

# This is a **contextual** application What's the difference?

The information below came from the Land Use Bylaw, please visit

for more information.



VS.



## Contextual Single Detached Dwelling

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

- The City
- The public

## Single Detached Dwelling

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

- The City
- The public

**Tip:** Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

**Contextual Single Detached** dwelling applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

### What if the application does not meet the rules?

If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Single Detached** dwelling which would allow The City and the public to comment.



The City has reviewed this application and determined that it meets the contextual rules.

**These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.**

Learn more at:  
**Calgary.ca/development**

# Proposed Contextual Detached Dwelling w/ Legal Basement Suite - Development Permit Set

1015 32nd Avenue NW., Calgary, Alberta

LOT 45

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**engineers / consultants:**  
Horizon Land Surveys Inc.  
Office: (403) 719-0272  
Enviromatics Group Ltd.  
Office: (403)291-0442

**legend:**  
--- denotes Coniferous  
--- denotes Deciduous  
--- denotes Removal  
--- denotes Remains  
--- denotes Window Well  
--- proposed sideyard windows  
--- concrete, broom finish  
--- 20mm crushed limestone on weed barrier fabric

**general notes:**  
- all existing structures on site to be removed  
- construction access to be from rear lane  
- city boulevard is to remain free of excavated material and storage of construction material is not permitted  
Prior to any Digging, please contact:  
utility@safety.ca

**general requirements:**  
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Project should be sensitive to the Cambrian Heights ARP  
Project should be sensitive to the Municipal Development Plan  
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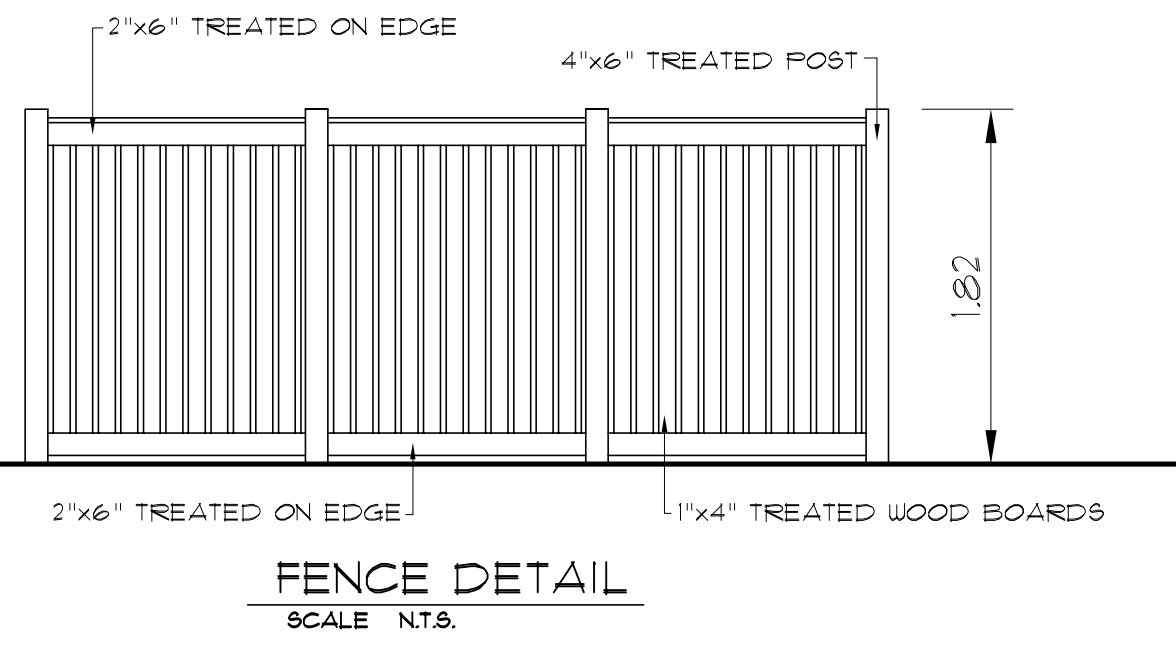
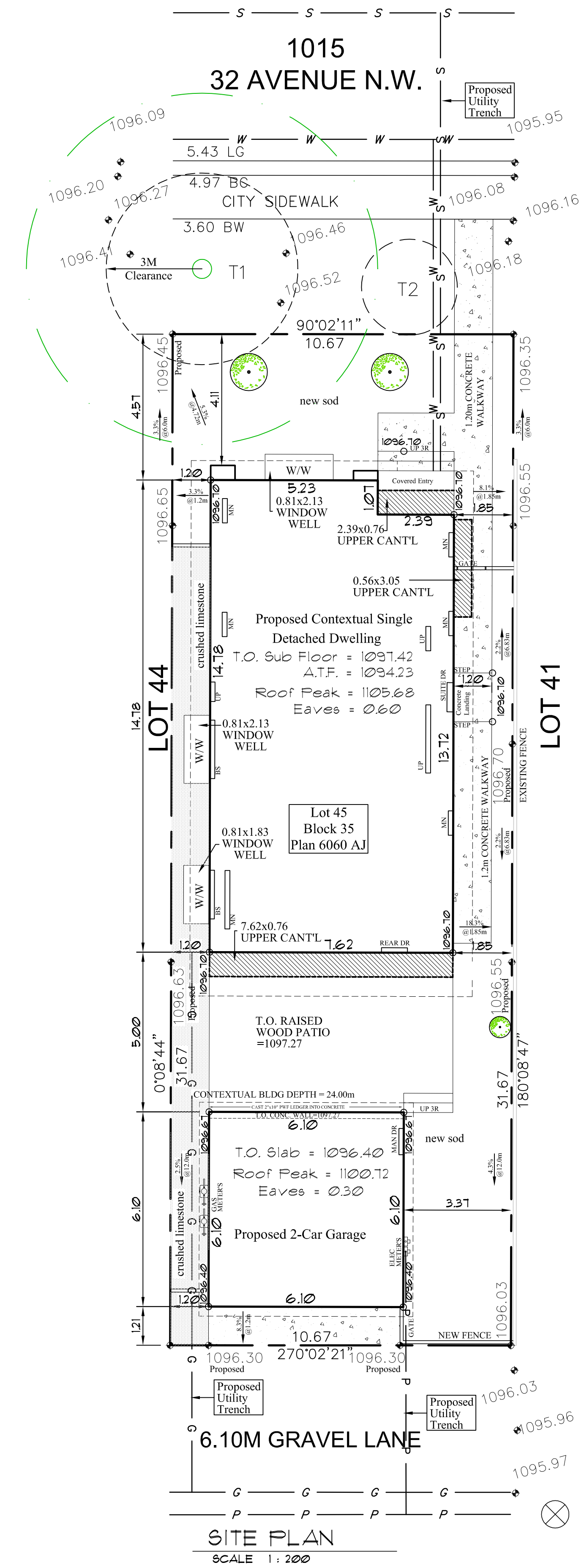
**municipal address:**  
1015 32 Avenue NW  
Calgary, Alberta  
**legal description:**  
LOT: 45  
BLOCK: 35  
PLAN #: 6060 AJ

**zoning:**  
R-CG  
**community:**  
CAMBRIAN HEIGHTS  
**zoning:**  
Ward 4



**sheet title**  
SITE PLAN  
**job no.** DP LOT 44 **sheet no.**  
**drawn** JPC  
**checked** JPC  
**date** APRIL 17, 2025  
**scale** AS NOTED

sheet	description
A1	Site Plan
A2	Block Plan Streetscape Tree Protection Plan
A2.1	Existing Site Plan
A3	North Elevation East Elevation West Elevation South Elevation Window Schedule
A4	Basement Suite Plan Main / Upper Floor Plans Roof Plan
A5	Building Section A Building Section B Building Section C Section Notes
A6	Detached Garage Plans
A7	
A8	
A9	



**SITE INFORMATION**  
LOT: 45  
BLOCK: 35  
PLAN: 6060 AJ  
ADDRESS: 1015 32 AVENUE NW  
COMMUNITY: CAMBRIAN HEIGHTS, CALGARY  
ZONING: R-CG DISTRICT  
**PARCEL COVERAGE** (LUB. 534 (2) (a))  
PARCEL WIDTH: 10.67 M (35'-0")  
PARCEL AREA: 331.91 SQ.M. (3,631 SQ.FT.)  
BLDG. FOOTPRINT: 110.20 SQ.M. (1,180 SQ.FT.)  
COVERED ENTRY: 3.60 SQ.M. (39 SQ.FT.)  
GARAGE: 31.16 SQ.M. (400 SQ.FT.)  
PERMITTED COVERAGE: 45% (152.05 SQ.M.)  
PROPOSED COVERAGE: 44.87% (151.96 SQ.M.)  
**PARKING** (LUB. 1116)  
**VEHICULAR PARKING**  
REQUIRED: 1 STALLS PER DWELLING UNIT  
PROVIDED: 2 STALLS IN DETACHED GARAGE  
1 STALL FOR MAIN DWELLING, 1 STALL FOR BASEMENT SUITE

**LAND USE BYLAW ANALYSIS - IP2007**  
**PART 5: LOW DENSITY RESIDENTIAL DISTRICTS**  
DIVISION I: GENERAL RULES FOR LOW DENSITY RESIDENTIAL  
346(1/4) IN DEVELOPED AREAS, TREES REQUIRED BY THIS SECTION:  
- WHERE A CONTEXTUAL SINGLE DETACHED DWELLING IS LOCATED ON A PARCEL WITH A PARCEL WIDTH GREATER THAN 10 METRES A MINIMUM OF 3 TREES MUST BE PROVIDED  
347(1) CONTEXTUAL SINGLE-DETACHED DWELLING MUST PROVIDE:  
- A PORTION OF THE FRONT FACADE RECESSED OR PROJECTING 2.0m IN WIDTH, 0.6m IN DEPTH AND 2.4m IN HEIGHT PROVIDED AT FRONT FACADE  
- A PORCH PROJECTING FROM THE FRONT FACADE 2.0m IN WIDTH 1.2m IN DEPTH PROVIDED AT FRONT FACADE  
- MUST NOT HAVE A ROOF SLOPE LESS THAN 4:12 WITHIN 15M OF THE HORIZONTAL PLANE FORMING THE MAXIMUM BLDG. HT. PROVIDED  
347(4) - WHERE A CONTEXTUAL SINGLE DETACHED DWELLING ON A WIDTH GREATER THAN 10m, THE MAX BLDG DEPTH IS THE CONTEXTUAL BUILDING DEPTH AVERAGE PLUS 4.6 METRES PROVIDED: Address 1015 Bldg. Depth = 19.6m Address 1019 Bldg. Depth = 19.2m AVERAGE = 19.40m + 4.6m = 24.00m PROVIDED = 19.30m  
351 - SECONDARY SUITE:  
21 - THERE IS NO MAXIMUM FLOOR AREA FOR A SECONDARY SUITE LOCATED IN A BASEMENT  
4 - R-CG DISTRICT, A PRIVATE OUTDOOR AMENITY SPACE IS NOT REQUIRED.

