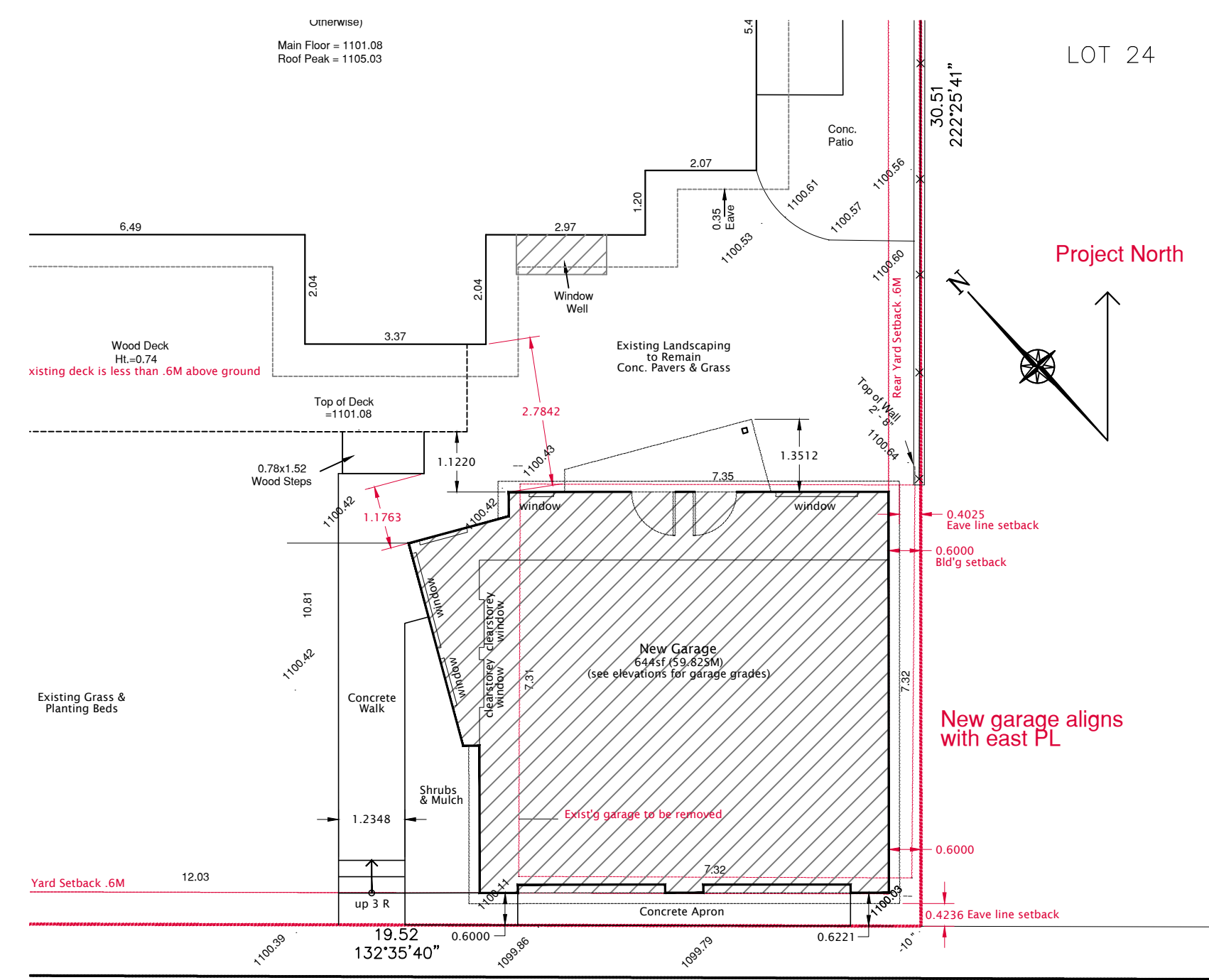


Rear yard garage taken from lane (west elevation)



Rear yard garage taken from lane (south elevation)



