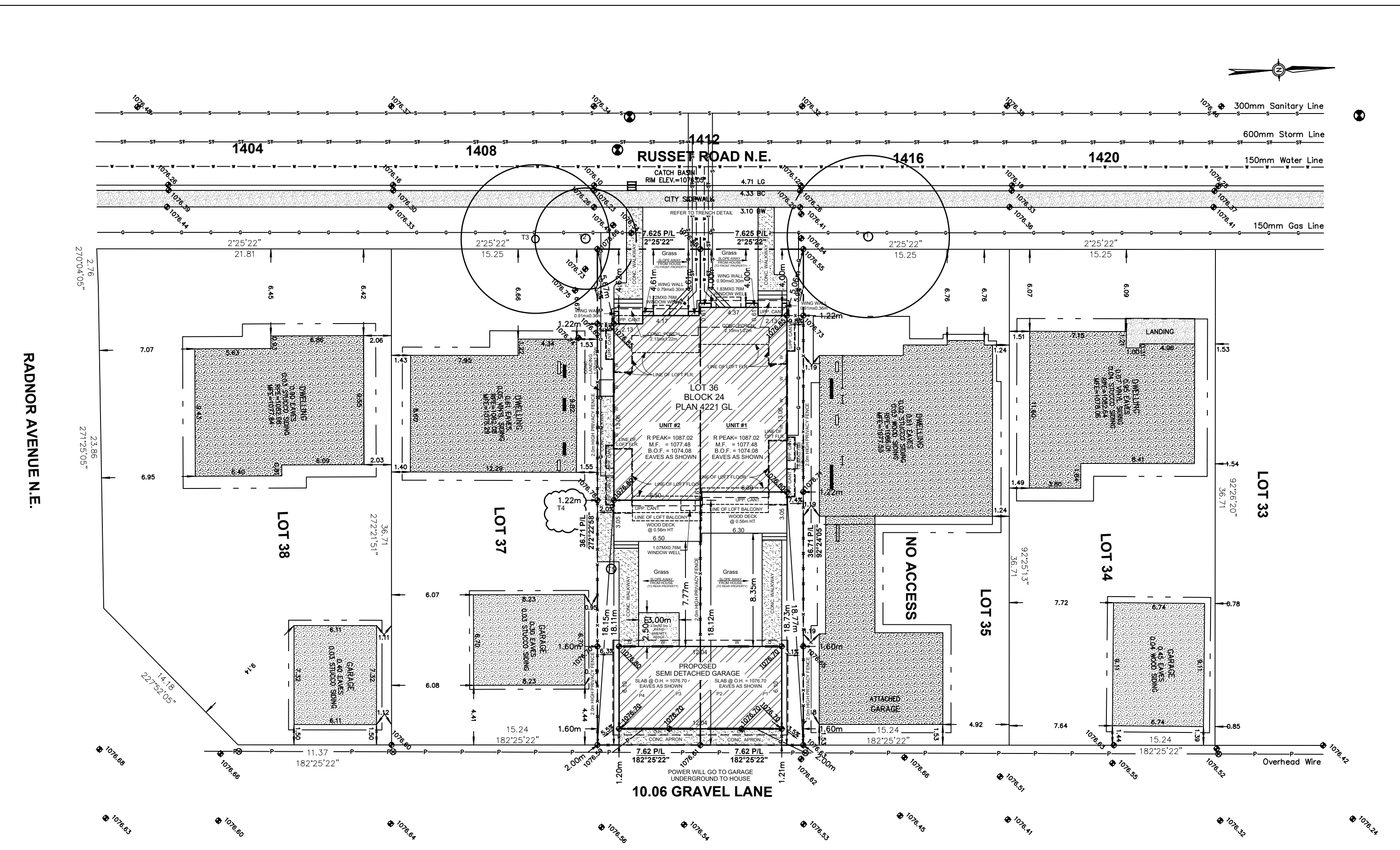
- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
- DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
- SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
- THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
- DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
- WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL  
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	17/04/26	DP SITEPLAN	D.L.	1412 RUSSET ROAD NE Calgary, Alberta	SEMI DETACHED HOUSE	AS SHOWN
02.				Lot 36 Block 24 Plan 4221 GL		
03.						
04.						

DATE: APR 17, 2026  
DIVISION: S  
NUMBER: 02



BLOCK PLAN  
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS	PROJECT	SCALE
01.	17/04/26	DP SITEPLAN	D.L.	1412 RUSSET ROAD NE Calgary, Alberta	SEMI DETACHED HOUSE	1: 200
02.				Lot 36 Block 24 Plan 4221 GL	DATE: APR 17, 2026	DIVISION NUMBER: S 03
03.						
04.						