**PART 5: LOW DENSITY RESIDENTIAL DISTRICT**  
- DIV. I: General Rules for Low-Density Residential Land Use Districts  
- DIV. II: R-CG Residential-Grade Oriented Infill  
**526 PERMITTED USES**  
(b.1) CONTEXTUAL SINGLE DETACHED DWELLING  
**536 BUILDING SETBACK AREAS**  
- As required in sections 535, 537, 538, 539 & 540  
Minimum front building setback is 3.00 M  
Provided = 3.60 M  
Minimum sideyard setbacks are 1.2 M  
Provided = 1.50 M  
Minimum rear setback on laned or corner parcel is 1.2 M  
Provided = 1.20 M (Detached Garage)  
**541 BUILDING HEIGHT**  
(1) Maximum Building Height is 11.0m  
(2) Maximum Building Height is 11.0m where a building setback is required from a property line shared with another parcel designated with a low density residential district or, the M-CG or H-GO District, the maximum building height.  
(a) is the greater of:  
i) the highest geodetic elevation of a main residential building on the adjoining parcel, or  
ii) 7.0 metres from grades measured at the shared property line, and  
b) increases at a 45 degree angle to a maximum of 11.0 metres measured from grade.

**Planting Legend** - 3 TREES REQUIRED - 346(1/4)  
Amur Maple Trees (LOCATED IN FRONT YARD) (Deciduous) (QTY. OF 2 TO BE PLANTED, MINIMUM 85mm CALIPER)  
Columnar Aspen (LOCATED IN REAR YARD) (Deciduous) (QTY. OF 1 TO BE PLANTED, MINIMUM 60mm CALIPER)  
ALL SODDED AREAS TO BE DROUGHT TOLERANT GRASS SPECIES - CREEPING RED FESCUE OR EQUIVALENT.  
All trees and shrubs will be of a species capable of healthy growth in Calgary and will conform to the standards of the Canadian Nursery Landscape Association.  
New matured trees to be planted after construction as required by the Land Use Bylaw.

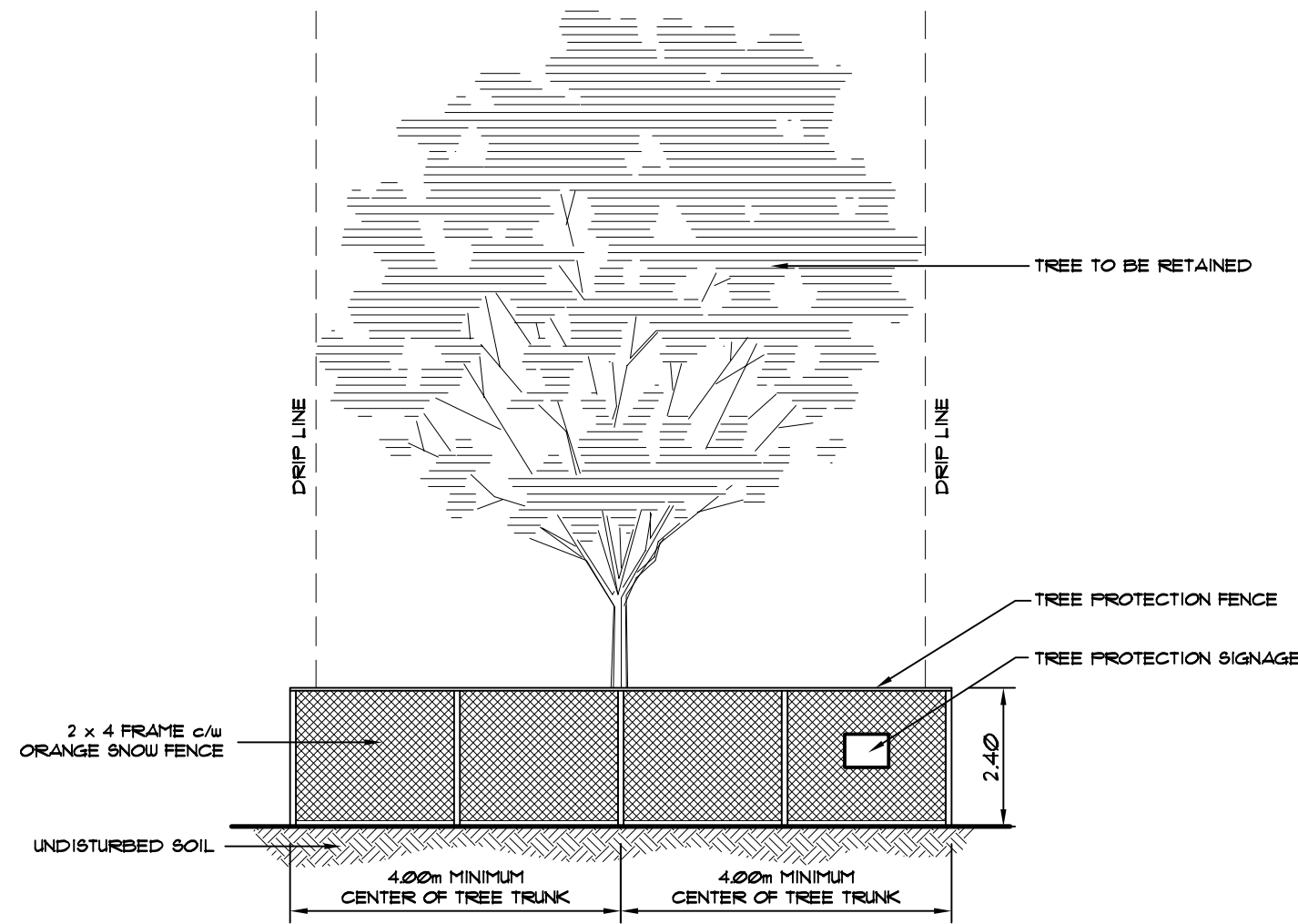
**Existing Tree Schedule**

Tree No.	Variety	Trunk (Ø±)	Conopy (Ø±)	Height (±)	Location	Comments
T1	GREEN ASH	0.60	11.0	10.0	In City Property	RETAINED
T2	LILAC SHRUB	0.10	3.0	2.5	In City Property	REMOVED
T3	LILAC SHRUB	0.10	3.0	2.5	In City Property	REMOVED
T4	Bush	---	2.5	3.0	On Property Line	RETAINED
T5	Bush	---	2.5	2.0	In Subject Property	REMOVED
T6-T8	Bush	---	1.5	2.0	In Subject Property	REMOVED
T9	Coniferous	0.80	9.0	14.0	In Adjacent Property	REMOVED
T10	Deciduous	1.00	6.0	9.0	In Subject Property	REMOVED
T11-T14	Deciduous	0.10	2.0	3.0	In City Property	REMOVED