9.14 LANE (GRAVEL)
PARTIAL SITE PLAN
1 : 100 METRIC

EXISTING RESIDENCE

MUNICIPAL ADDRESS
2236 Longridge Drive SW
CALGARY, ALBERTA

LEGAL DESCRIPTION
LOTS 23
BLOCK 6
PLAN 1081 HY

ZONING (existing)
R-CG Discretionary

AREA OF LOT
595.20 SM

AREA OF HOUSE 128.49 SM
AREA OF NEW GARAGE 59.90 SM
AREA OF REAR DRIVE APRON 3.78 SM
AREA OF FRONT DRIVE 38.06 SM

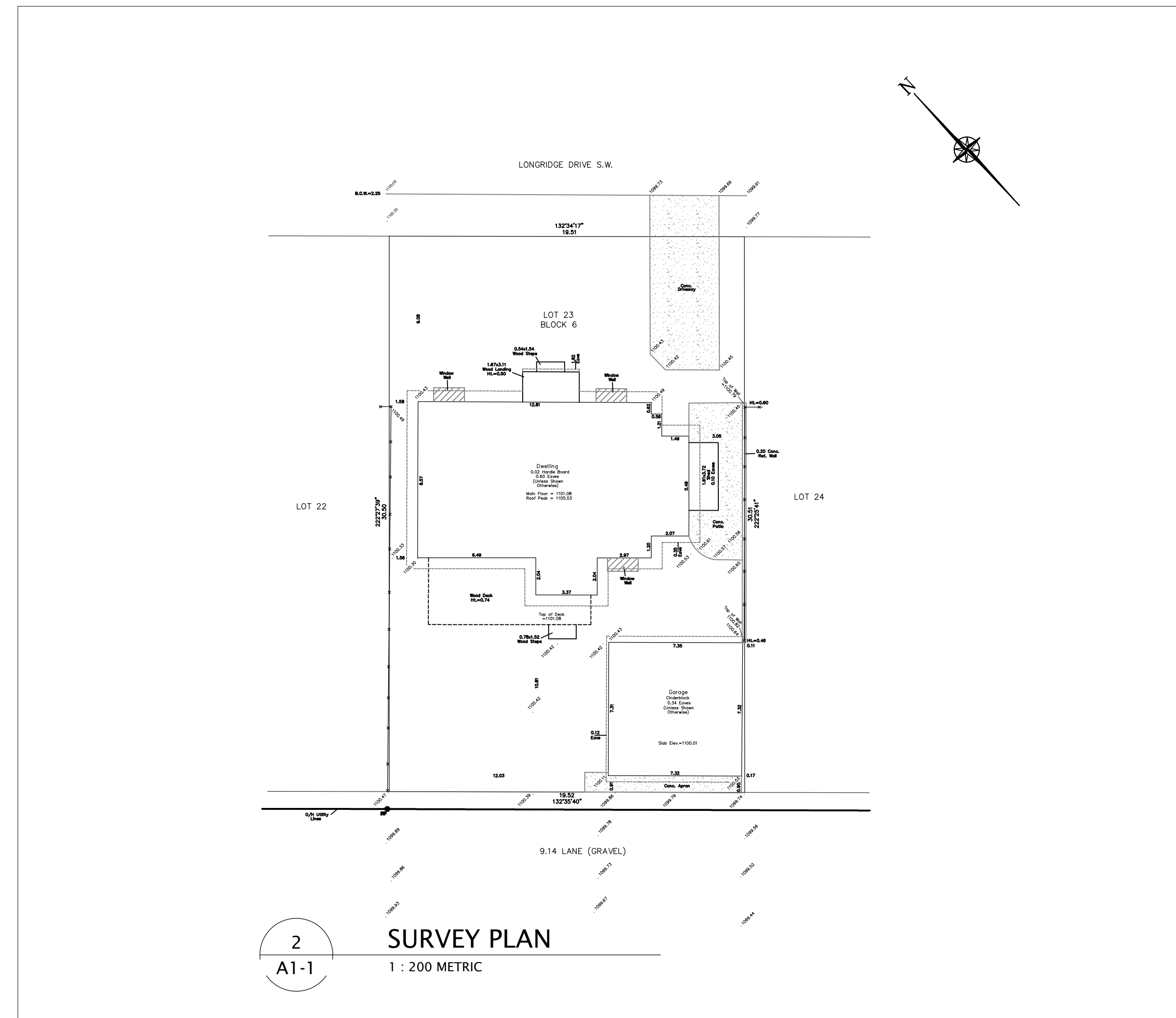
Note: existing rear house deck is less than 600mm above grade

AREA OF NEW DEVELOPMENT 228.23 SM
HOUSE, GARAGE & DRIVEWAYS

BLDG / DRIVEWAYS SITE COVERAGE
228.23 SM / 595.20 SM = 38.34 % BLDG. AND DRIVEWAY COVERAGE

LANDSCAPE AREA
100.0 % - 38.34 % = 61.66 % LANDSCAPING

INDICATES EXISTING GRADES



2 SURVEY PLAN
A1-1 1 : 200 METRIC

SITE PLAN
MUNICIPAL ADDRESS:
2236 LONGRIDGE DRIVE S.W.
CALGARY, ALBERTA
CLIENT: [REDACTED]

LEGAL DESCRIPTION:
LOT 23, BLOCK 6, PLAN 1081 HY
WITHIN THE
S.W.1/4 SEC.32, TWP.23, RGE.1, W.5thM.

