

Proposed Contextual Detached Dwelling w/ Legal Basement Suite - Development Permit Set

1015 32nd Avenue NW., Calgary, Alberta

LOT 44

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ALL WORK TO CONFORM TO THE ALBERTA BUILDING CODE AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

engineers / consultants:
Horizon Land Surveys Inc.
Office: (403) 719-0272
Enviromatics Group Ltd.
Office: (403)291-0442

legend:

- denotes Coniferous
- denotes Deciduous
- denotes Removal
- denotes Remains
- denotes Window Well
- proposed sideyard windows
- concrete, broom finish
- 20mm crushed limestone on weed barrier fabric

general notes:

- all existing structures on site to be removed
- construction access to be from rear lane
- city boulevard is to remain free of excavated material and storage of construction material is not permitted

Prior to any Digging, please contact:
utilitysaftey.ca

general requirements:

- Project must follow city bylaw IP2007
- Project should be sensitive to the Cambrian Heights ARP
- Project should be sensitive to the Municipal Development Plan
- Project should be sensitive to the Calgary Transportation Plan



municipal address:
1015 32 Avenue NW
Calgary, Alberta

legal description:
LOT: 44
BLOCK: 35
PLAN #: 6060 AJ

zoning:
R-CG
community:
CAMBRIAN HEIGHTS
zoning:
Ward 4

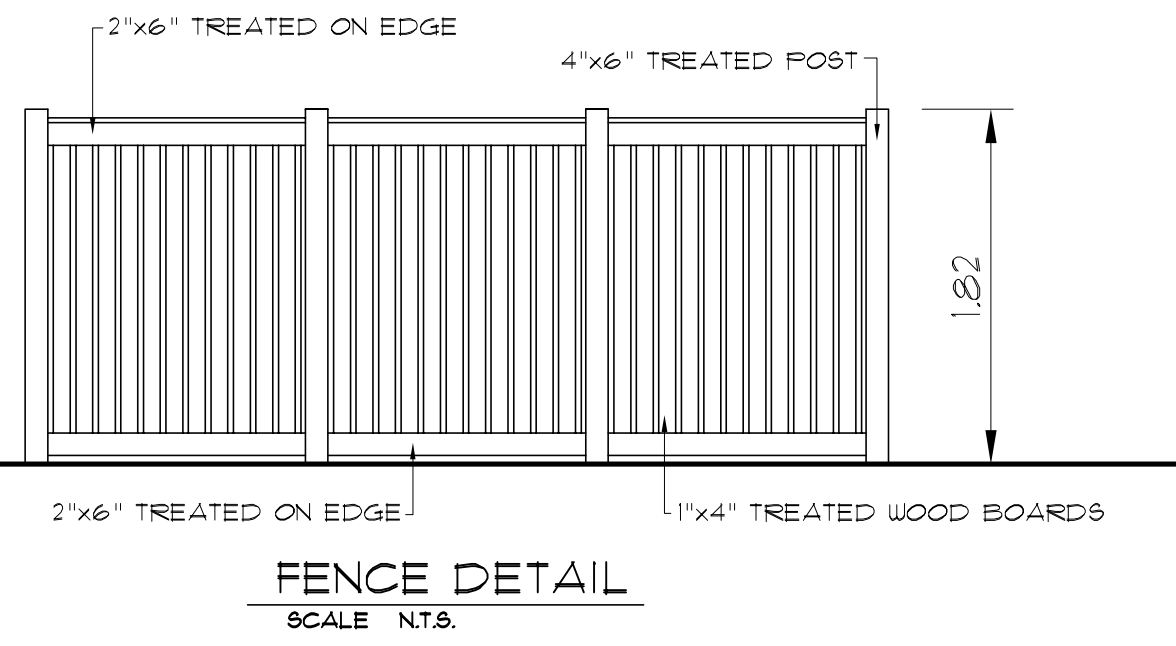
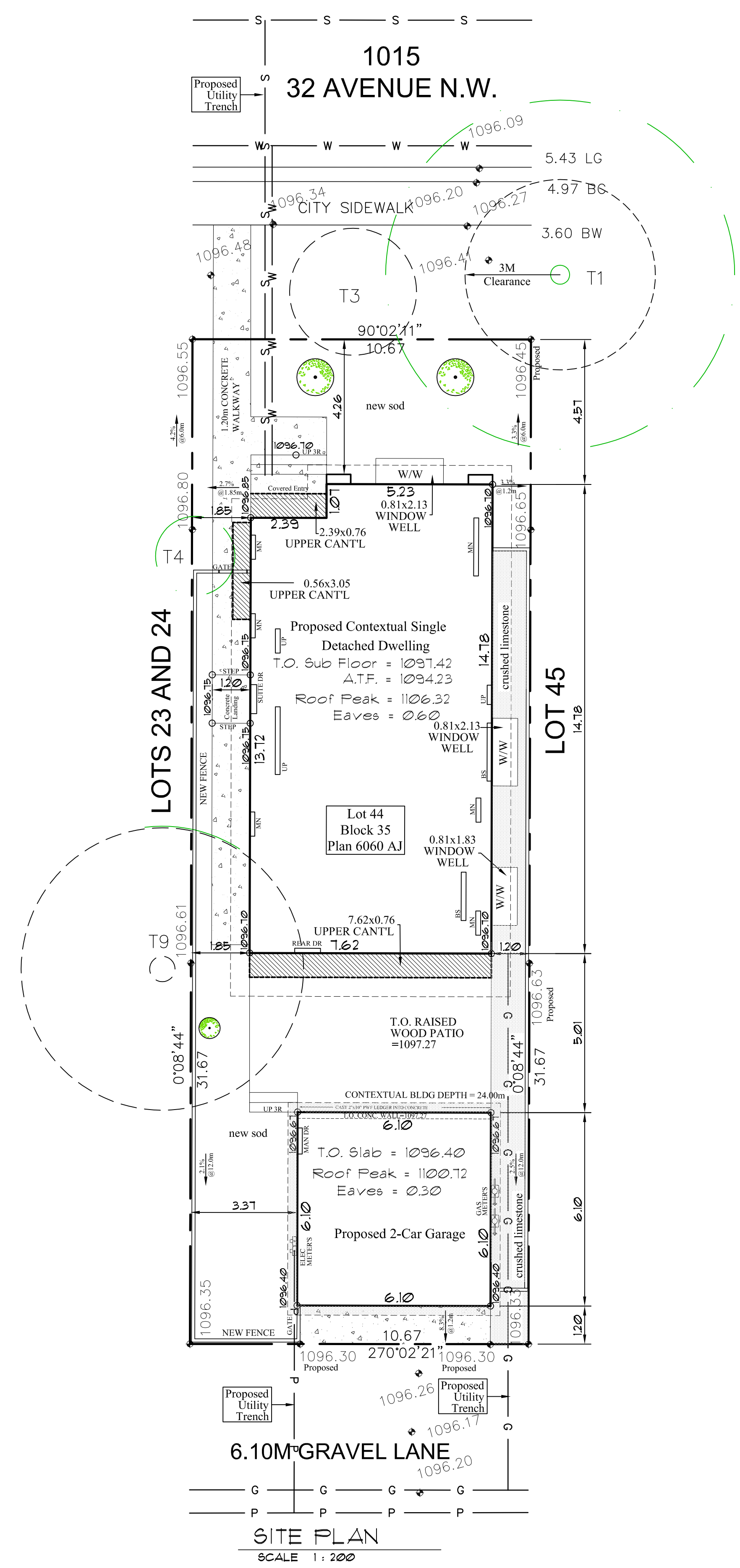


sheet title
SITE PLAN

job no. DP LOT 44 **sheet no.**
drawn JPC
checked JPC
date APRIL 17, 2025
scale AS NOTED

A1

sheet	description
A1	Site Plan
A2	Block Plan Streetscape Tree Protection Plan
A2.1	Existing Site Plan
A3	North / South Elevations Notes
A4	East / West Elevations Window Schedules
A5	Foundation Plan Basement Suite Plan Basement Electrical Plan
A6	Main / Upper Floor Plans Roof Plan Main / Upper Electrical Plans
A7	Building Sections A & B
A8	Building Section C Suite Entry Detail General Material Specifications
A9	Detached Garage Plans General Window Installation Details



SITE INFORMATION
LOT: 44
BLOCK: 35
PLAN: 6060 AJ
ADDRESS: 1015 32 AVENUE NW
COMMUNITY: CAMBRIAN HEIGHTS, CALGARY
ZONING: R-CG DISTRICT

PARCEL COVERAGE (L.U.B. 534 (2) (a))
PARCEL WIDTH: 10.67 M (35'-0")
PARCEL AREA: 337.91 SQ.M. (3,631 SQ.FT.)
BLDG. FOOTPRINT: 111.20 SQ.M. (1,190 SQ.FT.)
COVERED ENTRY: 3.60 SQ.M. (39 SQ.FT.)
GARAGE: 37.16 SQ.M. (400 SQ.FT.)
PERMITTED COVERAGE: 45% (152.05 SQ.M.)
PROPOSED COVERAGE: 44.91% (51.96 SQ.M.)