**Spot Elevation Legend**  
#1036.84 Existing Grade  
O1037.02 Proposed Grade



**NORTH ELEVATION**  
1015 32 AVENUE NW  
Scale = 1:200



**TREE PROTECTION ZONE DETAIL**  
Scale = N.T.S



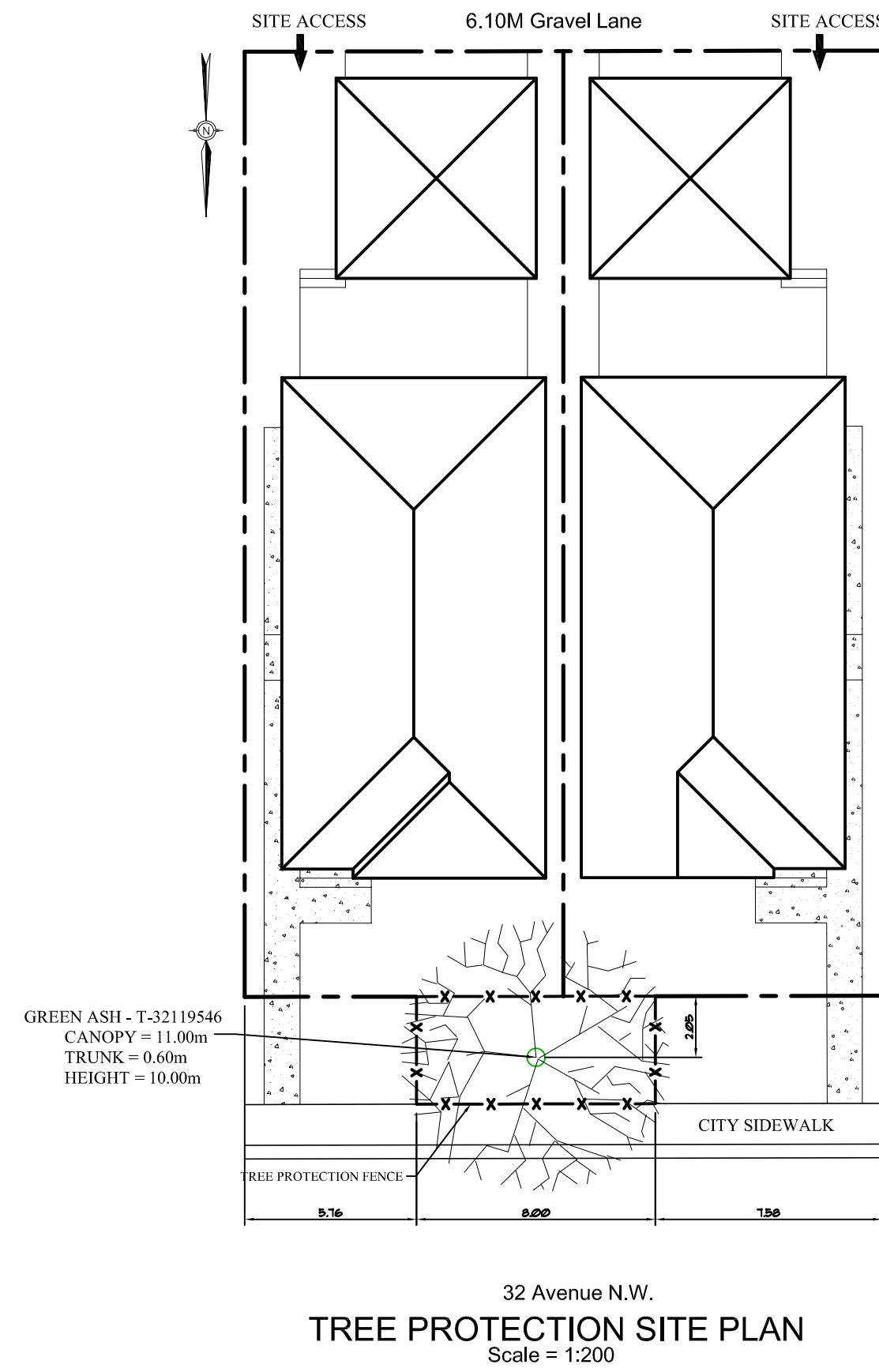
**TREE PROTECTION SIGNAGE**  
Scale = N.T.S

**TREE PROTECTION PLAN:**

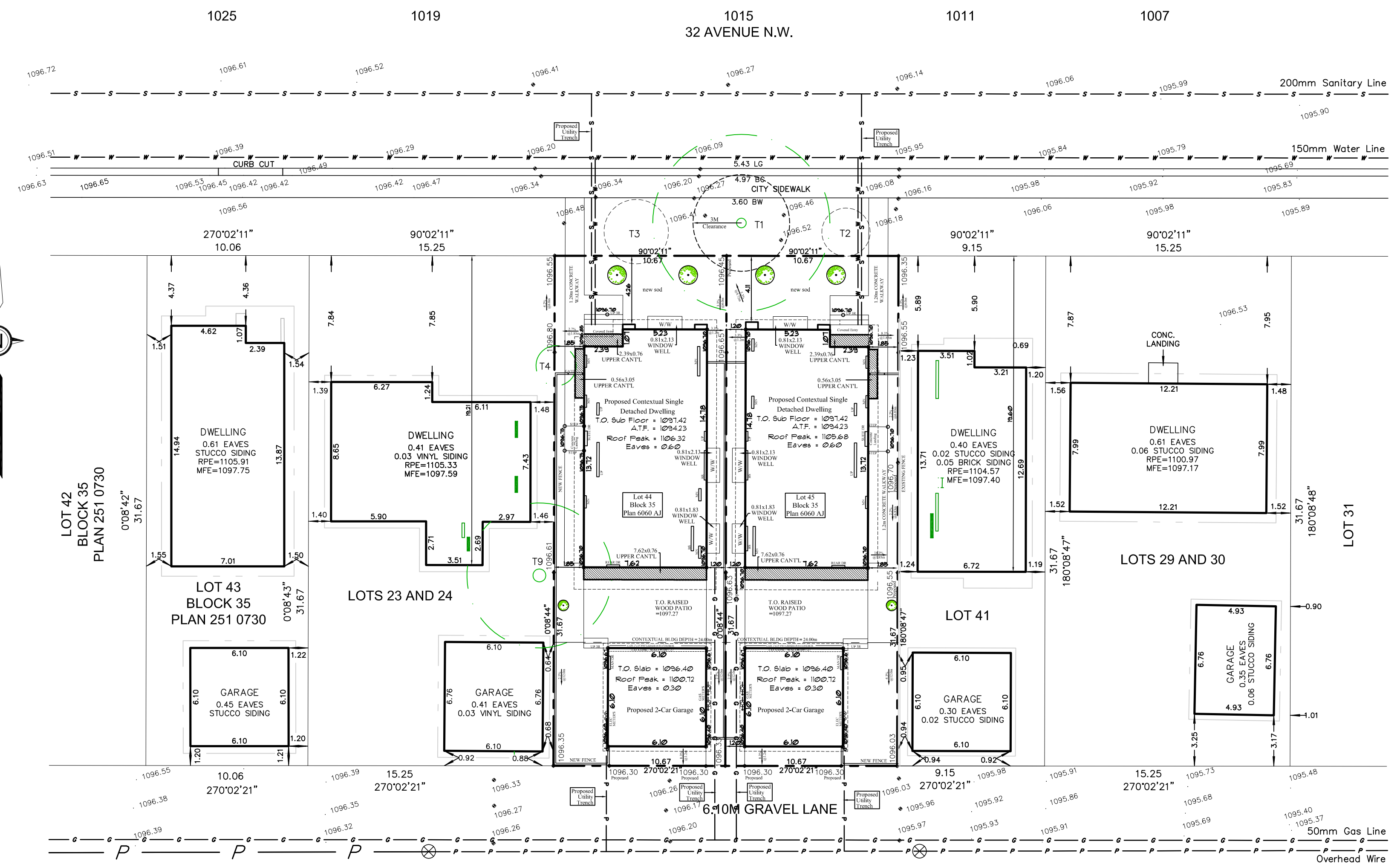
- EQUIPMENT AND CONSTRUCTION MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
- ALL MATERIALS AND EQUIPMENT SHALL BE STORED ON PRIVATE PROPERTY.
- AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON-SITE DURING THE FOLLOWING STAGES OF CONSTRUCTION:
  - PRIOR TO CONSTRUCTION FOR REVIEW OF THE TREE PROTECTION MEASURES
  - IF PRUNING IS REQUIRED FOR PUBLIC TREE(S), CONTACT AN URBAN FORESTRY TECHNICIAN AT 311
  - AT ANY TIME A TREE ON CITY LAND REQUIRES ATTENTION
- TREE PROTECTION REQUIREMENTS PRIOR TO AND DURING CONSTRUCTION:
  - PRUNING OF BRANCHES TO PROVIDE CLEARANCE FOR NEW BUILDINGS
  - IF ELEVATED PRUNING IS REQUIRED FOR THE INSTALLATION OF NEW SERVICES, AN INDEMNIFIED CONTRACTOR THAT IS APPROVED BY THE CITY MUST BE USED AND WRITTEN APPROVAL OBTAINED FROM URBAN FORESTRY PRIOR TO PRUNING
  - ROOT PRUNING AS REQUIRED DURING EXCAVATION
  - OPTIONAL PROTECTIVE MULCH (2-3 cm IN SIZE x 5 cm DEEP) OVER THE TREE PROTECTION ZONE. MULCH TO REMAIN 5 cm AWAY FROM THE TREE TRUNK
  - SUPPLEMENTAL WATERING, WHEN REQUIRED
  - SOIL AERATION, WHEN REQUIRED
  - PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIALS TO ENCRoACH INTO THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE
- TREE PROTECTION MEASURES POST CONSTRUCTION:
  - SUPPLEMENTAL WATERING, WHEN REQUIRED
  - SOIL AERATION, WHEN REQUIRED
- ON-SITE TREE PROTECTION ADMINISTRATOR:
 

GENERAL HOMES LTD.  
CONTACT: (403) 969-1111

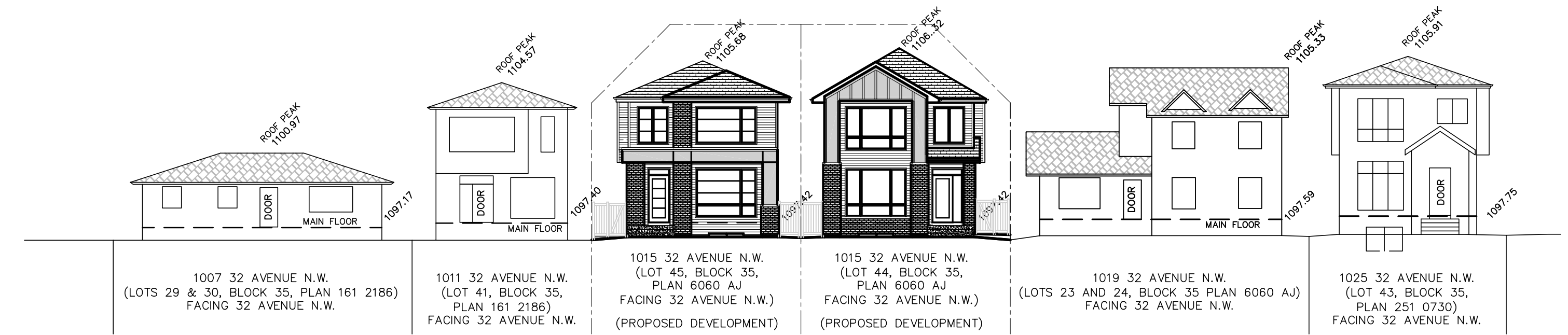
THE TREE PROTECTION ADMINISTRATOR SHALL ENSURE ALL CONSTRUCTION WORK ADHERES TO THE APPROVED TREE PROTECTION PLAN AND THAT ALL CONTRACTORS WORKING ON-SITE ARE AWARE OF THE TREE PROTECTION BY-LAW AND THE APPROVED TREE PROTECTION PLAN.