SCALE 1 : 100

Legend:

A.S.C. DENOTES ALBERTA SURVEY CONTROL NUMBER.	SEC. DENOTES SECTION.
B.O.D. DENOTES BACK OF DRIVE.	S.P. DENOTES SON POINT.
B.W. DENOTES BACK OF WALL.	T.M. DENOTES TOWER.
CB DENOTES CURB LINE.	T.M. DENOTES TOWER.
OC DENOTES CURB CUT.	W.H. DENOTES WATER HOLE.
DNV DENOTES DRAINAGE NETWORK.	W.V. DENOTES WATER VALVE.
C.A. DENOTES CENTRE LINE.	P.P. DENOTES POWER POLE.
PL DENOTES PILE.	M.S. DENOTES MANHOLE.
L.G.A. DENOTES LINE OF GUTTER.	G.V. DENOTES GAS VALVE.
L.P. DENOTES LINE OF PILE.	M.S. DENOTES MANHOLE.
M DENOTES MOUND.	F.H. DENOTES FIRE HYDRANT.
W DENOTES WALL.	F.S. DENOTES FENCE LINE.
PA DENOTES PILE ANCHOR.	U.L. DENOTES UTILITY LINE.
PL DENOTES PILE.	G.S. DENOTES GAS LINE.
P.L. DENOTES PROPERTY LINE.	T.L. DENOTES TELLER LINE.
PA DENOTES PILE.	S.L. DENOTES SHAW LINE.
PL DENOTES PILE.	M.L. DENOTES WATER LINE.
PL DENOTES PILE.	W.V. DENOTES WATER VALVE.

NOTES:
ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN.
DIMENSIONS ON CURVES ARE ARC DIMENSIONS.
ELEVATIONS ARE REFERRED TO DATUM FROM A.S.C. #108137.
THE INFORMATION IS BASED ON SURVEY OF TITLE NO. 241 244 802
FILE SEARCH DATED FEBRUARY 6, 2024.
PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:

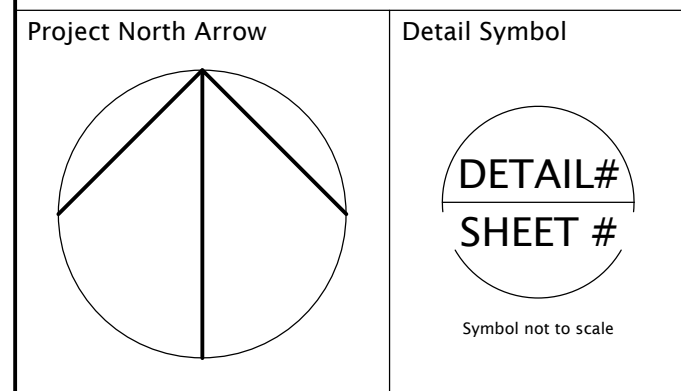
ALL UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION.
ELEVATIONS ARE SHOWN THIS: [Symbol] = 1000.0 METRES (EXISTING)

DATE: FEBRUARY 15, 2024
DATE OF SURVEY: FEBRUARY 15, 2024
SURVEYORS' INTALS: 15/17/24

Jones Geomatics Ltd.
Alberta Land Surveyors
208-12220166 Ave. N.E., Calgary, Alberta T2E 0L6
P: 403.243.0278 F: 403.243.0279
Calgary: jones@jonesgeo.ca