PARKING (L.U.B. 114c)
VEHICULAR PARKING REQUIRED: 1 STALLS PER DWELLING UNIT
PROVIDED: 2 STALLS IN DETACHED GARAGE
1 STALL FOR MAIN DWELLING, 1 STALL FOR BASEMENT SUITE

LAND USE BYLAW ANALYSIS - IP2007
PART B: LOW DENSITY RESIDENTIAL DISTRICTS
DIVISION I: GENERAL RULES FOR LOW DENSITY RESIDENTIAL

346.1(4) IN DEVELOPED AREAS, TREES REQUIRED BY THIS SECTION:
- WHERE A CONTEXTUAL SINGLE DETACHED DWELLING IS LOCATED ON A PARCEL WITH A PARCEL WIDTH GREATER THAN 10 METRES A MINIMUM OF 3 TREES MUST BE PROVIDED

347(1) CONTEXTUAL SINGLE-DETACHED DWELLING MUST PROVIDE:
- A PORTION OF THE FRONT FACADE RECESSED OR PROJECTING 2.0m IN WIDTH, 0.6m IN DEPTH AND 2.4m IN HEIGHT PROVIDED AT FRONT FACADE
- A PORCH PROJECTING FROM THE FRONT FACADE 2.0m IN WIDTH 1.2m IN DEPTH PROVIDED AT FRONT FACADE
- MUST NOT HAVE A ROOF SLOPE LESS THAN 4:12 WITHIN 1.8M OF THE HORIZONTAL PLANE FORMING THE MAXIMUM BLDG. HT. PROVIDED

347(4) - WHERE A CONTEXTUAL SINGLE DETACHED DWELLING ON A WIDTH GREATER THAN 10m, THE MAX BLDG. DEPTH IS THE CONTEXTUAL BUILDING DEPTH AVERAGE PLUS 4.6 METRES PROVIDED: Address 1015 Bldg. Depth = 19.2m Address 1019 Bldg. Depth = 19.2m AVERAGE = 19.40m + 4.6m = 24.00m PROVIDED = 19.30m

351 - SECONDARY SUITE:
21 - THERE IS NO MAXIMUM FLOOR AREA FOR A SECONDARY SUITE LOCATED IN A BASEMENT
4 - R-CG DISTRICT, A PRIVATE OUTDOOR AMENITY SPACE IS NOT REQUIRED.

PLANTING LEGEND - 3 TREES REQUIRED - 346.1 (4)
Amur Maple Tree (LOCATED IN FRONT YARD)
(Deciduous)
(QTY. OF 2 TO BE PLANTED, MINIMUM 65mm CALIFER)

Columnar Aspen (LOCATED IN REAR YARD)
(Deciduous)
(QTY. OF 1 TO BE PLANTED, MINIMUM 60mm CALIFER)

EXISTING TREE SCHEDULE

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Comments
T1	GREEN ASH	0.60	11.0	10.0	In City Property	RETAINED
T2	LILAC SHRUB	0.10	3.0	2.5	In City Property	REMOVED
T3	LILAC SHRUB	0.10	3.0	2.5	In City Property	REMOVED
T4	Bush	---	2.5	3.0	On Property Line	RETAINED
T5	Bush	---	2.5	2.0	In Subject Property	REMOVED
T6-T8	Bush	---	1.5	2.0	In Subject Property	REMOVED
T9	Coniferous	0.80	9.0	14.0	In Adjacent Property	REMOVED
T10	Deciduous	1.00	6.0	9.0	In Subject Property	REMOVED
T11-T14	Deciduous	0.10	2.0	3.0	In City Property	REMOVED

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(QTY. OF 1 TO BE PLANTED, MINIMUM 60mm CALIFER)

ALL SOODED AREAS TO BE DROUGHT TOLERANT GRASS SPECIES - CREEPING RED FESCUE OR EQUIVALENT.
All trees and shrubs will be of a species capable of healthy growth in Calgary and will conform to the standards of the Canadian Nursery Landscape Association.
New matured trees to be planted after construction as required by the Land Use Bylaw

EXISTING TREE SCHEDULE

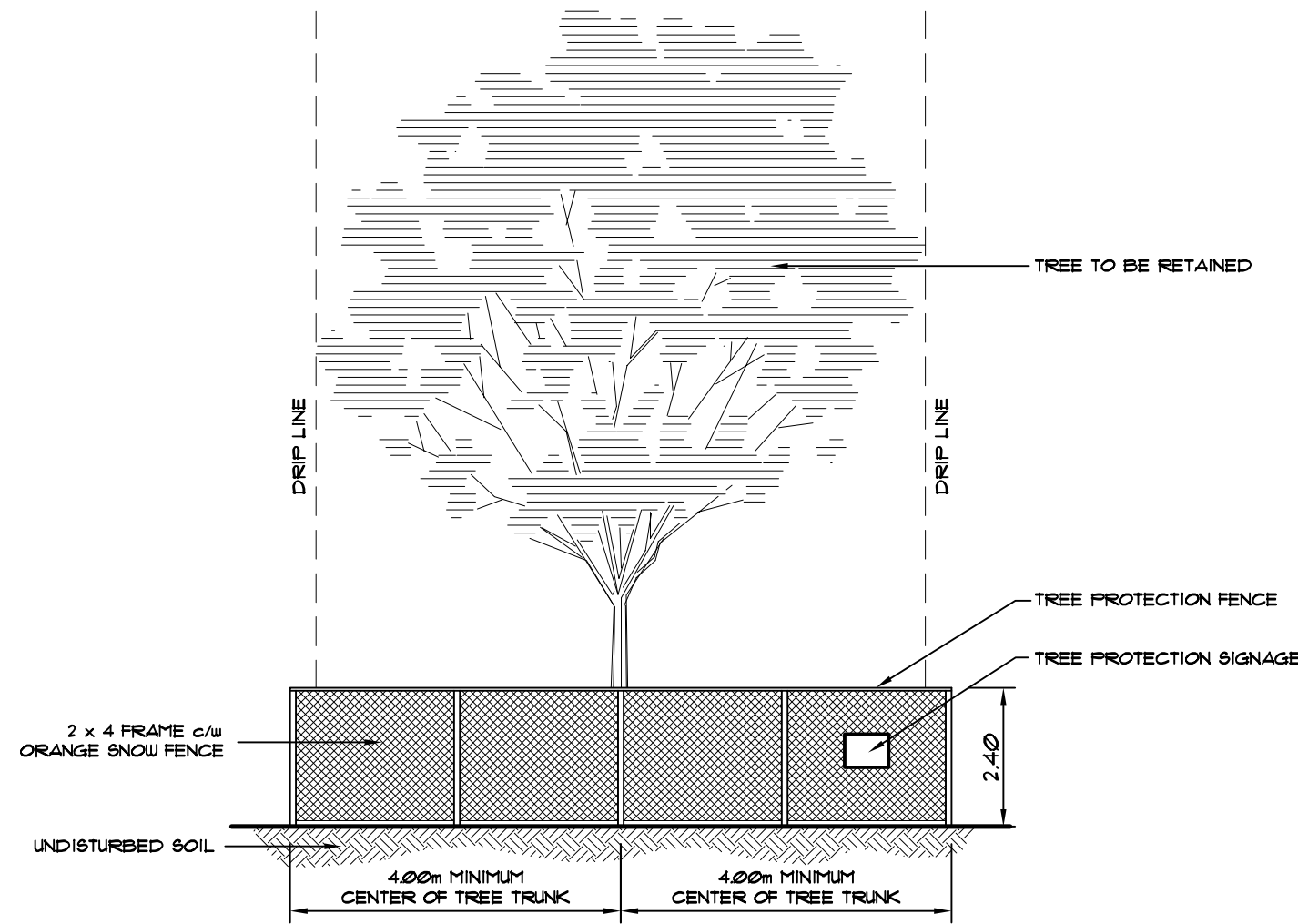
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T9	Coniferous	0.80	9.0	14.0	In Adjacent Property	REMOVED
T10	Deciduous	1.00	6.0	9.0	In Subject Property	REMOVED
T11-T14	Deciduous	0.10	2.0	3.0	In City Property	REMOVED