**TREE PROTECTION SITE PLAN**  
Scale = 1:200



**BLOCK PLAN**  
SCALE 1:200



**NORTH STREETSCAPE PLAN**  
SCALE 1:200

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- legend:**
- denotes Coniferous
  - denotes Deciduous
  - denotes Removal
  - denotes Remains
  - denotes Window Well
  - proposed sideyard windows
  - concrete, broom finish
  - 20mm crushed limestone on weed barrier fabric

**general notes:**

- all existing structures on site to be removed
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- city boulevard is to remain free of excavated material and storage of construction material is not permitted

Prior to any Digging, please contact:  
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**zoning:**  
R-CG

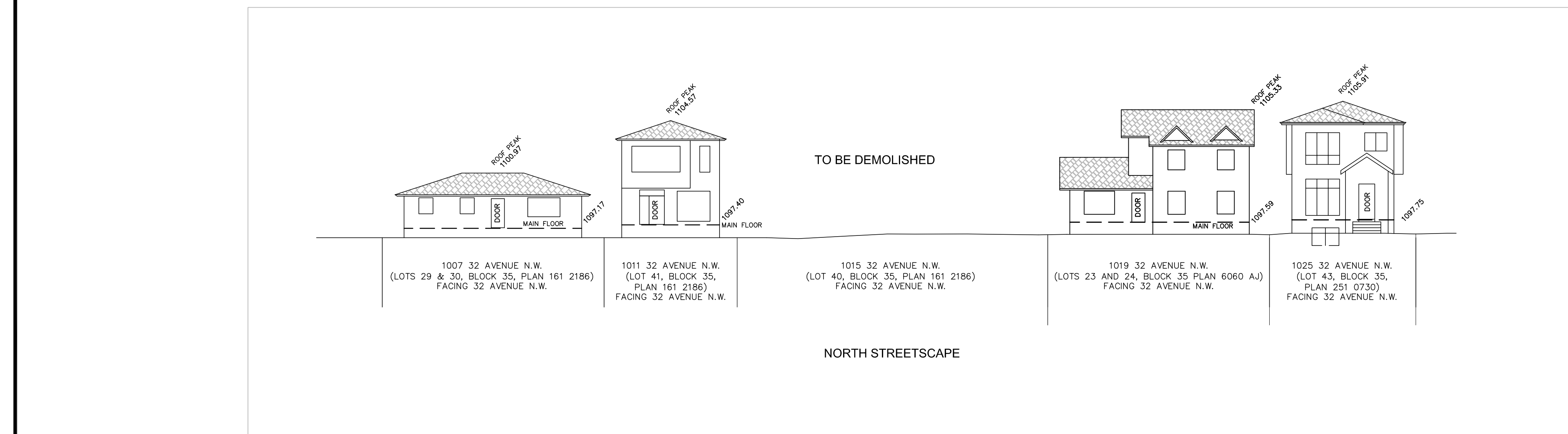
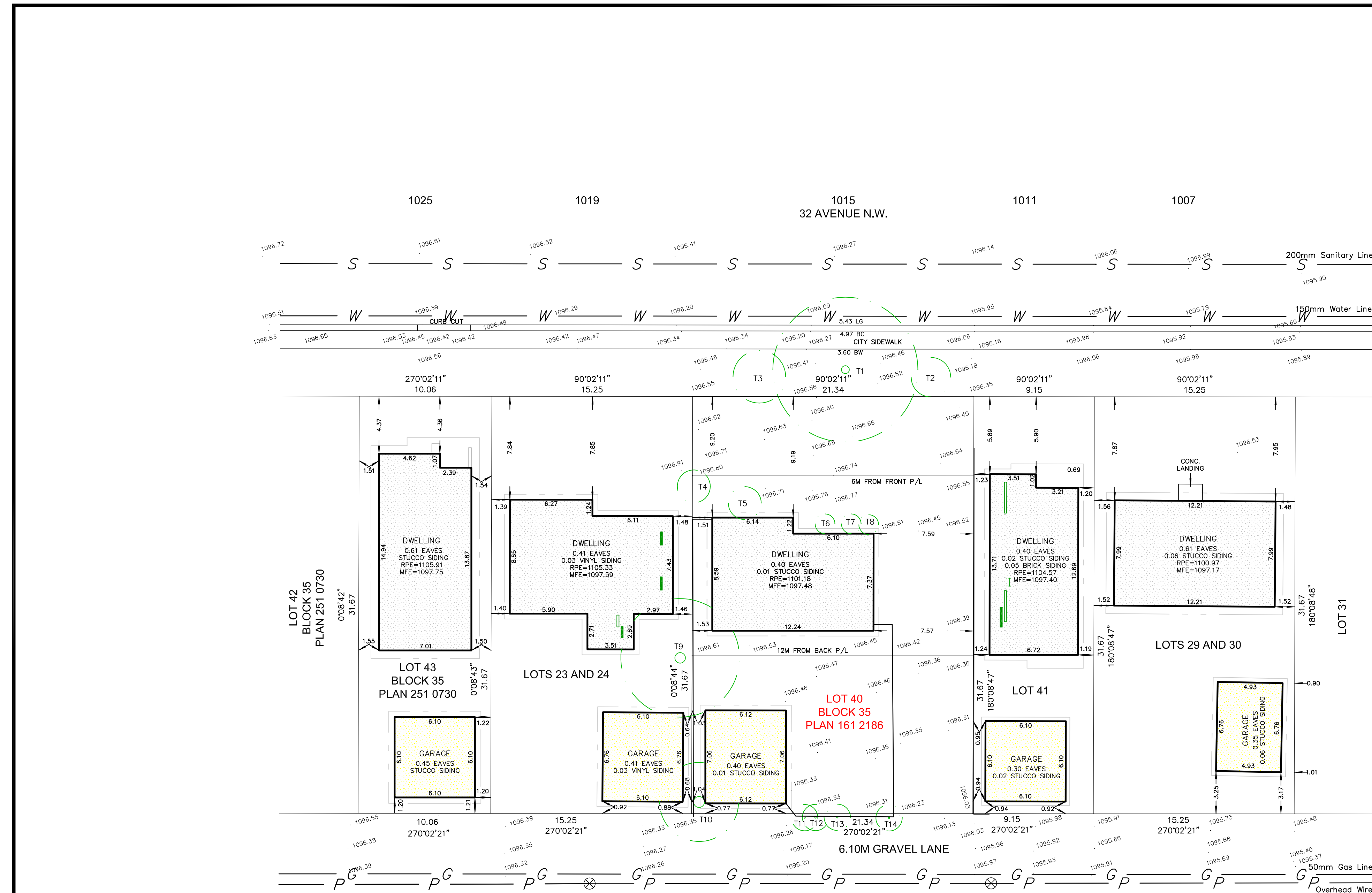
**community:**  
CAMBRIAN HEIGHTS

**zoning:**  
Ward 4



**sheet title**  
BLOCK PLAN  
STREETSCAPE  
TREE PROTECTION PLAN

job no.	DP LOT 44	sheet no.
drawn	JPC	A2
checked	JPC	
date	APRIL 17, 2025	
scale	AS NOTED	



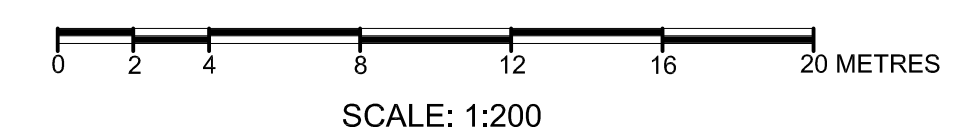
# SITE PLAN

MUNICIPAL ADDRESS:  
1015 32 AVENUE N.W.  
CALGARY, ALBERTA

LEGAL DESCRIPTION:  
LOT 40  
BLOCK 35  
PLAN 161 2186

PREPARED FOR: [REDACTED]

DATE OF SURVEY: October 25th, 2025



## LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

'2F.'-Second Floor  
'BC'-Back of Curb  
'BW'-Back of Walkway  
'Cant.'-Cantilever  
'Conc.'-Concrete  
'Elev.'-Elevation  
'Enc.'-Encroach(es)  
'L'-Length of Arc  
'LG'-Lip of Gutter  
'M.F.'-Main Floor  
'MFE'-Main Floor Elevation  
'R'-Radius  
'R/W'-Right of Way  
'Ret.'-Retaining  
'RPE'-Roof Peak Elevation  
'WB'-Bottom of Wall  
'WT'-Top of Wall