DATE	ISSUED FOR	REV
15/04/26	DP Application	1

Project Component
Keyplan



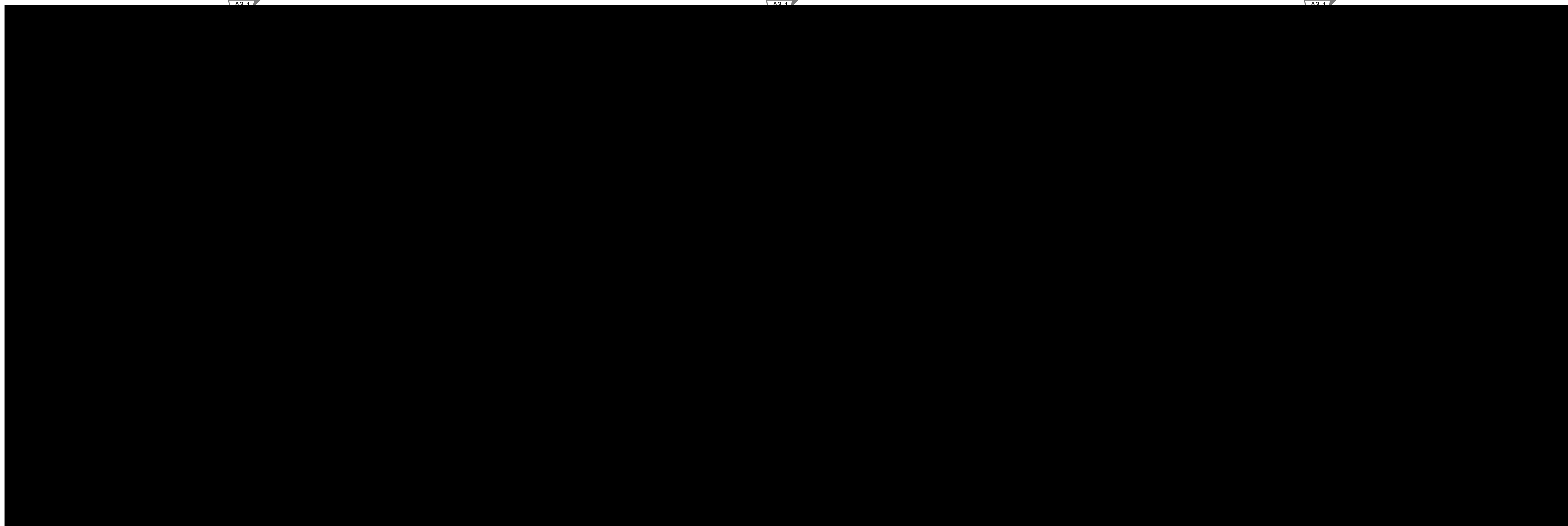
Consultants
Civil: Civil Firm Name
Landscape: Landscape Firm Name
Architectural: Architectural Firm Name
Structural: Structural Firm Name
Mechanical: Mechanical Firm Name
Electrical: Electrical Firm Name

Seal(s)

Project Manager	Drawn sja
Project Leader	Checked sja
Client	
Project	PRIVATE RESIDENCE 2236 Longridge Dr. SW Calgary, AB. Lot 91, Block 3, Plan 1350JK
Drawing Title	Garage Site Plan
Check Scale (may be photo reduced)	0 3mch 0 10mm
Project No.	
Drawing No.	A1-1

