

MUNICIPAL ADDRESS: 122 RUNDLESON PL NE CALGARY- AB
 LEGAL DESCRIPTION: 7611294;Block: 26;Lot: 85
 LAND USE: R-CG Residential - Grade-Oriented Infill

PARCEL AREA 3,057 SQUARE FEET
 Existing dwelling area 891.1 Square Feet
 Garage 658.6 Square Feet/PROPOSED
 TOTAL AREA 1,549.7 50.7%

GENERAL NOTES:
 1-GENERAL CONTRACTOR TO VERIFY THE SITE MEASUREMENTS PRIOR TO CONSTRUCTION TO MAKE SURE IT IS MATCHING THE DRAWINGS
 2-ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE SITE CONDITIONS GC HAS TO COORDINATE WITH THE CONSULTANT

KEY PLAN:

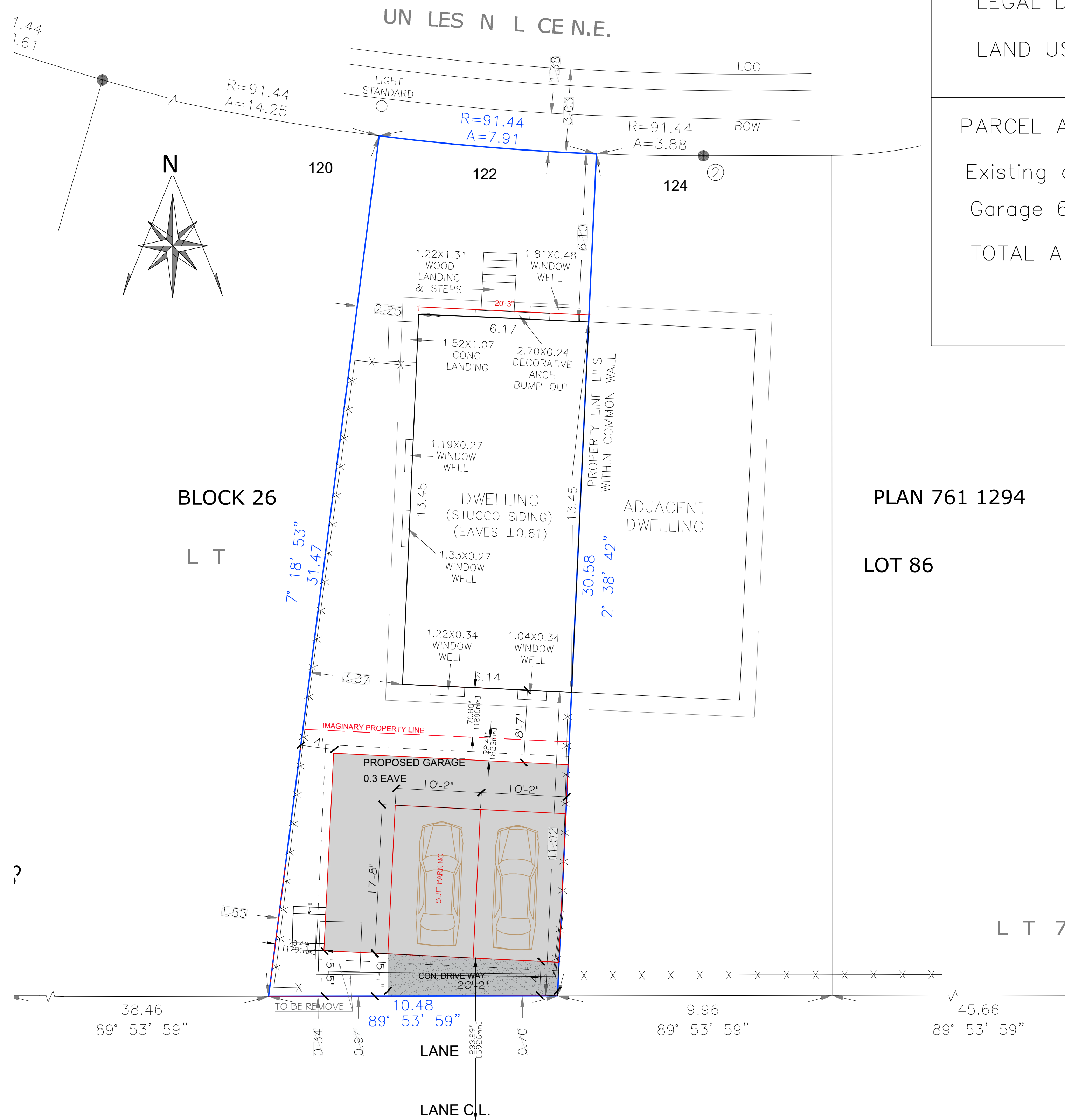
No.	Description	Date
0	ISSUED FOR DP&BP APPROVAL	21,04,2026