## NOTE:

1. The basis of this plan is as follows:  
Datum: North American Datum 1983 (original)  
Projection: 3° Transverse Mercator  
Reference Meridian: 114° west longitude  
Combined Scale Factor: 0.999731
2. Distances are in ground and are shown in metres and decimals thereof.
3. Distances along curves are arc distances.
4. Elevations are derived from ASCM 159343.
5. Existing spot elevations are shown thus: [Symbol]
6. The Certificate of Title 161 223 034 which was Searched on the 7th day of November, 2025, and includes the following instruments:  
Mortgage No. 161 160 927
7. The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 150, 154, & 161 in Sec.28-Twp.24-Rge.1-W.5M. And 164 in Sec.33-Twp.24-Rge.1-W.5M.  
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

## TREE SCHEDULE:

Tree No.	Variety	Trunk (φ±)	Canopy (±)	Height (±)	Location
T1	Deciduous	0.60	11.0	10.0	In City Property
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T3	Bush	---	4.0	4.0	In City Property
T4	Bush	---	2.5	3.0	On Property Line
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T6-18	Bush	---	1.5	2.0	In Subject Property
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File No.: S(GET) Date: 07/Nov/2025  
Surveyed: RM Drawn: EM  
Horizon Land Surveys Inc.  
130 Bonness Centre N.W. P. 403-719-0272  
Calgary, Alberta, T3B 5M5 F. 403-775-4171