(a) is the greater of:
1) the highest geodetic elevation of a main residential building on the adjoining parcel, or
2) 2.0 metres from grade
measured at the shared property line, and
b) increases at a 45 degree angle to a maximum of 11.0 metres measured from grade.

Spot Elevation Legend
1036.84 Existing Grade
01037.02 Proposed Grade



NORTH ELEVATION
1015 32 AVENUE NW
Scale = 1:200



TREE PROTECTION ZONE DETAIL
Scale = N.T.S



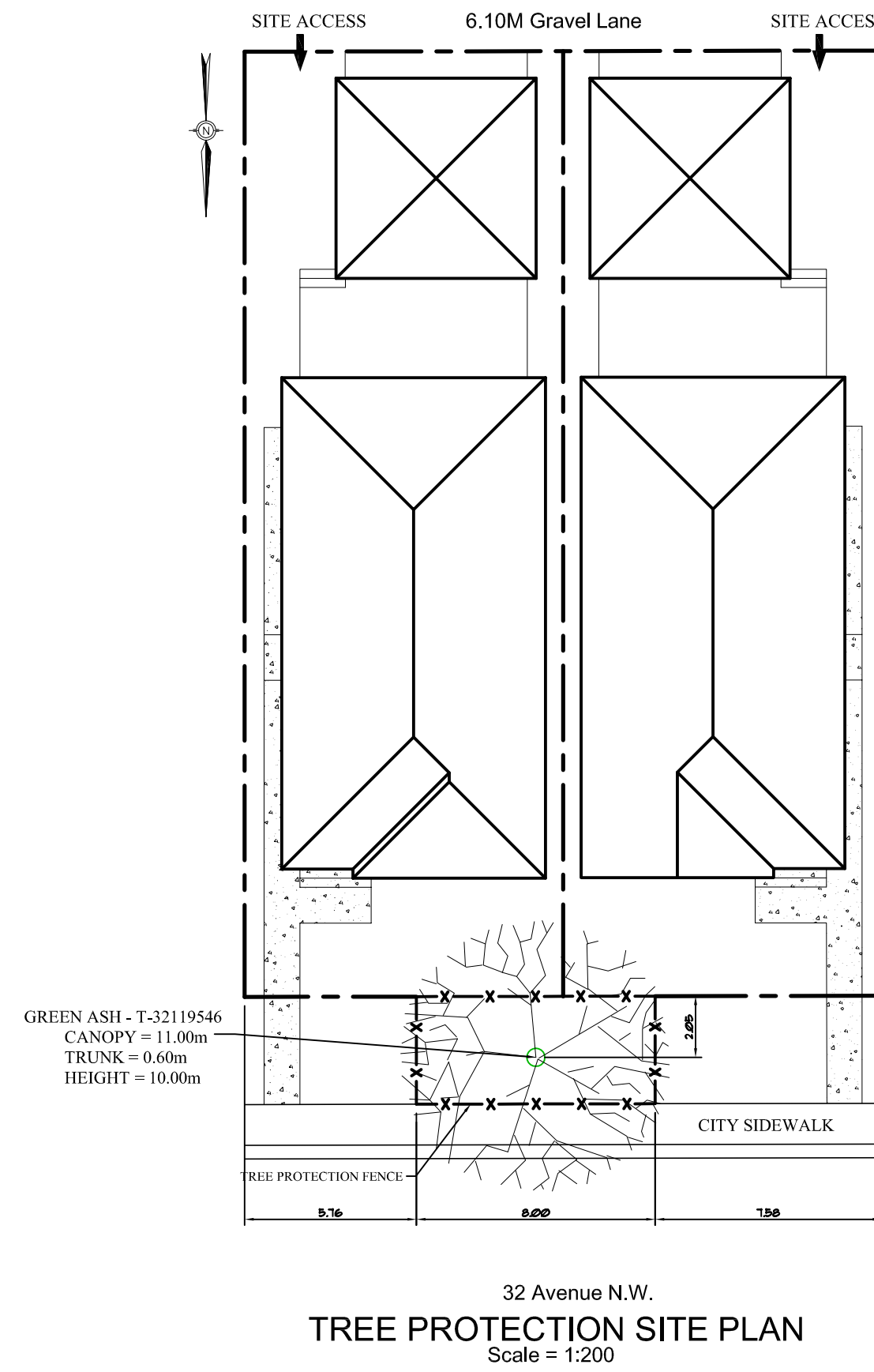
TREE PROTECTION SIGNAGE
Scale = N.T.S

TREE PROTECTION PLAN:

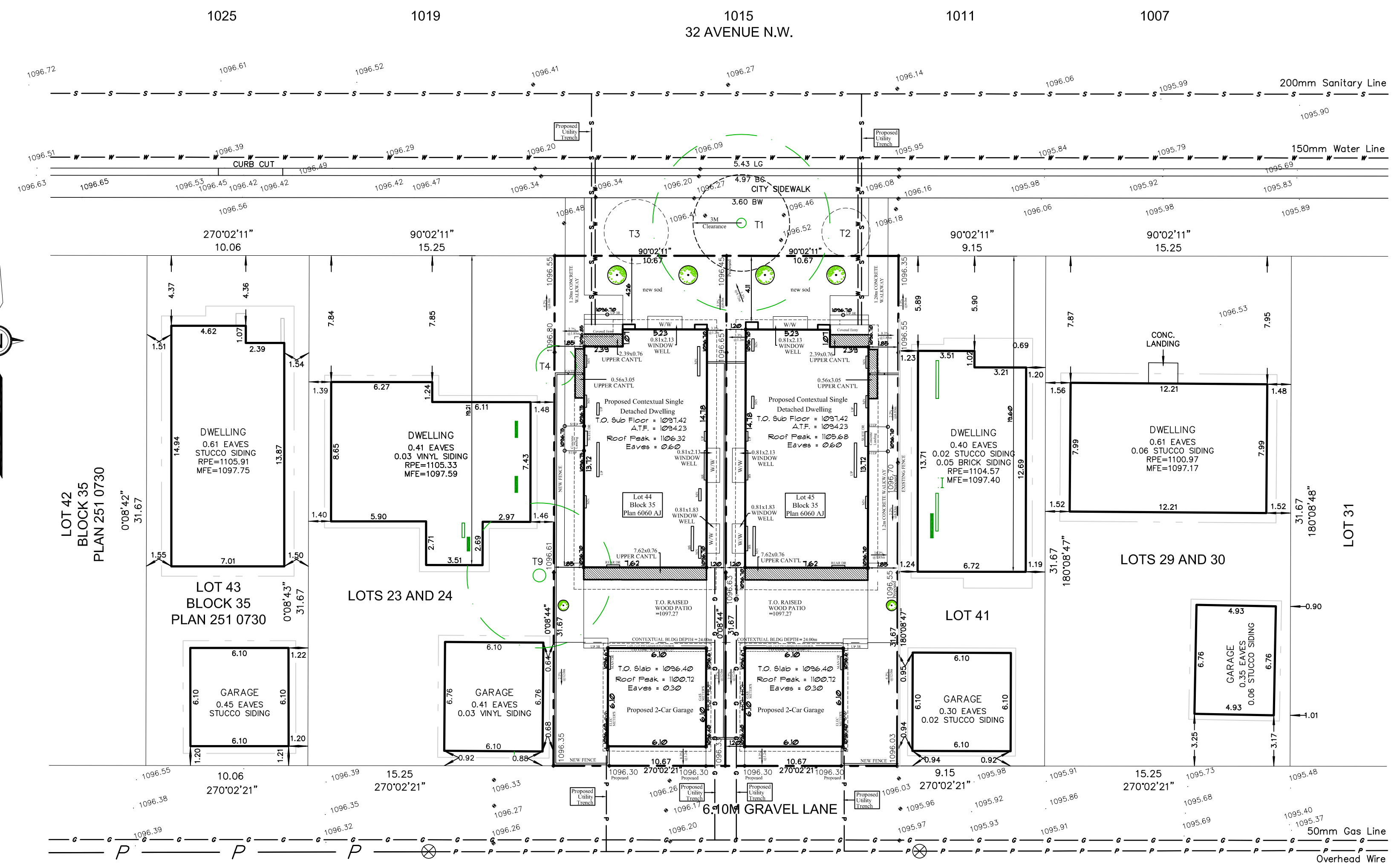
- EQUIPMENT AND CONSTRUCTION MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
- ALL MATERIALS AND EQUIPMENT SHALL BE STORED ON PRIVATE PROPERTY.
- AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON-SITE DURING THE FOLLOWING STAGES OF CONSTRUCTION:
 - PRIOR TO CONSTRUCTION FOR REVIEW OF THE TREE PROTECTION MEASURES
 - IF PRUNING IS REQUIRED FOR PUBLIC TREE(S), CONTACT AN URBAN FORESTRY TECHNICIAN AT 311
 - AT ANY TIME A TREE ON CITY LAND REQUIRES ATTENTION
- TREE PROTECTION REQUIREMENTS PRIOR TO AND DURING CONSTRUCTION:
 - PRUNING OF BRANCHES TO PROVIDE CLEARANCE FOR NEW BUILDINGS
 - IF ELEVATED PRUNING IS REQUIRED FOR THE INSTALLATION OF NEW SERVICES, AN INDEMNIFIED CONTRACTOR THAT IS APPROVED BY THE CITY MUST BE USED AND WRITTEN APPROVAL OBTAINED FROM URBAN FORESTRY PRIOR TO PRUNING
 - ROOT PRUNING AS REQUIRED DURING EXCAVATION
 - OPTIONAL PROTECTIVE MULCH (2-3 cm IN SIZE x 5 cm DEEP) OVER THE TREE PROTECTION ZONE. MULCH TO REMAIN 5 cm AWAY FROM THE TREE TRUNK
 - SUPPLEMENTAL WATERING, WHEN REQUIRED
 - SOIL AERATION, WHEN REQUIRED
 - PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIALS TO ENCRoACH INTO THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE
- TREE PROTECTION MEASURES POST CONSTRUCTION:
 - SUPPLEMENTAL WATERING, WHEN REQUIRED
 - SOIL AERATION, WHEN REQUIRED
- ON-SITE TREE PROTECTION ADMINISTRATOR:

GENERAL HOMES LTD.
CONTACT: (403) 369-1111

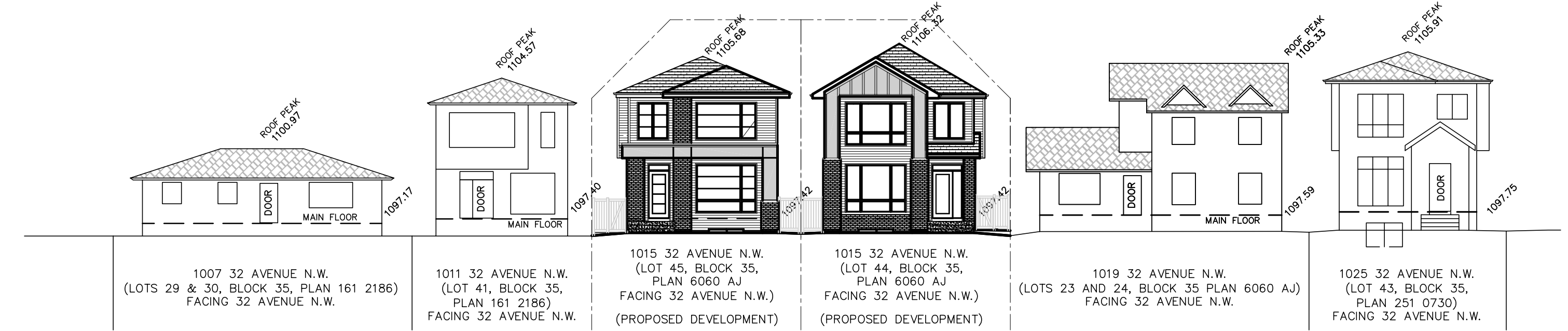
THE TREE PROTECTION ADMINISTRATOR SHALL ENSURE ALL CONSTRUCTION WORK ADHERES TO THE APPROVED TREE PROTECTION PLAN AND THAT ALL CONTRACTORS WORKING ON-SITE ARE AWARE OF THE TREE PROTECTION BY-LAW AND THE APPROVED TREE PROTECTION PLAN.