REVISIONS

Project
GARAGE AND BACKYARD SUIT
 LOCATION
 122 RUNDLESON PL NE CALGARY- AB

Title
SITE PLAN

File Name GARAGE AND BACKYARD SUIT		Prototype Version	
Date Created APR 21, 2026		Page Number	
Project Number		REVISION	
# 240503	Consultant SA	A.01 0	
Drawn By SA	Scale 1/8"=1'-0"		



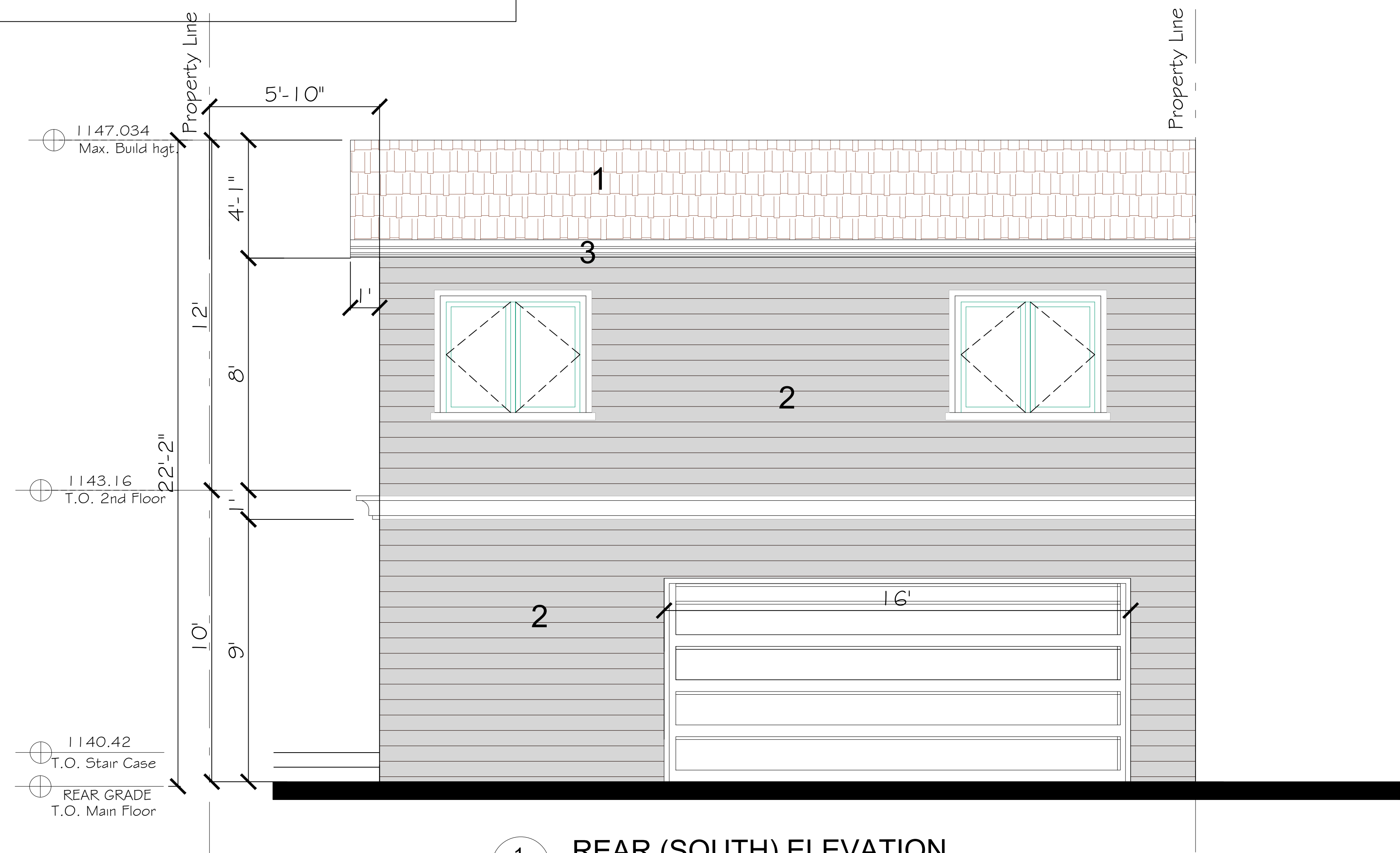
PLAN 761 1294
 LOT 86

1
 A.01 **SITE PLAN**
 SCALE: 1/8"=1' 0"

AS PER 9.10.14.4.-A WHEN THE LIMITING DISTANCE(TO THE **LANE C.L.**)
 5.9m and the Maximum Total Area of Exposing Building Face= 503.7 SQ.FT = 46.8 SQ.M
 ,THE Maximum Aggregate Area of Unprotected Openings SHOULD BE 60%OR LESS
 OPENING AREA= 145.1 SQ.FT(13.4 SQ.M),(13.4/46.8)x100=28.6% (Compliant)

EXTERIOR MATERIALS:

- 1 PROPOSED DARK ROOFING SHINGLE
- 2 PROPOSED GRAY SIDING PANEL
- 3 FLASHING



1
A.04 REAR (SOUTH) ELEVATION
 SCALE:3/8"=1' 0"

GENERAL NOTES:
 1-GENERAL CONTRACTOR TO VERIFY THE SITE MEASUREMENTS PRIOR TO CONSTRUCTION TO MAKE SURE IT IS MATCHING THE DRAWINGS
 2-ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE SITE CONDITIONS GC HAS TO COORDINATE WITH THE CONSULTANT

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Project
GARAGE AND BACKYARD SUIT
 LOCATION
 122 RUNDLESON PL NE CALGARY- AB