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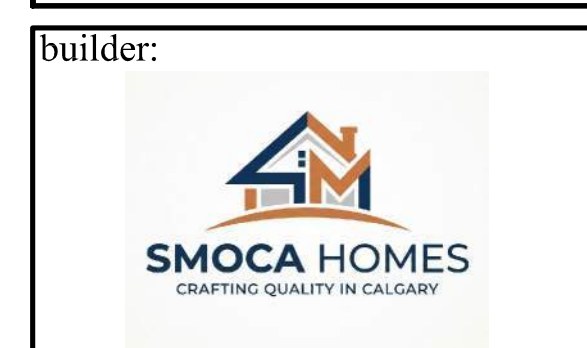
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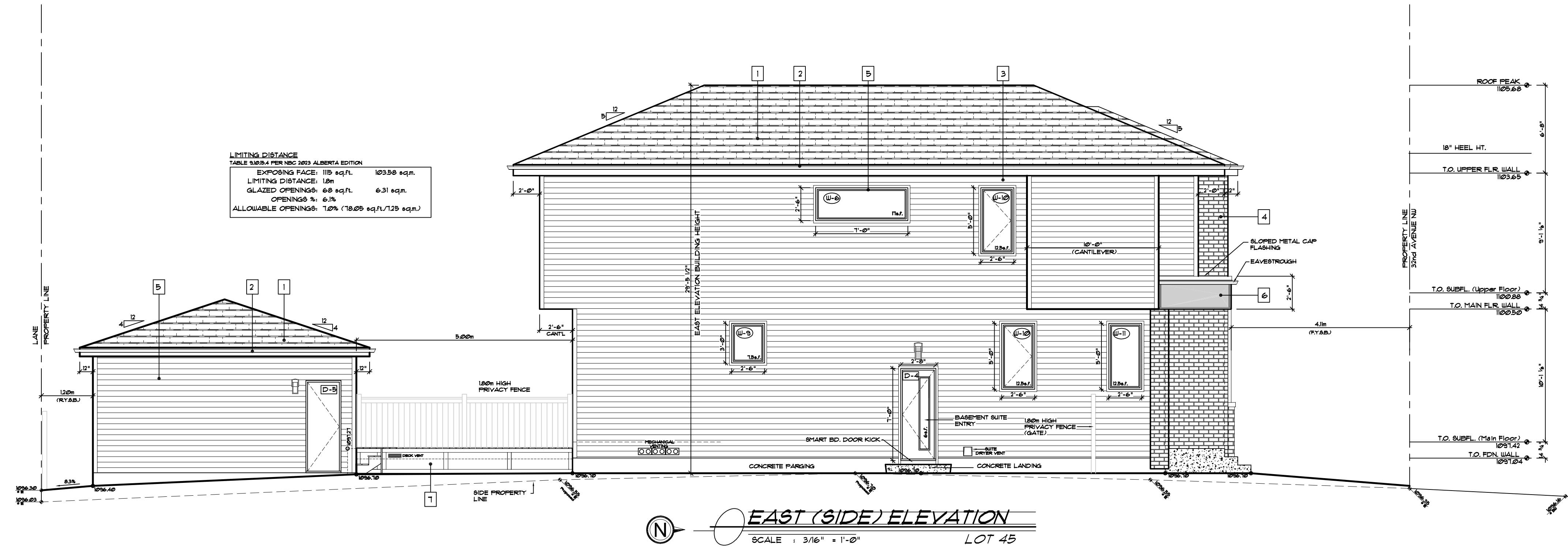
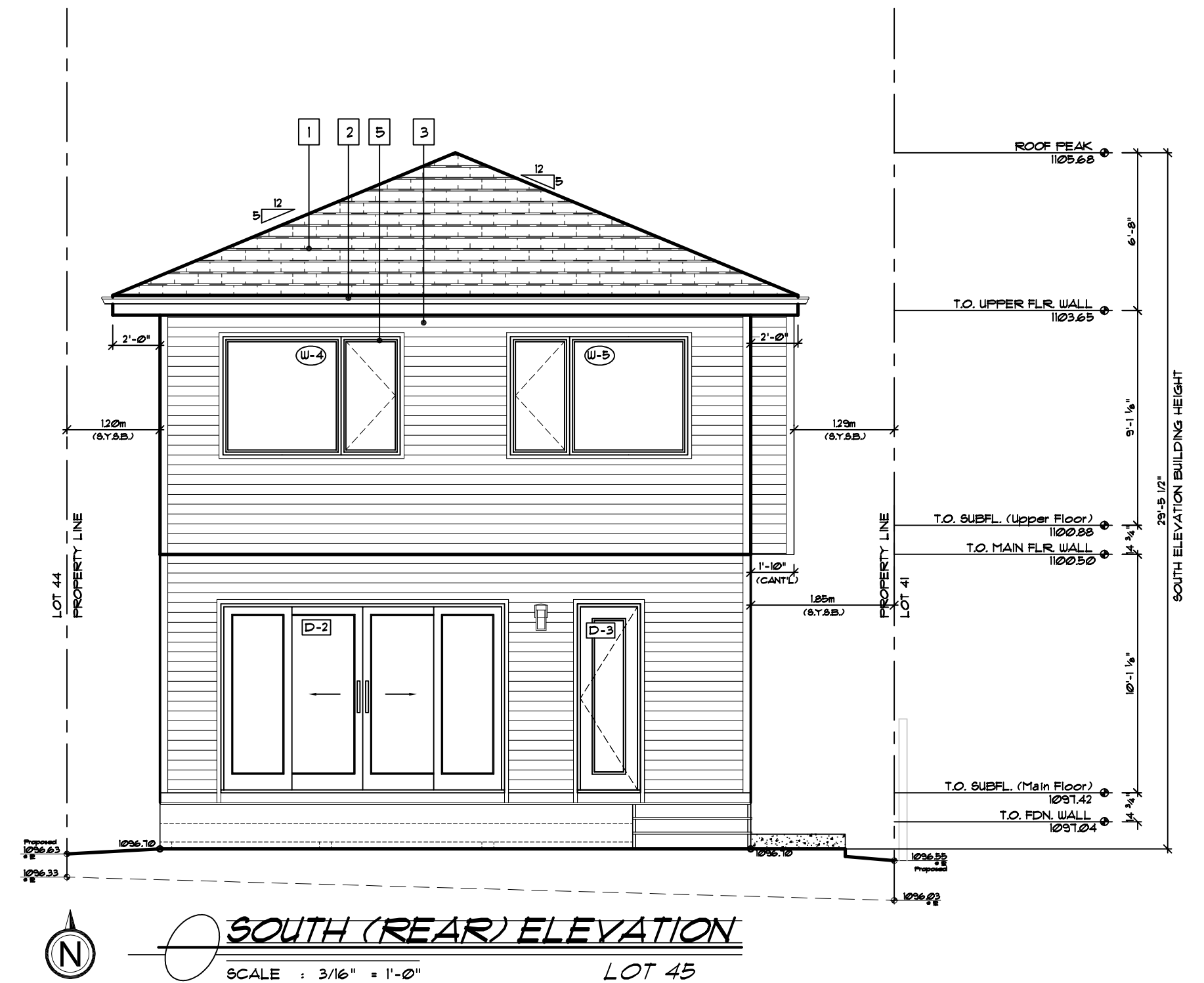
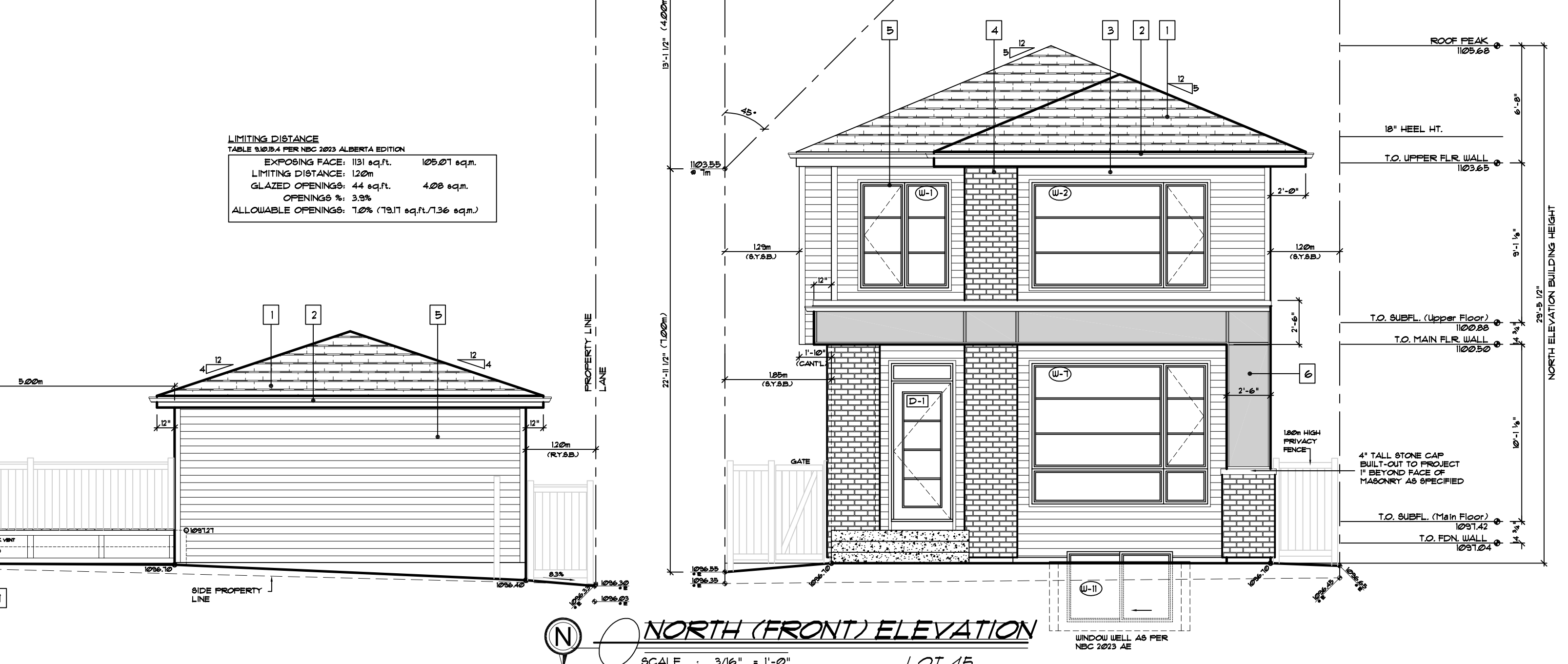
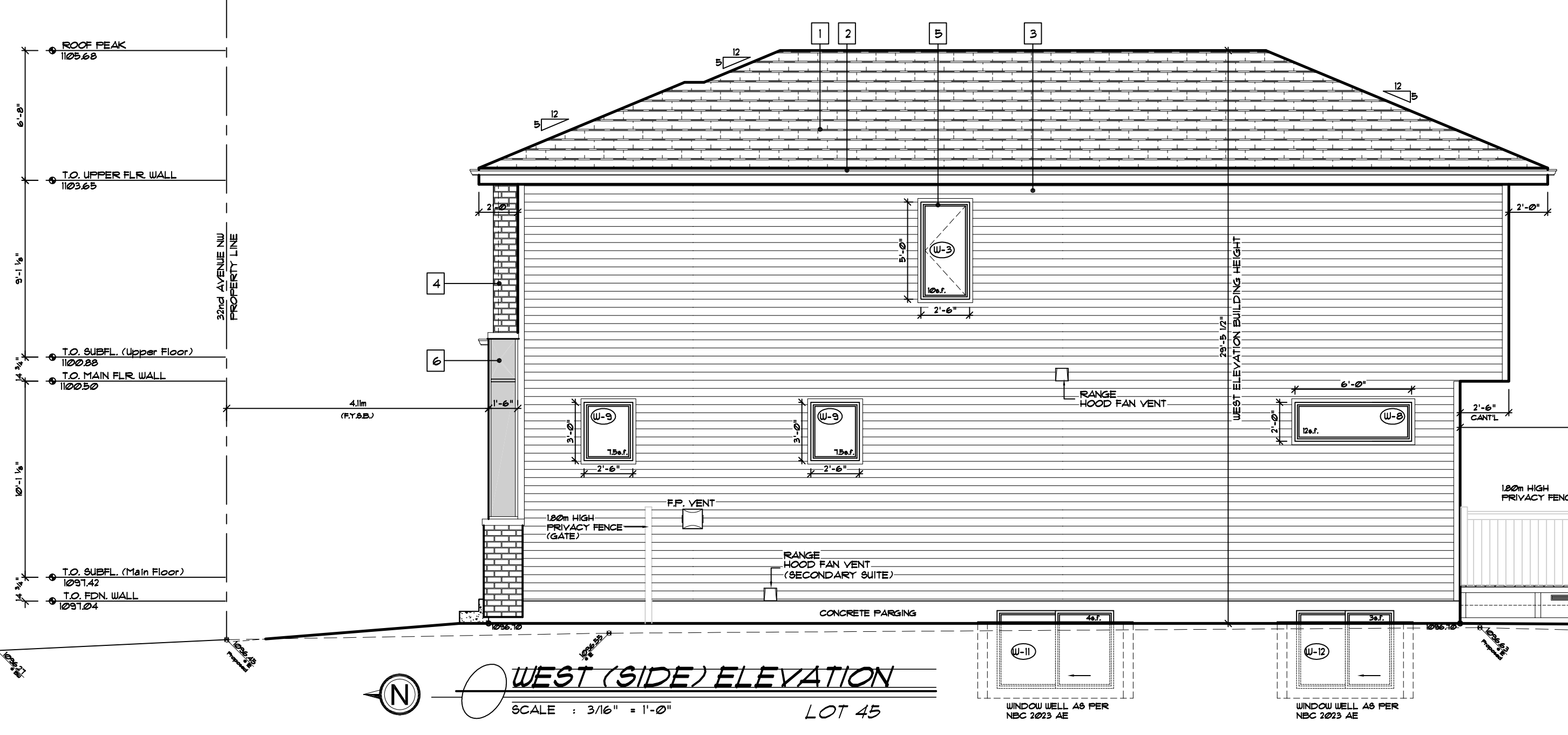
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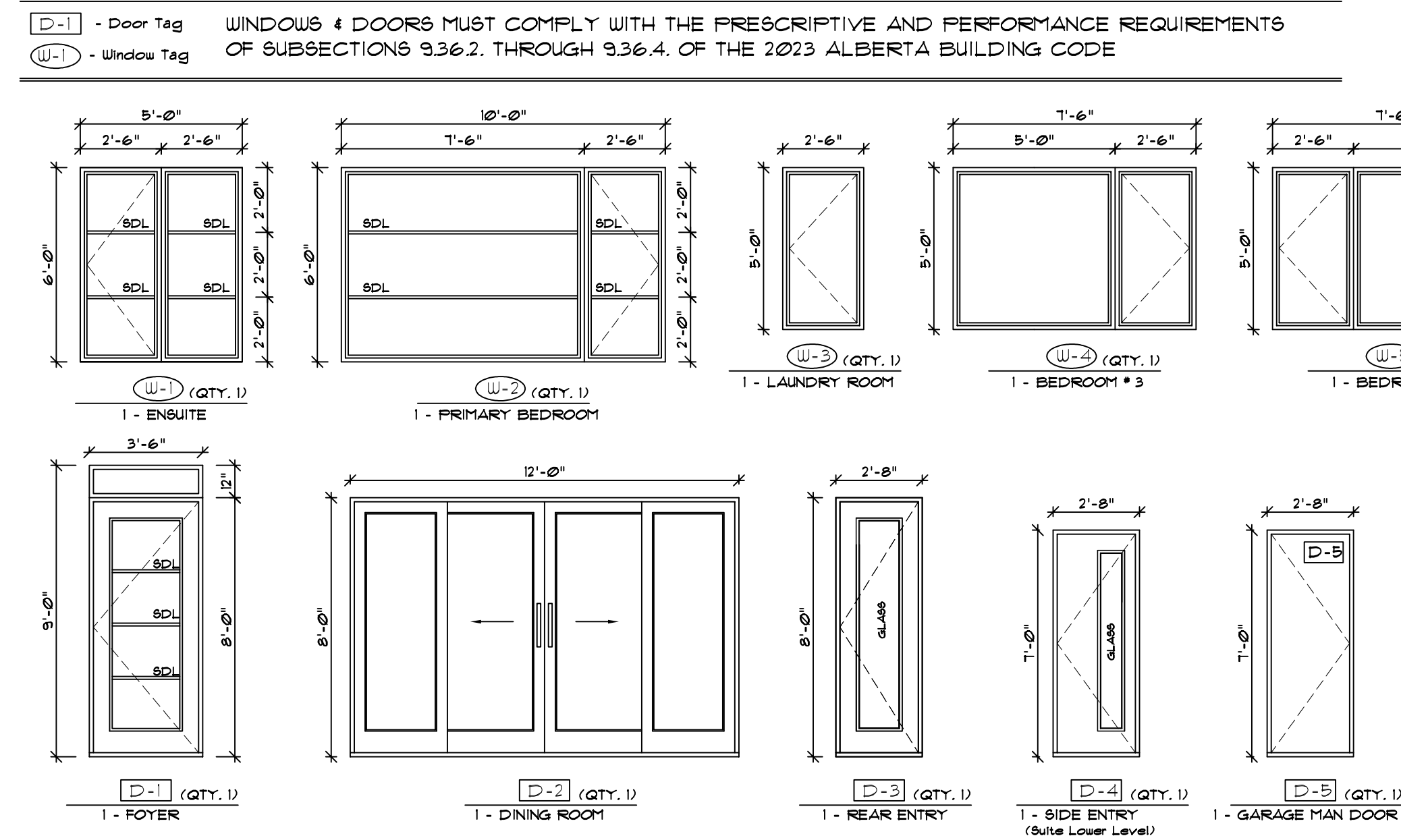
sheet title  
EXISTING SITE PLAN

job no.	DP LOT 44	sheet no.	
drawn	JPC	A2.1	
checked	JPC		
date	APRIL 17, 2025		
scale	AS NOTED		

# LOT 45



## Window & Door Schedule



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DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN SERVICES PROVIDED.