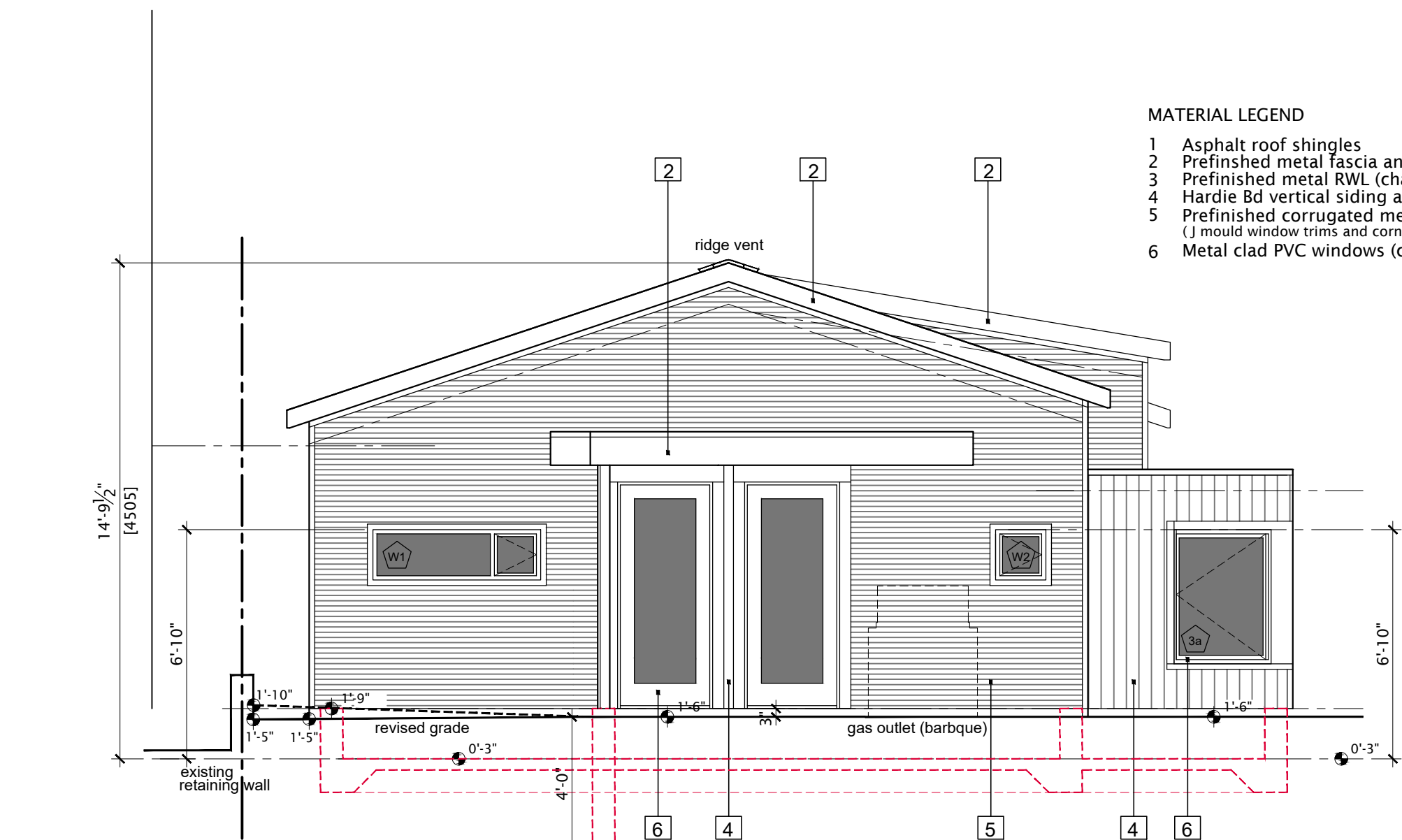
ISO: B1 - 1000mm x 700mm

PLOT DATE: April 20, 2025 TIME: 11:22 AM FULL PATH AND FILENAME: C:\RENOVATIONS\LAKEVIEW\BP\A2-1.DWG PLOTSYLE TABLE: Stephen.cb