TREE PROTECTION SITE PLAN
Scale = 1:200



BLOCK PLAN
SCALE 1:200



NORTH STREETSCAPE PLAN
SCALE 1:200

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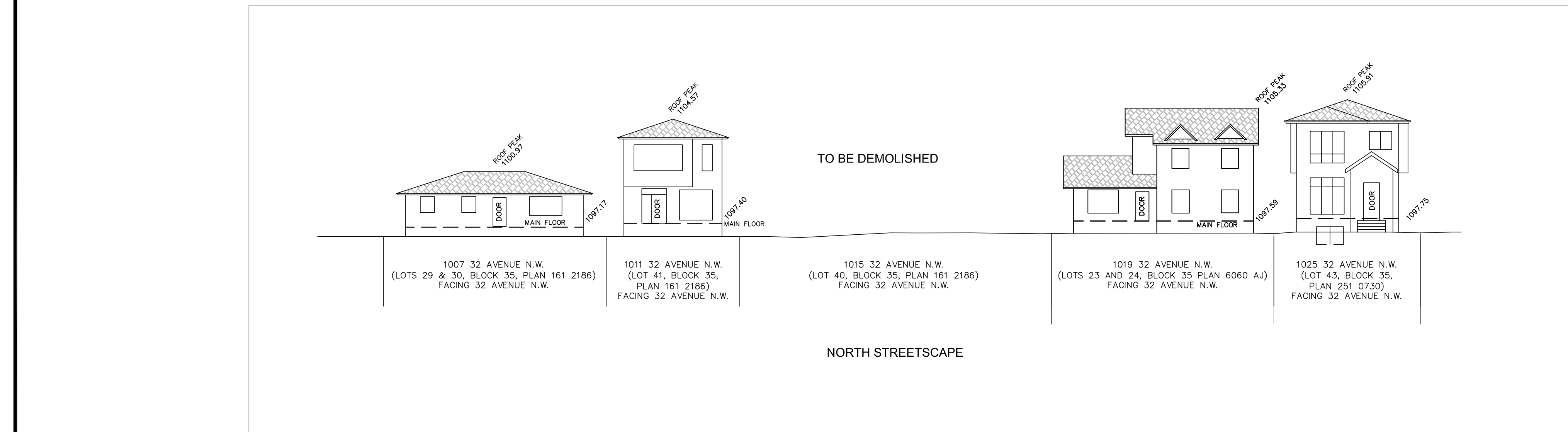
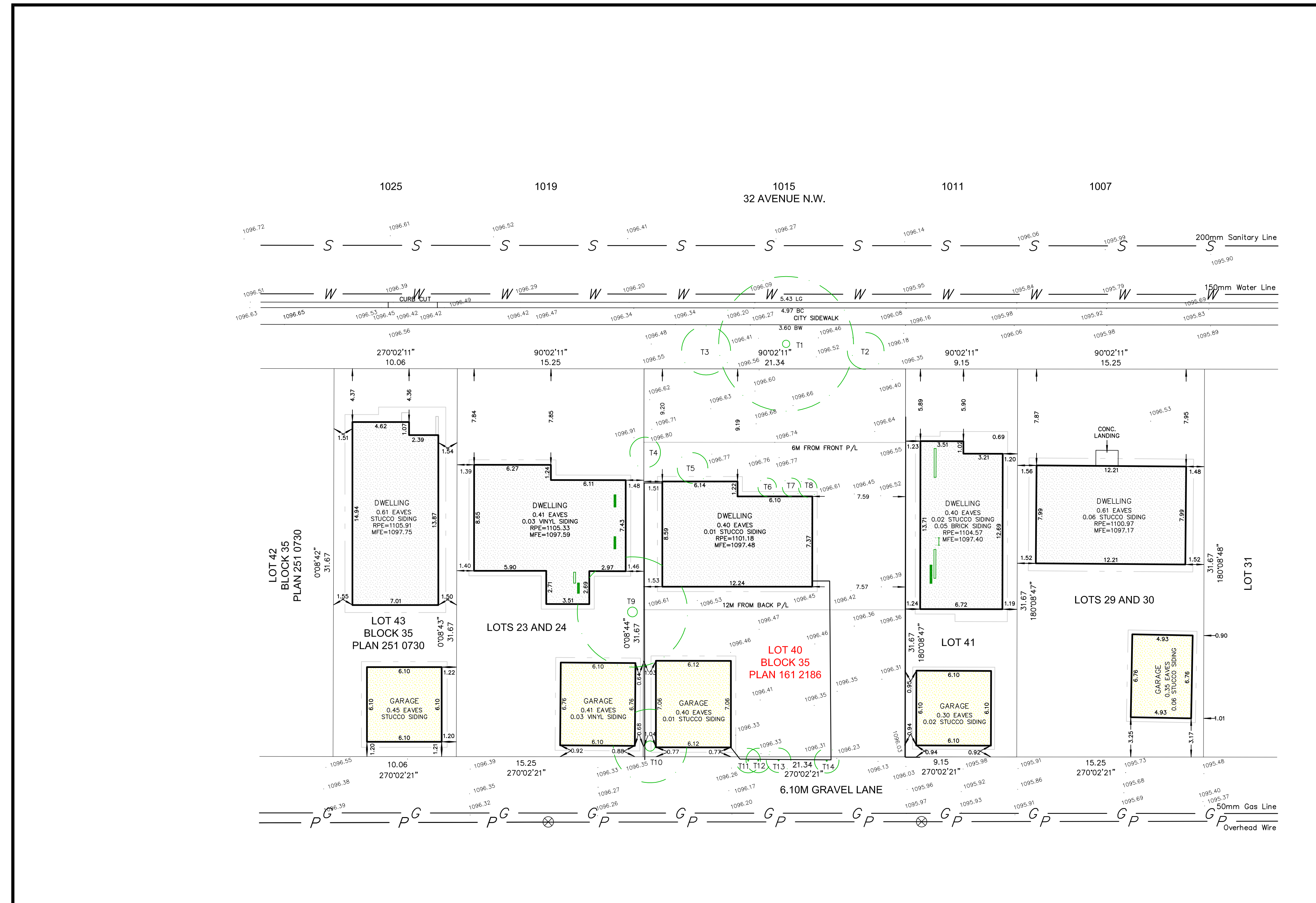
legal description:
LOT: 44
BLOCK: 35
PLAN #: 6060 AJ

zoning:
R-CG
community:
CAMBRIAN HEIGHTS
zoning:
Ward 4



sheet title
BLOCK PLAN
STREETSCAPE
TREE PROTECTION PLAN

job no.	DP LOT 44	sheet no.
drawn	JPC	A2
checked	JPC	
date	APRIL 17, 2025	
scale	AS NOTED	



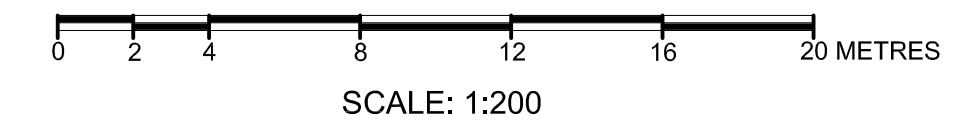
SITE PLAN

MUNICIPAL ADDRESS:
1015 32 AVENUE N.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 40
BLOCK 35
PLAN 161 2186

PREPARED FOR: [REDACTED]

DATE OF SURVEY: October 25th, 2025



LEGEND:

- Subject Property Line
 - Right of Way Line
 - Eave Line
 - Fence Line
 - Sanitary Line
 - Storm Line
 - Water Line
 - Gas Line
 - Overhead Wire
 - A.G.T. Line
 - Door
 - Second Floor Window
 - Main Floor Window
 - Basement Floor Window
 - Calculation points
 - Power Pole
 - Power Anchor
 - Light Pole
 - Manhole
 - Catch Basin
 - Water Valve
 - Gas Valve
 - Sign
 - Fire Hydrant
 - Tree
 - Main Building Hatch
 - Detached Garage Hatch
 - Shed Hatch
 - Concrete and Asphalt Hatch
 - Wood Hatch
 - Roof Hatch
- '2F.'--Second Floor
'BC'--Back of Curb
'L'--Length of Arc
'BW'--Back of Walkway
'LG'--Lip of Gutter
'Cant.'--Cantilever
'Conc.'--Concrete
'Elev.'--Elevation
- 'R/W'--Right of Way
'Ret.'--Retaining
'RPE'--Roof Peak Elevation
'M.F.'--Main Floor
'WB'--Bottom of Wall
'MFE'--Main Floor Elevation
'WT'--Top of Wall
'R'--Radius

NOTE:

- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999731
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 159343.
- Existing spot elevations are shown thus: [Symbol]
- The Certificate of Title 161 223 034 which was Searched on the 7th day of November, 2025, and includes the following instruments:
Mortgage No. 161 160 927
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 150, 154, & 161 in Sec.28-Twp.24-Rge.1-W.5M. And 164 in Sec.33-Twp.24-Rge.1-W.5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Trunk (φ±)	Canopy (±)	Height (±)	Location
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T6-18	Bush	---	1.5	2.0	In Subject Property
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T10	Deciduous	1.00	6.0	9.0	In Subject Property
T11-T14	Deciduous	0.10	2.0	3.0	In City Property



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File No.: S(GET) Date: 07/Nov/2025
Surveyed: RM Drawn: EM
Horizon Land Surveys Inc.
130 Bowness Centre N.W. P. 403-719-0272
Calgary, Alberta, T3B 5M5 F. 403-775-4171



DRAWING CREATED: 12/Mar/2026

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designer



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EXISTING SITE PLAN

job no. DP LOT 44 sheet no.