**engineers / consultants:**  
HORIZON LAND SURVEYS INC.  
Office: (403) 719-0212  
ENVIROMATICS GROUP LTD.  
Office: (403) 291-0442  
CONCISE ENGINEERING LTD  
Office: (403) 478-1350

**floor areas:**  
MAIN FLOOR AREA (DEVELOPED) 188 SQFT.  
UPPER FLOOR AREA (DEVELOPED) 171 SQFT.  
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 359 SQFT.  
BASEMENT SUITE AREA 360 SQFT.  
DETACHED GARAGE AREA 400 SQFT.

**exterior finishes:**

- 1 ASPHALT SHINGLES (DUAL BLACK)
- 2 10" ALUMINUM FASCIA/EAVES/SPOUT (BLACK)
- 3 HORIZONTAL COMPOSITE SIDING (HARDY BOARD - ARCTIC WHITE)
- 4 FULL BED BRICK (1-XL BRAMPTON BRICK CHARCOAL MATT)
- 5 METAL CLAD, HYBRID WINDOVS (2-XL HARDY TRIM BURGUNDY BLACK)
- 6 ALUMINUM COMPOSITE PANELS (SPACED EQUALLY (AL-13 or EQUIVALENT))
- 7 HARDY SMART PANELS C/4 TRIM TO RAISED PATIO SKIRT (BLACK)

**VENTED SOFFIT NOTES:**  
- VENTED SOFFIT FRONT & BACK  
- VENTED SOFFIT ON SIDES IF CLEAR OF 12" BETTBACK  
- NON-VENTED SOFFIT ON SIDES WITHIN 12" BETTBACK  
- COLOUR BLACK



**municipal address:**  
1015 32 Avenue NW  
Calgary, Alberta

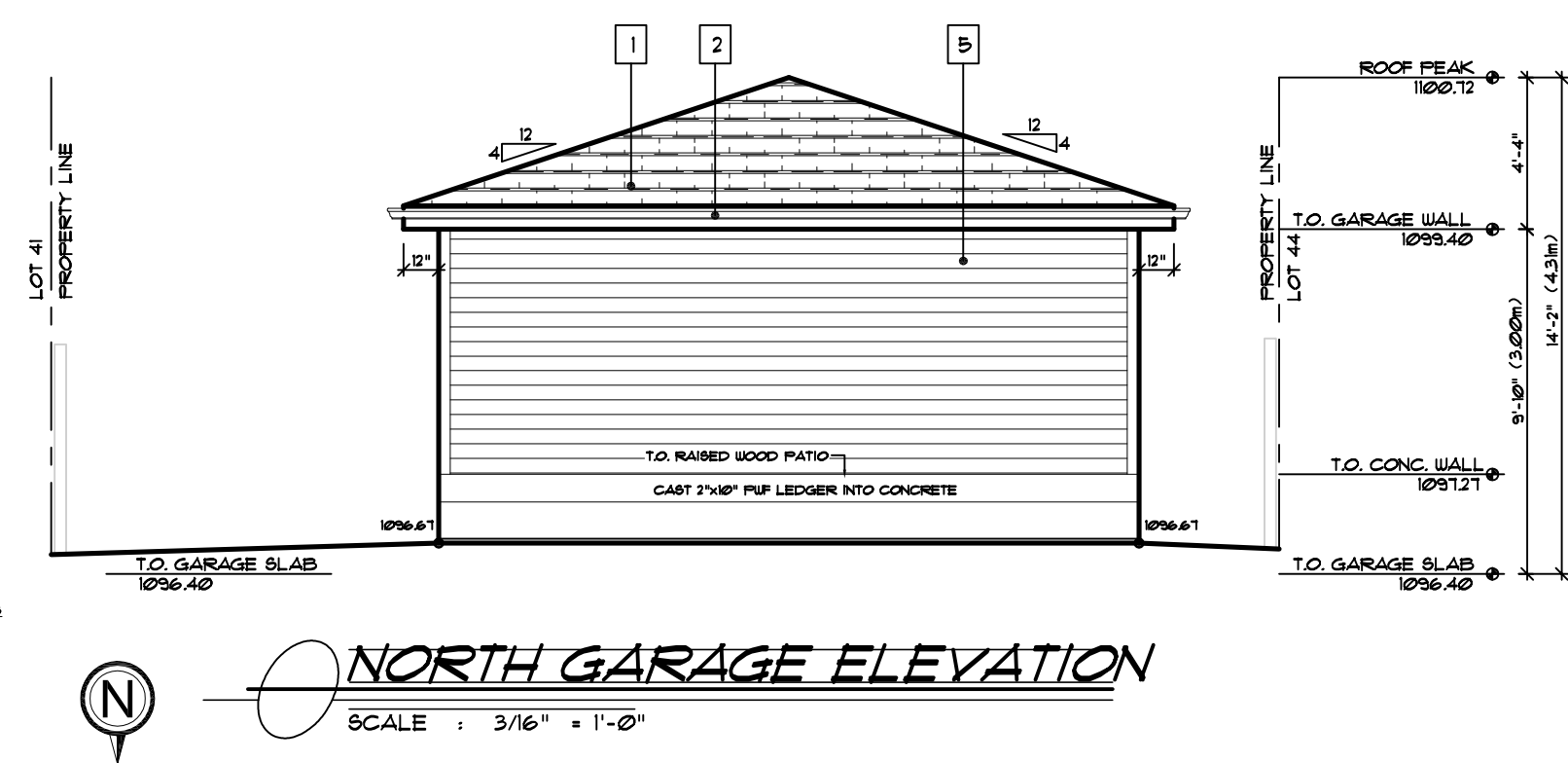
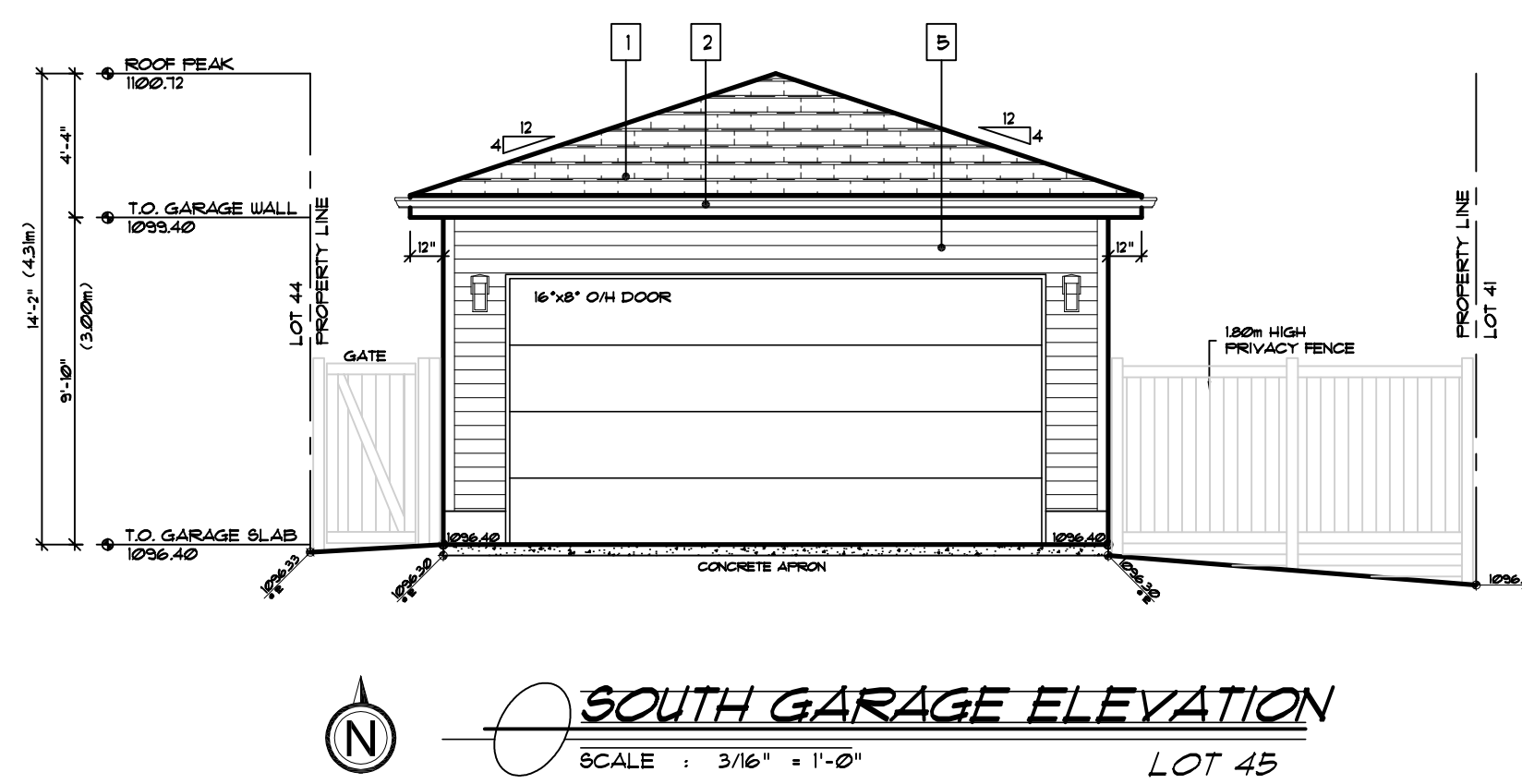
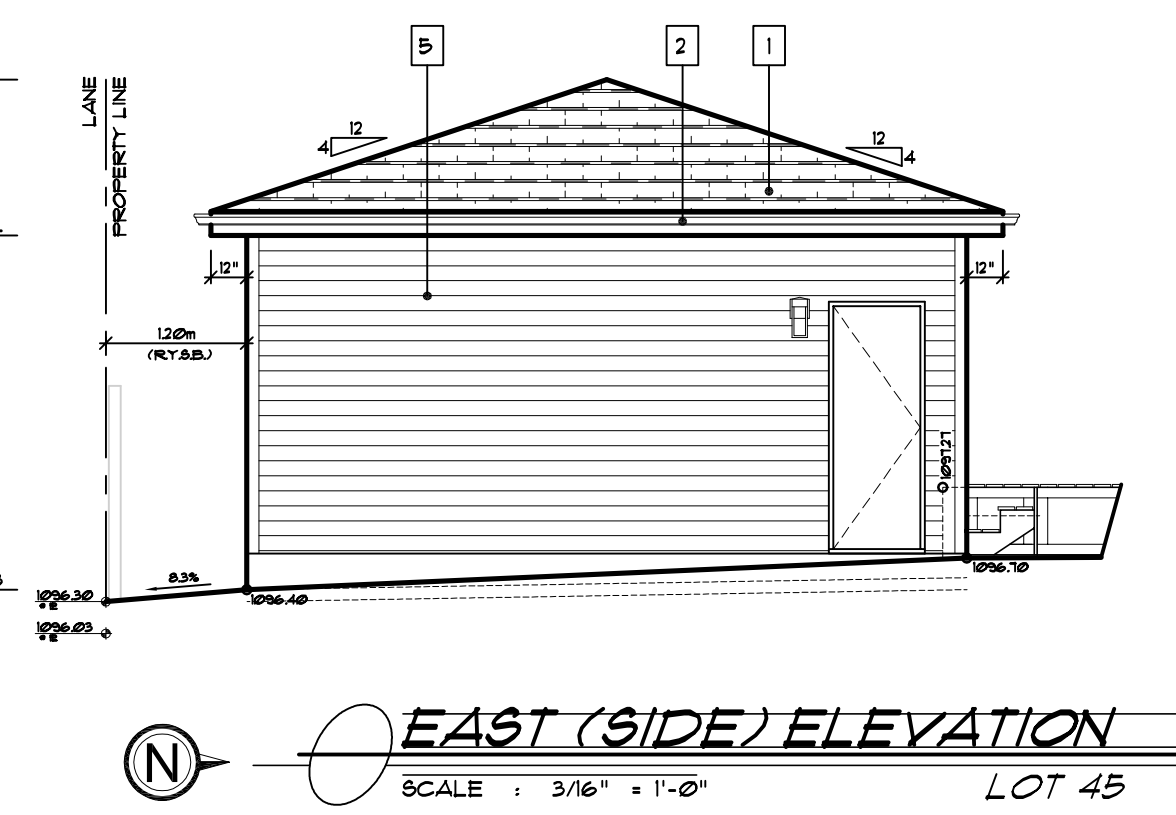
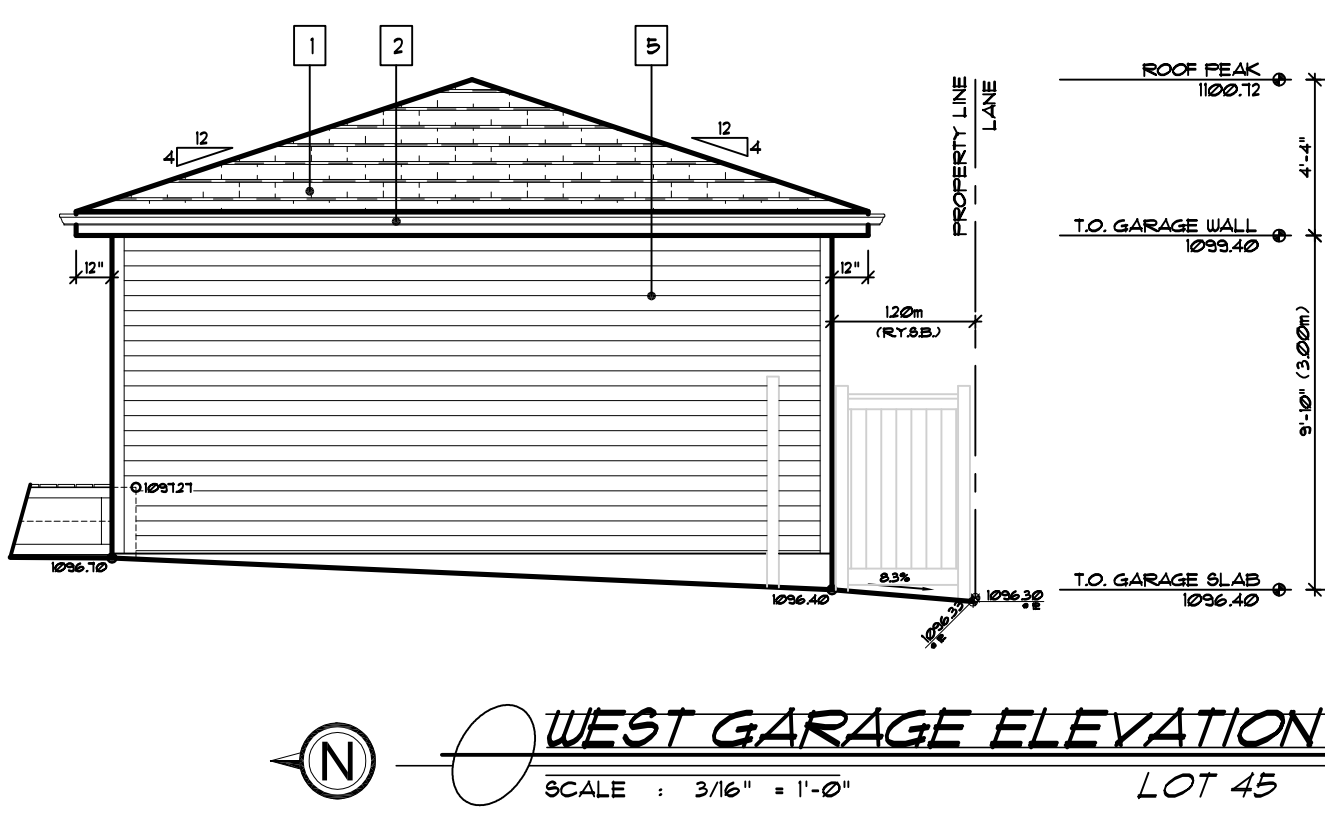
**legal description:**  
LOT: 45  
BLOCK: 35  
PLAN #: 6060 AJ