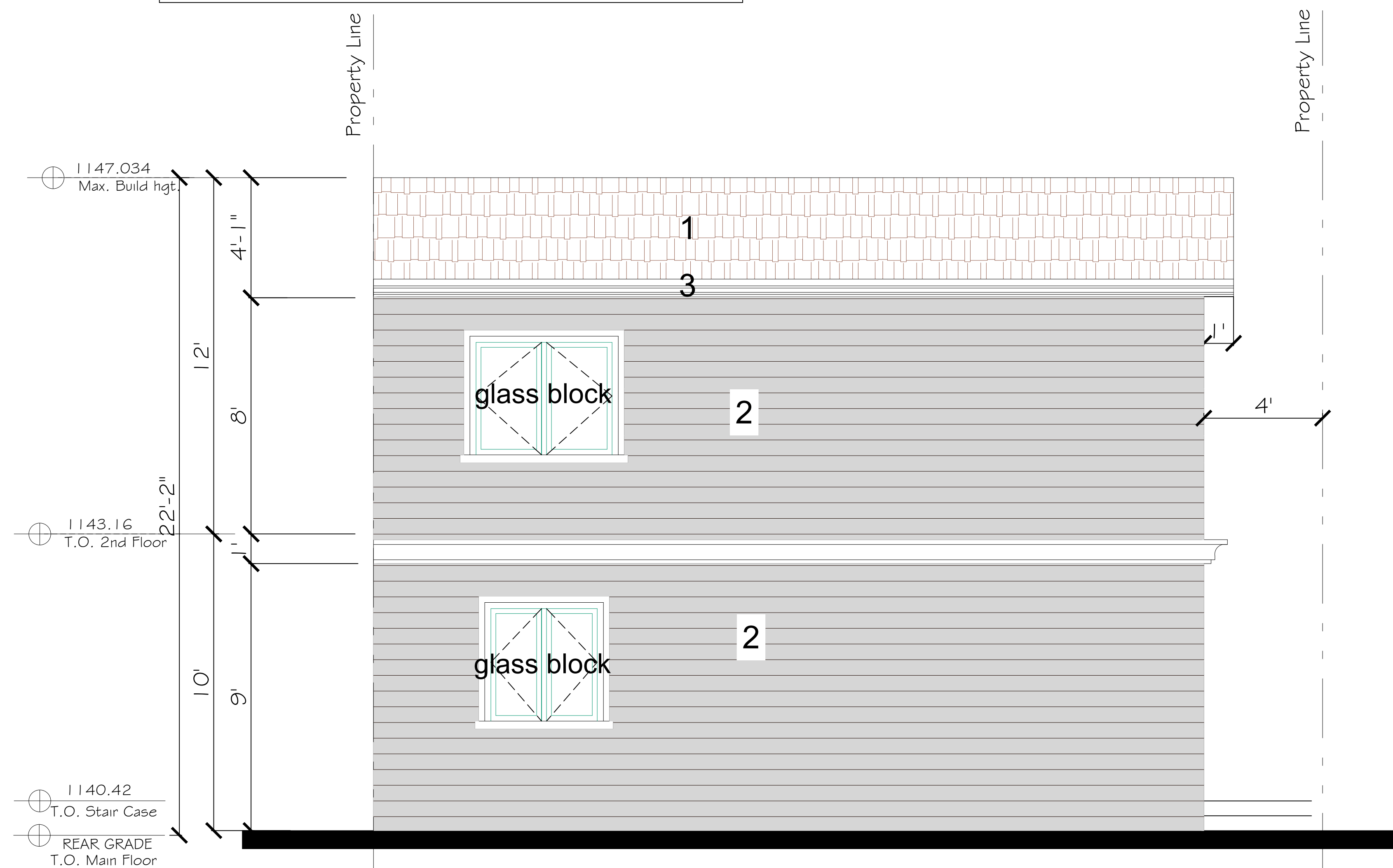
Title
REAR (SOUTH) ELEVATION

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Project Number		REVISION	
# 240503	Consultant SA	A.04 0	
Drawn By SA	Scale 3/8"=1'-0"		

AS PER 9.10.14.4.-A WHEN THE LIMITING DISTANCE(TO THE **IMAGINARY PROPERTY LINE**) less than 1.2 m, OPENING shall be protected by closures, of other than wired glass or glass block,

EXTERIOR MATERIALS:

- 1 PROPOSED DARK ROOFING SHINGLE
- 2 PROPOSED GRAY SIDING PANEL
- 3 FLASHING



1 FRONT(NORTH) ELEVATION
A.05 SCALE:3/8"=1' 0"

GENERAL NOTES:
 1-GENERAL CONTRACTOR TO VERIFY THE SITE MEASUREMENTS PRIOR TO CONSTRUCTION TO MAKE SURE IT IS MATCHING THE DRAWINGS
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No.	Description	Date
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REVISIONS