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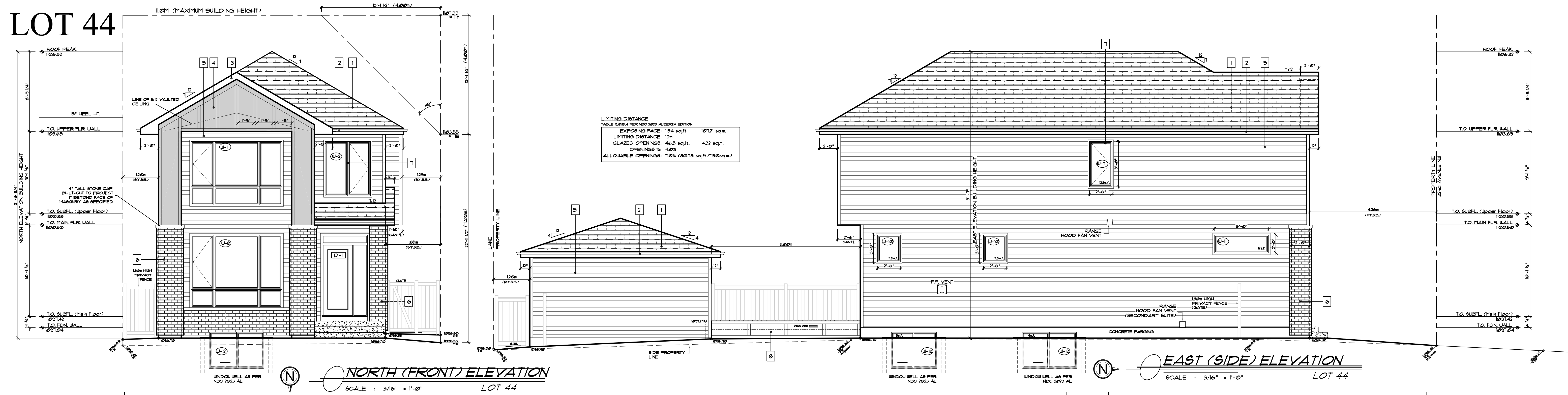
checked JPC

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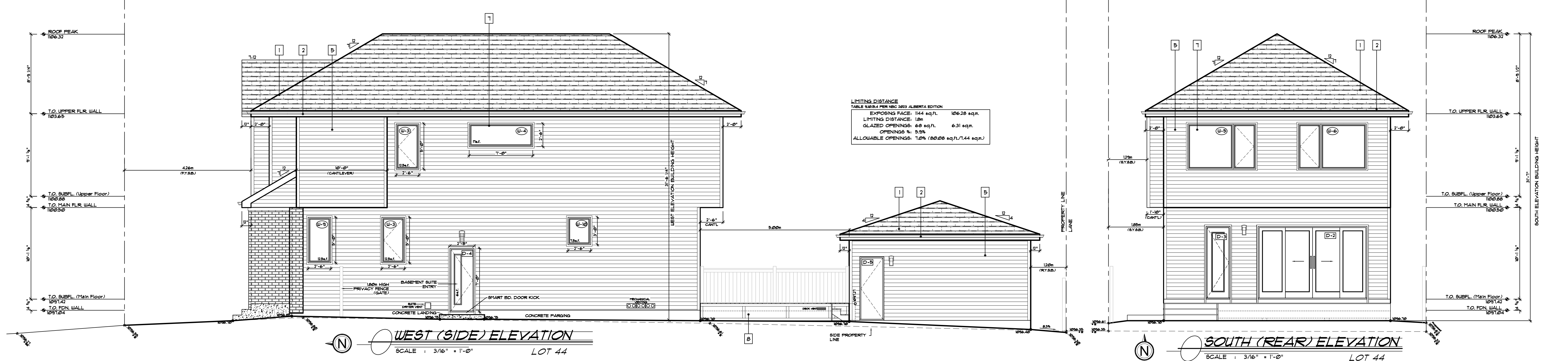
A2.1

LOT 44



LIMITING DISTANCE
TABLE 5.8.5.4 PER NBC 2023 ALBERTA EDITION
EXPOSING FACE: 154 sq.ft. 10712 sq.m.
LIMITING DISTANCE: 12m
GLAZED OPENINGS: 48.8 sq.ft. 4.53 sq.m.
OPENINGS %: 4.6%
ALLOWABLE OPENINGS: 7.0% (8078 sq.ft./750sq.m.)

LIMITING DISTANCE
TABLE 5.8.5.4 PER NBC 2023 ALBERTA EDITION
EXPOSING FACE: 144 sq.ft. 10628 sq.m.
LIMITING DISTANCE: 10m
GLAZED OPENINGS: 68 sq.ft. 6.31 sq.m.
OPENINGS %: 5.9%
ALLOWABLE OPENINGS: 7.0% (8028 sq.ft./744 sq.m.)



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Office: (403) 291-0442
CONCISE ENGINEERING LTD
Office: (403) 478-1350

floor areas:
MAIN FLOOR AREA (DEVELOPED): 188 SQFT.
UPPER FLOOR AREA (DEVELOPED): 171 SQFT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE: 2489 SQFT.
BASEMENT SUITE AREA: 960 SQFT.
DETACHED GARAGE AREA: 400 SQFT.

- exterior finishes:**
- 1 ASPHALT SHINGLES (DUAL BLACK)
 - 2 8" PAINTED SMART BID FASCIA (BLACK)
 - 3 8" PAINTED SMART BID FASCIA (HARD)-BOARD - IRON GRAY
 - 4 HARDI-PANELS 6/8 4" TRIM (BLACK)
 - 5 HORIZONTAL COMPOSITE SIDING 6/8 4" CORNER TRIM (HARD)-BOARD - IRON GRAY
 - 6 FULL BED BRICK (1-XL BRAMPTON BRICK CLAUSET)
 - 7 METAL CLAD HYBRID WINDOWS 6/8 2" HARDI-TRIM SURROUND (BLACK)
 - 8 HARDI SMART PANELS 6/8 2" TRIM TO RAISED PATIO SKIRT (BLACK)
- VENTED SOFFIT NOTES:**
- VENTED SOFFIT (FRONT & BACK)
- VENTED SOFFIT ON SIDES IF CLEAR OF THE SETBACK
- NON-VENTED SOFFIT ON SIDES WITHIN 12M SETBACK
- COLOUR BLACK



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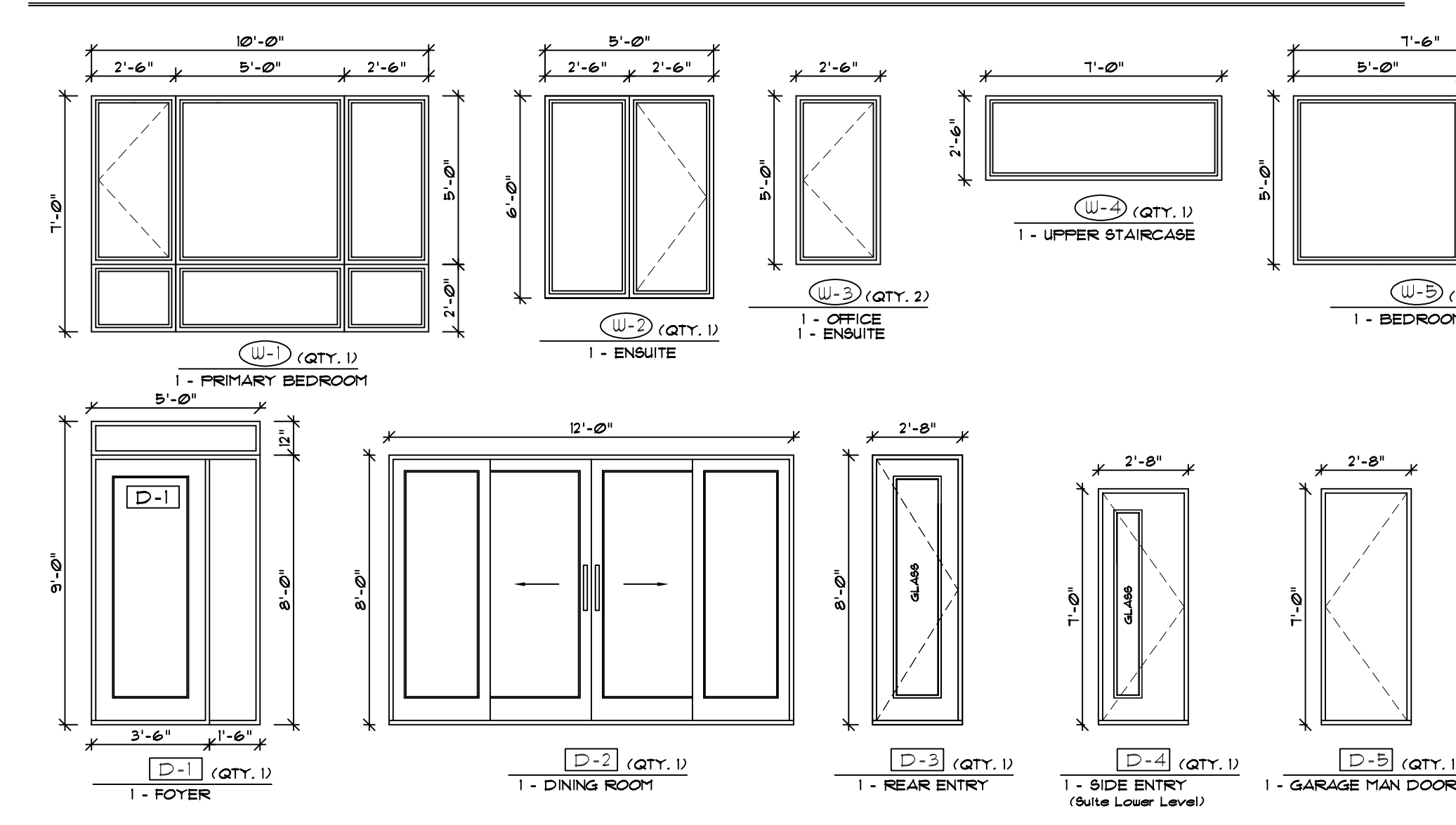
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Window & Door Schedule