**zoning:**  
R-CG  
**community:**  
CAMBRIAN HEIGHTS  
**zoning:**  
Ward 4



**sheet title**  
NORTH ELEVATION  
EAST ELEVATION  
WEST ELEVATION  
SOUTH ELEVATION  
WINDOW SCHEDULE

job no.	DP LOT44	sheet no.	
drawn	JPC	A3	
checked	JPC		
date	APRIL 11, 2025		
scale	AS NOTED		



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**engineers / consultants:**

HORIZON LAND SURVEYS INC.  
Office: (403) 719-0212  
ENVIROMATICS GROUP LTD.  
Office: (403) 291-0442  
CONCISE ENGINEERING LTD  
Office: (403) 475-1350

**floor areas:**

MAIN FLOOR AREA (DEVELOPED)	188 SQFT.
UPPER FLOOR AREA (DEVELOPED)	171 SQFT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	2409 SQFT.
BASEMENT SUITE AREA	960 SQFT.
DETACHED GARAGE AREA	400 SQFT.

**exterior finishes:**

- 1 ASPHALT SHINGLES (DUAL BLACK)
  - 2 8" ALUMINUM FASCIA/EAVES/SPOUT (BLACK)
  - 3 8" PAINTED SHIRT BO FASCIA (HARD-BOARD - IRON GRAY)
  - 4 HARD-PANELS 6/8 4" TRIM (BLACK)
  - 5 HORIZONTAL COMPOSITE SIDING 6/8 4" CORNER TRIM (HARD-BOARD - IRON GRAY)
  - 6 FULL BED BRICK (1-XL BRAMPTON BRICK CLARET)
  - 7 METAL CLAD HYBRID WINDOWS 6/8 2" HARD-TRIM SURROUND (BLACK)
  - 8 HARD SHIRT PANELS 6/8 TRIM TO RAISED PATIO SKIRT (BLACK)
- VENTED SOFFIT NOTES:**  
 - VENTED SOFFIT (FRONT & BACK)  
 - VENTED SOFFIT ON SIDES IF CLEAR OF 12" SETBACK  
 - NON-VENTED SOFFIT ON SIDES WITHIN 12" SETBACK  
 - COLOUR BLACK

**builder**



**municipal address:**

1015 32 Avenue NW  
Calgary, Alberta

**legal description:**

LOT: 44  
BLOCK: 35  
PLAN #: 6060 AJ

**zoning:**

R-CG

**community:**

CAMBRIAN HEIGHTS

**ward:**

Ward 4

**designer**



**SUBURBIA DESIGN**

RESIDENTIAL DESIGNER

Tel: (403) 714-1103

suburbia@telus.net

**sheet title**

GARAGE ELEVATIONS  
GARAGE FLOOR PLANS  
GARAGE SECTION

job no. DP LOT44

drawn JPC

checked JPC

date APRIL 17, 2025

scale AS NOTED

sheet no.

**A6**