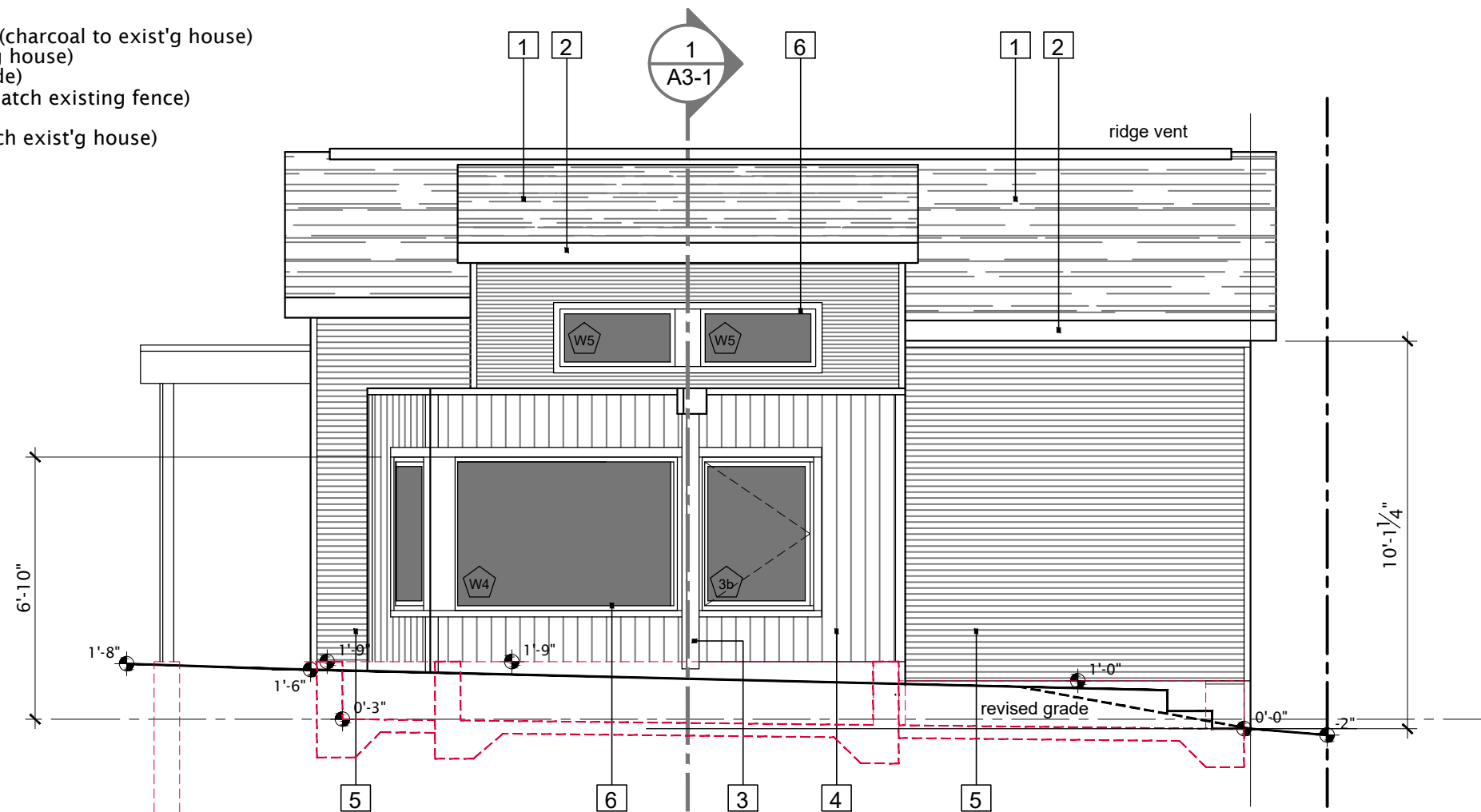


1
A3-1

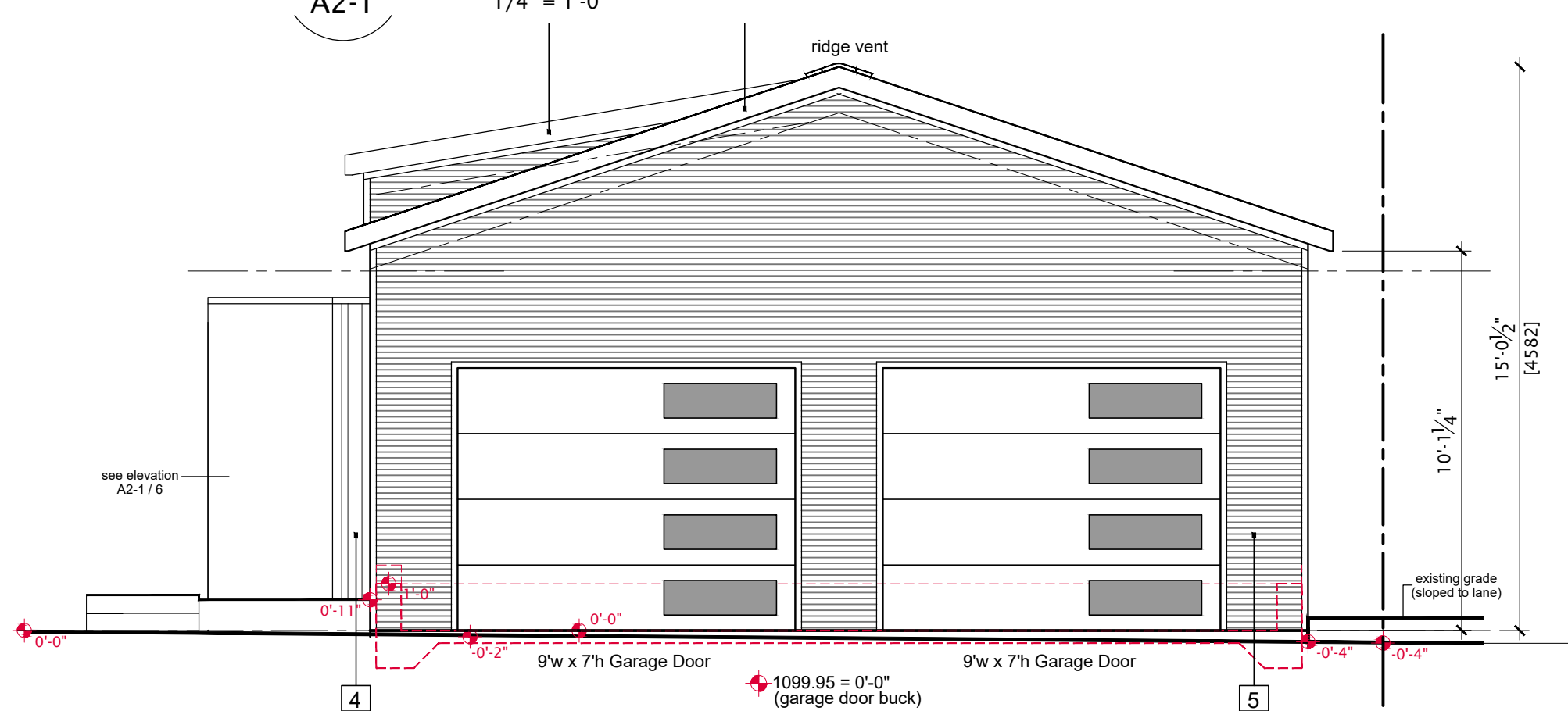
- MATERIAL LEGEND**
- 1 Asphalt roof shingles
 - 2 Prefinished metal fascia and vented soffit (charcoal to exist'g house)
 - 3 Prefinished metal RVI (charcoal to exist'g house)
 - 4 Hardie Bd vertical siding and trims (3" wide)
 - 5 Prefinished corrugated metal siding (to match existing fence)
 - 6 Metal clad PVC windows (charcoal to match exist'g house)