LOT 44

WINDOWS & DOORS MUST COMPLY WITH THE PRESCRIPTIVE AND PERFORMANCE REQUIREMENTS OF SUBSECTIONS 9.36.2. THROUGH 9.36.4. OF THE 2023 ALBERTA BUILDING CODE

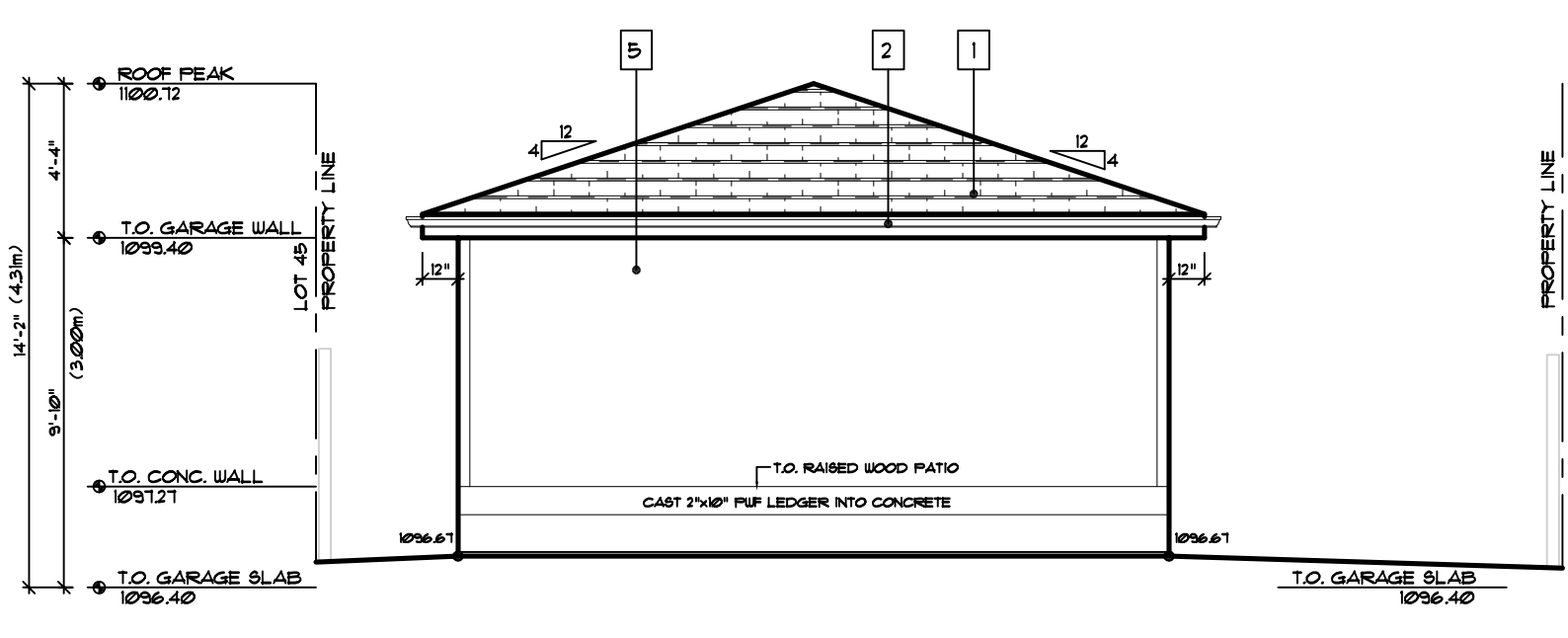


- Units shown are viewed from exterior - Looking at the building
- Dimensions are for unit sizes
- Confirm rough openings with the window suppliers list

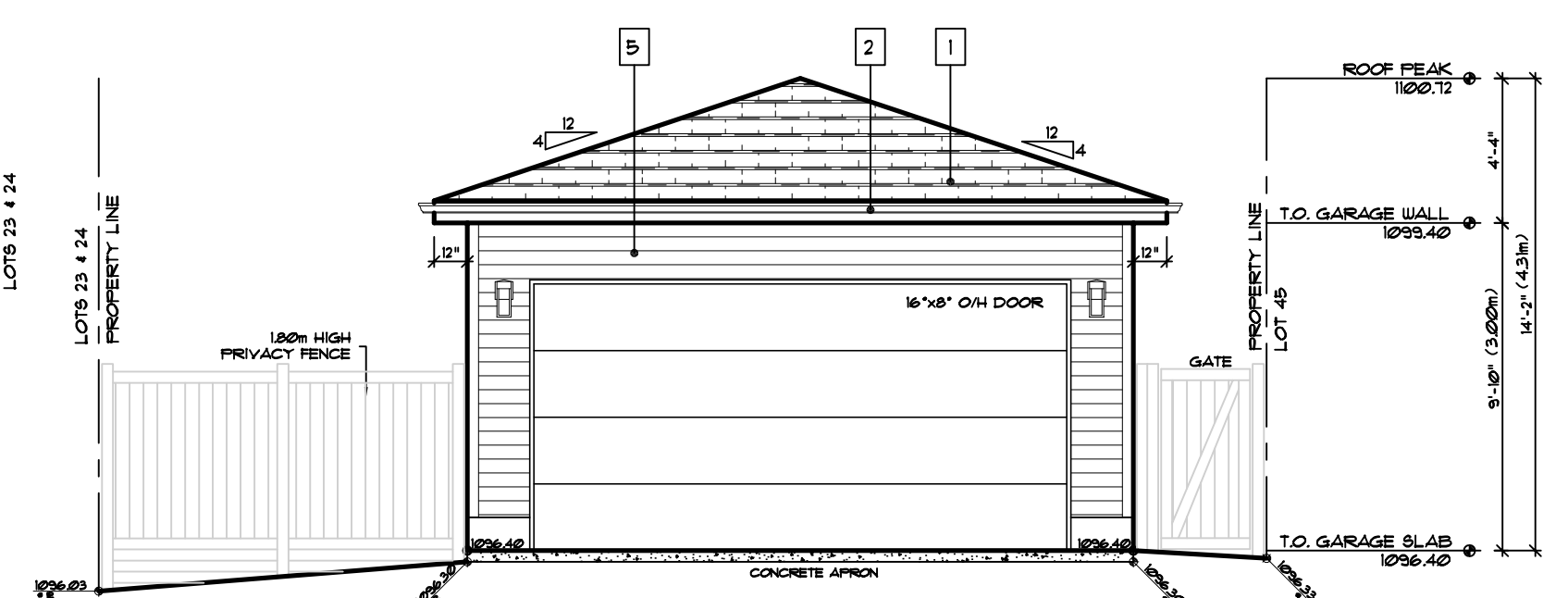
*Bedroom window shall provide an unobstructed opening of not less than 230mm (9.1 inches) in area with no dimension less than 380mm (15 inches) as per A.B.C. 2023**