Project
 GARAGE AND BACKYARD SUIT
 LOCATION
 122 RINDLES ON PINEAVAL CARP AB

Title
 FRONT (NORTH) ELEVATION

File Name
 GARAGE AND BACKYARD SUIT

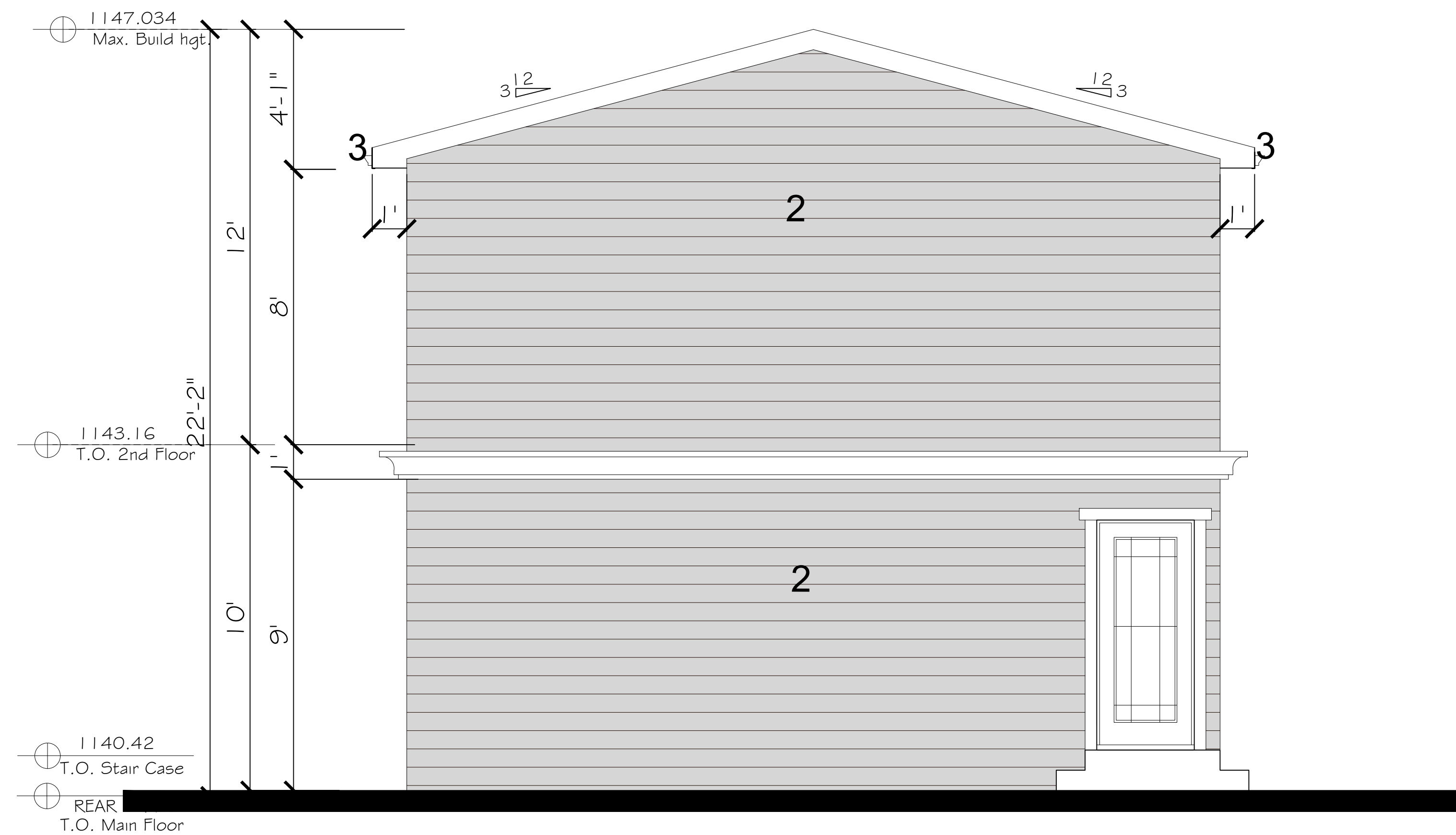
Date Created
 APR 21, 2026

Project Number	Page Number	REVISION
# 240503	Consultant SA	A.05 0
Drawn By SA	Scale 3/8"=1'-0"	

AS PER 9.10.14.4.-A WHEN THE LIMITING DISTANCE(TO THE **PROPERTY LINE**)
 1.8m and the Maximum Total Area of Exposing Building Face= 503.7 SQ.FT = 46.8 SQ.M
 ,THE Maximum Aggregate Area of Unprotected Openings SHOULD BE 10.2%OR LESS
 OPENING AREA= 18.7 SQ.FT(1.7 SQ.M),(1.7/46.8)x100=3.6% (Compliant)

EXTERIOR MATERIALS:

- 1 PROPOSED DARK ROOFING SHINGLE
- 2 PROPOSED GRAY SIDING PANEL
- 3 FLASHING



1 WEST ELEVATION
 A.06 SCALE:3/8"=1' 0"

GENERAL NOTES:
 1-GENERAL CONTRACTOR TO VERIFY THE SITE MEASUREMENTS PRIOR TO CONSTRUCTION TO MAKE SURE IT IS MATCHING THE DRAWINGS
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KEY PLAN:

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REVISIONS

Project
GARAGE AND BACKYARD SUIT
 LOCATION
132 RINDRES ON PINEAL CARP AB

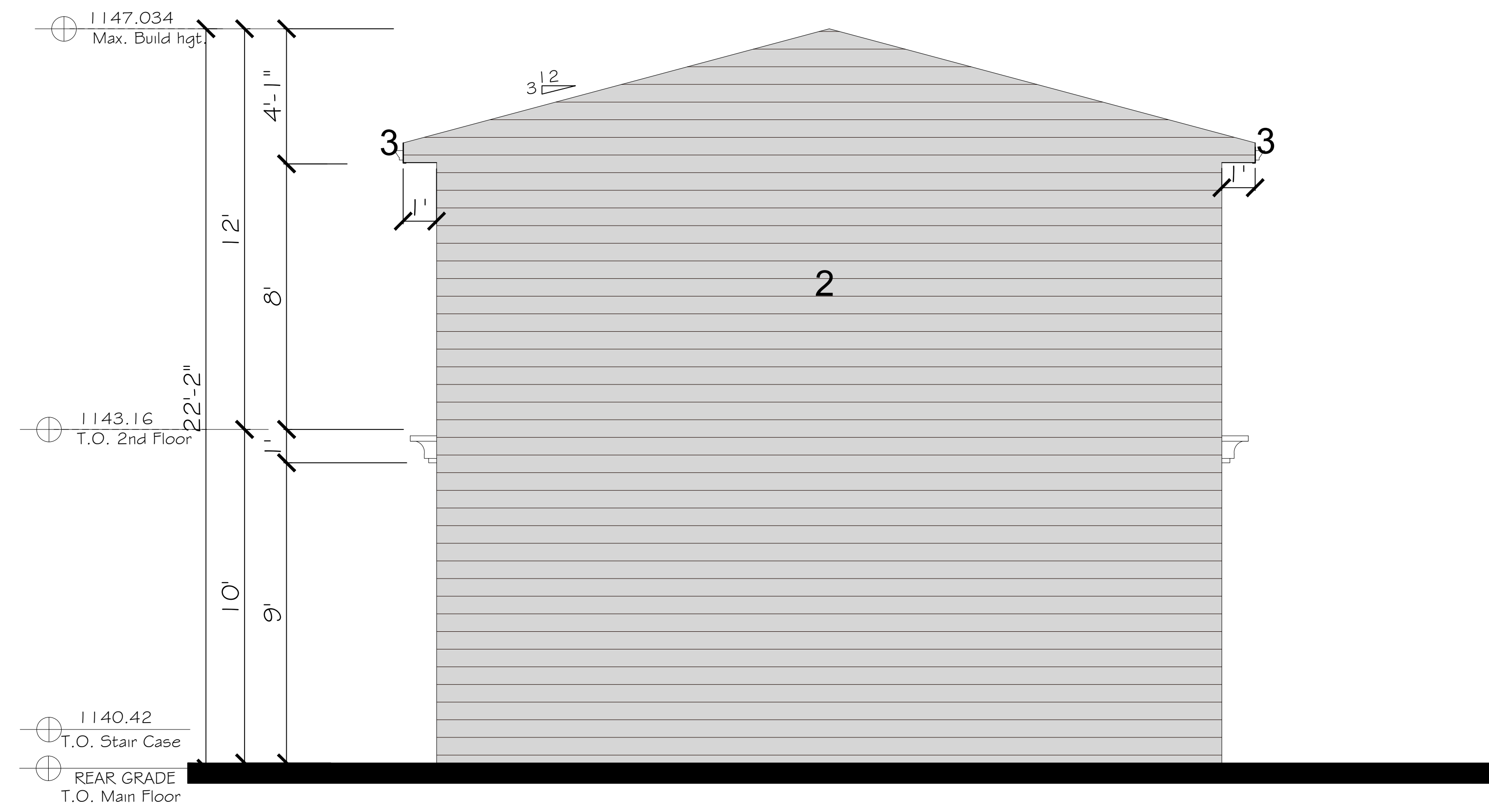
Title
LWEST ELEVATION

File Name
GARAGE AND BACKYARD SUIT

Date Created APR 21 , 2026	Prototype Version	
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# 240503	Consultant SA	A.06 0
Drawn By SA	Scale 3/8"=1'-0"	

AS PER 9.10.14.4.-A WHEN THE LIMITING DISTANCE(TO THE **IMAGINARY PROPERTY LINE**) less than 1.2 m, OPENING shall be protected by closures, of other than wired glass or glass block,