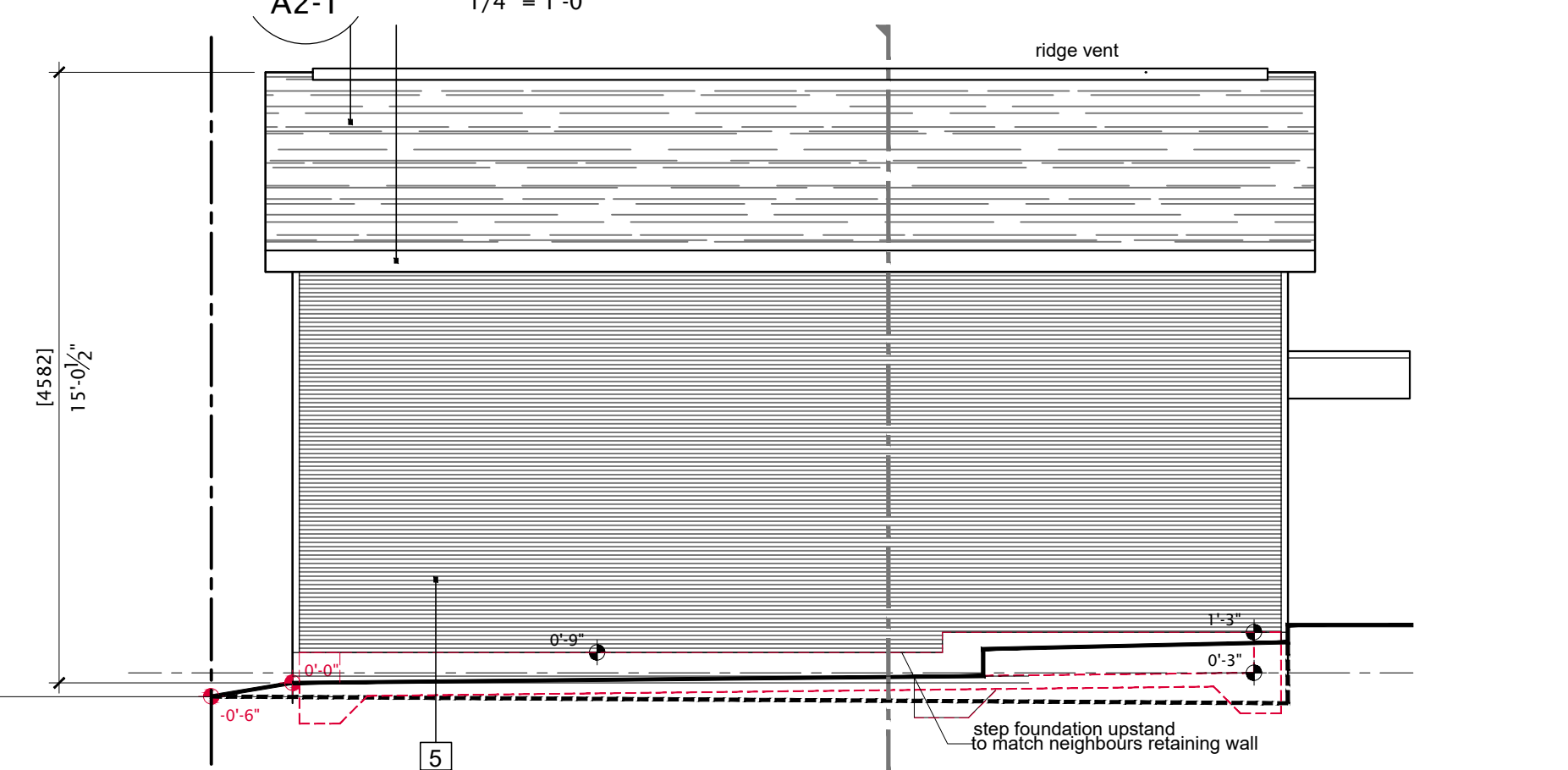
5
A2-1
North Elevation
1/4" = 1'-0"