sheet title
NORTH ELEVATION
EAST ELEVATION
WEST ELEVATION
SOUTH ELEVATION
WINDOW SCHEDULE

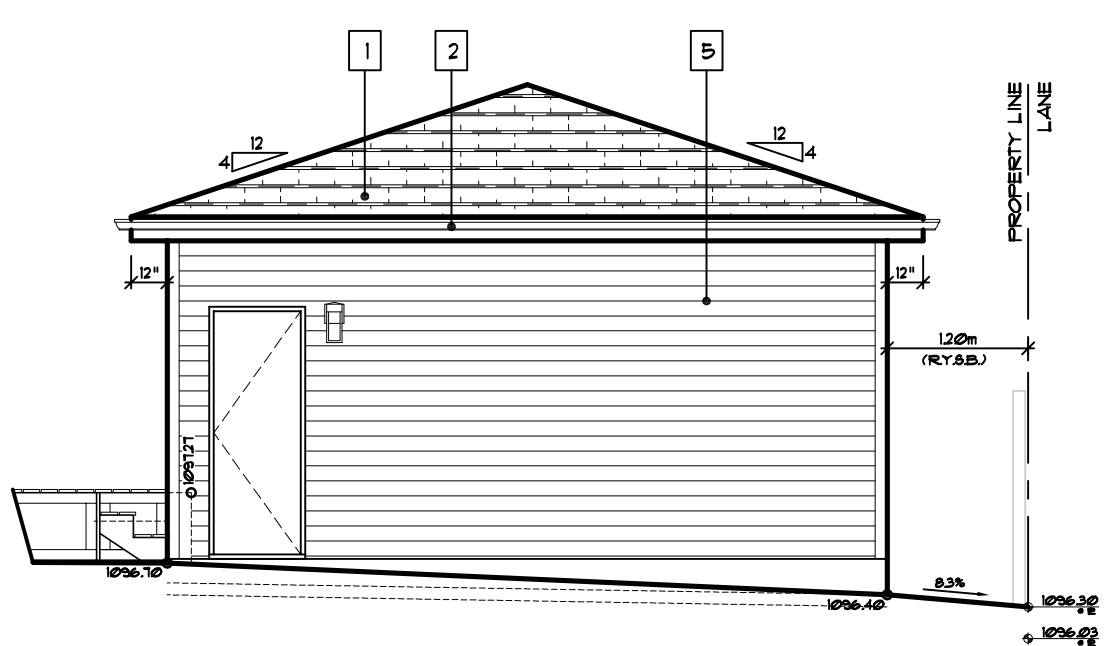
job no.	DP LOT44	sheet no.	
drawn	JPC	A3	
checked	JPC		
date	APRIL 11, 2025		
scale	AS NOTED		



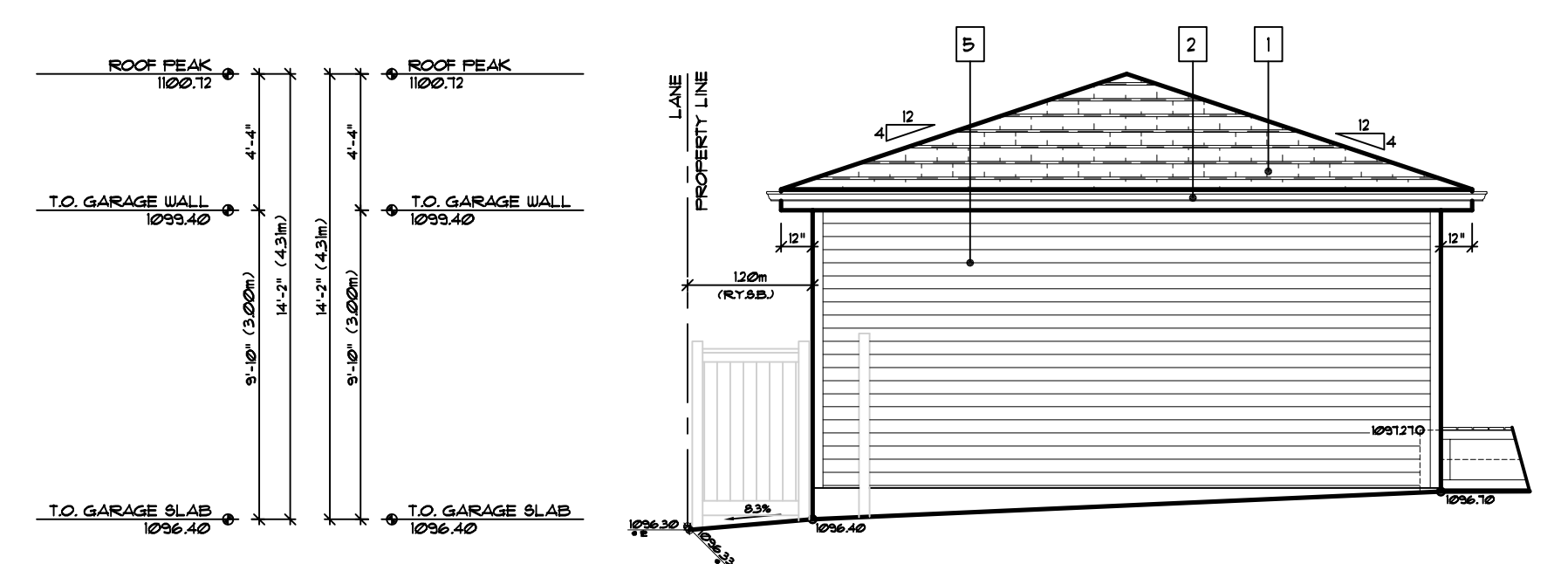
NORTH GARAGE ELEVATION
 SCALE : 3/16" = 1'-0"
 LOT 44



SOUTH GARAGE ELEVATION
 SCALE : 3/16" = 1'-0"
 LOT 44



WEST GARAGE ELEVATION
 SCALE : 3/16" = 1'-0"
 LOT 44



EAST (SIDE) ELEVATION
 SCALE : 3/16" = 1'-0"
 LOT 44

disclaimer:
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 ALL WORK TO CONFORM TO THE ALBERTA BUILDING CODE AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

engineers / consultants:
 HORIZON LAND SURVEYS INC.
 Office: (403) 719-0212
 ENVIROMATICS GROUP LTD.
 Office: (403) 291-0442
 CONCISE ENGINEERING LTD
 Office: (403) 475-1350

floor areas:

MAIN FLOOR AREA (DEVELOPED)	188 SQFT.
UPPER FLOOR AREA (DEVELOPED)	121 SQFT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	2409 SQFT.
BASEMENT SUITE AREA	960 SQFT.
DETACHED GARAGE AREA	400 SQFT.

- exterior finishes:**
- 1 ASPHALT SHINGLES (DUAL BLACK)
 - 2 8" ALUMINUM FASCIA/EAVES/SPOUT (BLACK)
 - 3 8" PAINTED SHIRT BO FASCIA (HARDI-BOARD - IRON GRAY)
 - 4 HARDI-PANELS 6/8 4" TRIM (BLACK)
 - 5 HORIZONTAL COMPOSITE SIDING 6/8 4" CORNER TRIM (HARDI-BOARD - IRON GRAY)
 - 6 FULL BED BRICK (1-XL BRAMPTON BRICK CLARET)
 - 7 METAL CLAD, HYBRID WINDOWS 6/8 7" HARDI-TRIM SURROUND (BLACK)
 - 8 HARDI SHIRT PANELS 6/8 TRIM TO RAISED PATIO SKIRT (BLACK)
- VENTED SOFFIT NOTES:**
 - VENTED SOFFIT (FRONT & BACK)
 - VENTED SOFFIT ON SIDES IF CLEAR OF 12" SETBACK
 - NON-VENTED SOFFIT ON SIDES WITHIN 12" SETBACK
 - COLOUR BLACK



municipal address:
 1015 32 Avenue NW
 Calgary, Alberta

legal description:
 LOT: 44
 BLOCK: 35
 PLAN #: 6060 AJ

zoning:
 R-CG

community:
 CAMBRIAN HEIGHTS

zoning:
 Ward 4



sheet title
 GARAGE ELEVATIONS
 GARAGE FLOOR PLANS
 GARAGE SECTION

job no.	DP LOT44	sheet no.	A6
drawn	JPC		
checked	JPC		
date	APRIL 17, 2025		
scale	AS NOTED		