- EXTERIOR MATERIALS:**
- 1 PROPOSED DARK ROOFING SHINGLE
 - 2 PROPOSED GRAY SIDING PANEL
 - 3 FLASHING



1 EAST ELEVATION
A.07 SCALE: 3/8"=1' 0"

GENERAL NOTES:
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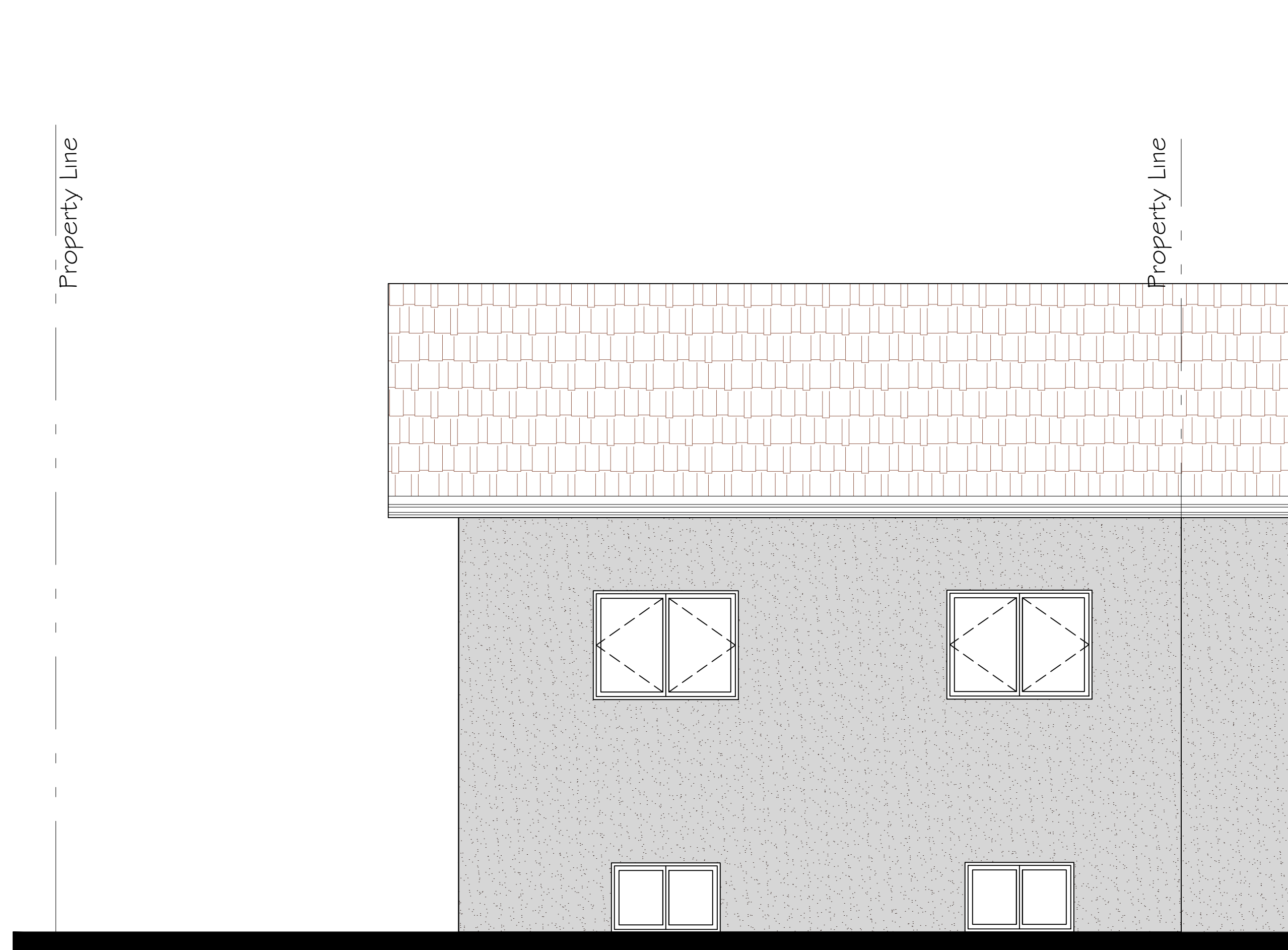
REVISIONS

Project
GARAGE AND BACKYARD SUIT
 LOCATION
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Title
EAST ELEVATION

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Drawn By SA	Scale 3/8"=1'-0"	

AS PER 9.10.14.4.-A WHEN THE LIMITING DISTANCE(TO THE **IMAGINARY PROPERTY LINE**)
 1.8m and the Maximum Total Area of Exposing Building Face=227 SQ.FT = 21.1SQ.M
 ,THE Maximum Aggregate Area of Unprotected Openings SHOULD BE 11%OR LESS
 OPENING AREA= 24.9 SQ.FT = 2.3 SQ.M ,(2.3/23.4)x100=11%(Compliant)



1
A.08

MAIN HOUSE WALL FACING THE BACK YARD SUIT
 SCALE:3/8"=1' 0"

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Title
MAIN HOUSE ELEVATION

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 GARAGE AND BACKYARD SUIT

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