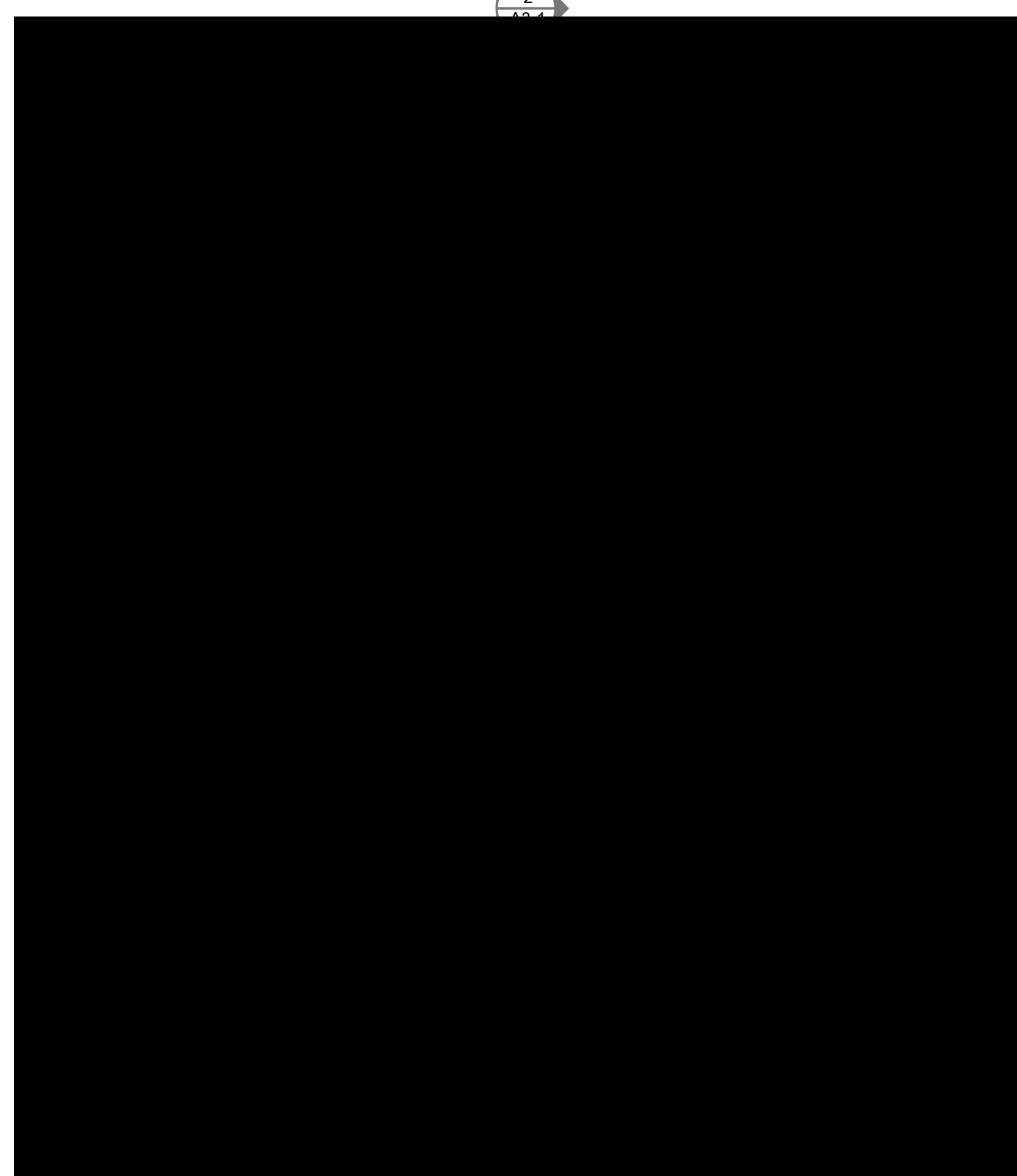
6
A2-1
West Elevation
1/4" = 1'-0"



7
A2-1
South Elevation
1/4" = 1'-0"



8
A2-1
East Elevation
1/4" = 1'-0"

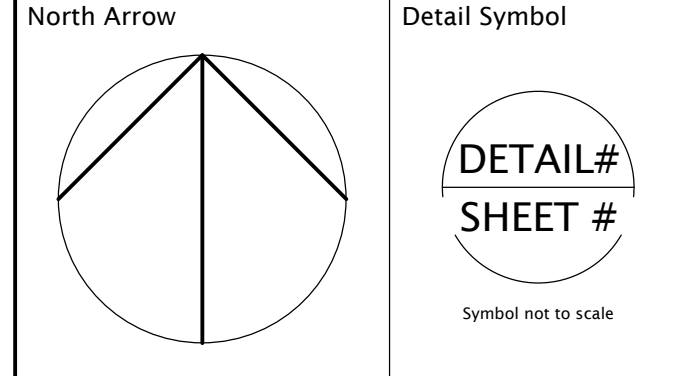


2
A3-1

DATE	ISSUED FOR	REV
15/04/26	DP Application	1

Project Component

Keyplan



Consultants

Civil: Civil Firm Name
Landscape: Landscape Firm Name
Architectural: Architectural Firm Name
Structural: Structural Firm Name
Mechanical: Mechanical Firm Name
Electrical: Electrical Firm Name

Seal(s)

Project Manager	Drawn sja
Project Leader	Checked sja
Client	
Project	PRIVATE RESIDENCE 2236 Longridge Dr. SW Calgary, AB. Lot 91, Block 3, Plan 1350JK
Drawing Title	Garage Floor Plan, Elevations
Check Scale (may be photo reduced)	0 3inch 0 10mm
Project No.	
Drawing No.	A2-1