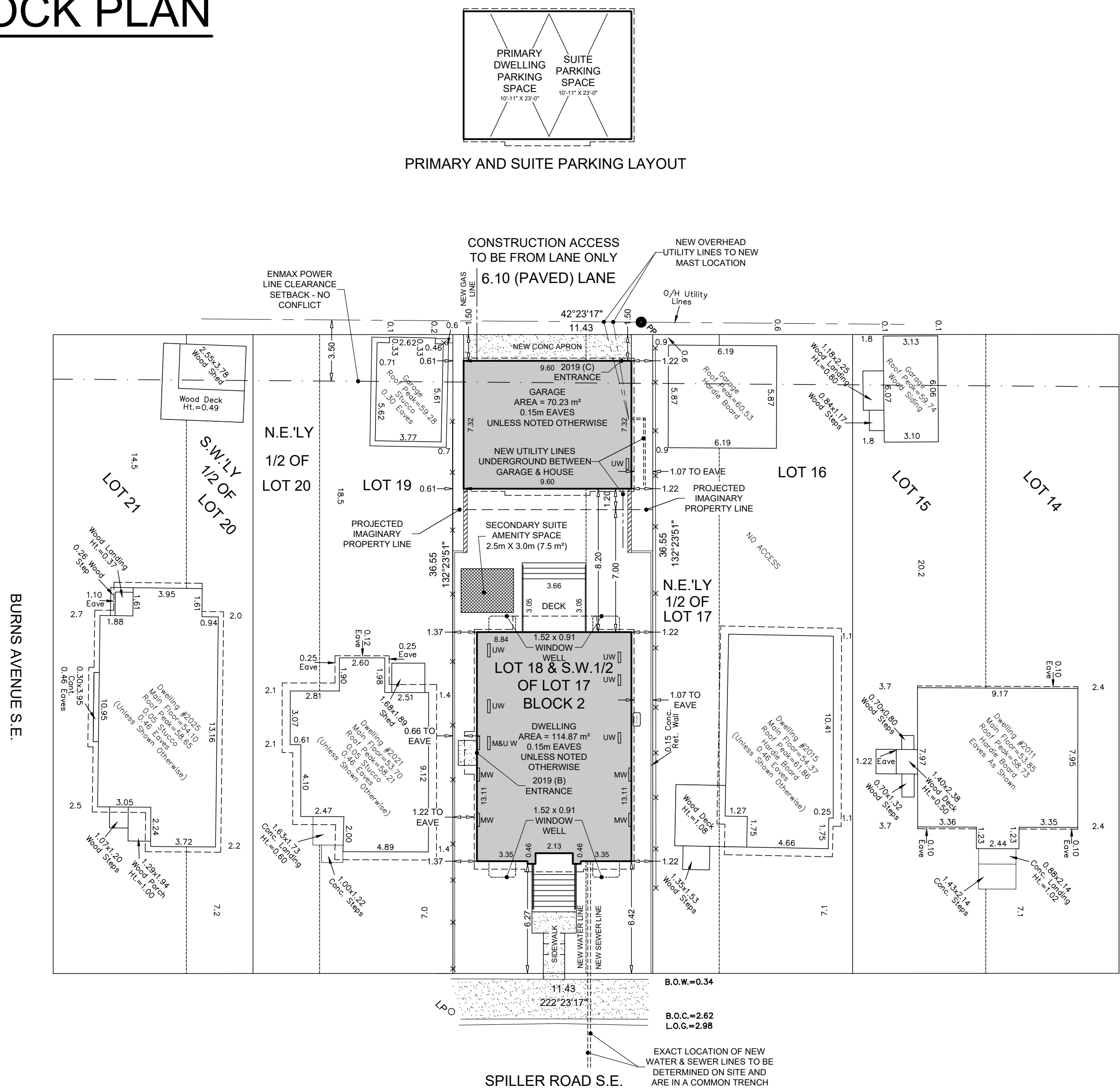


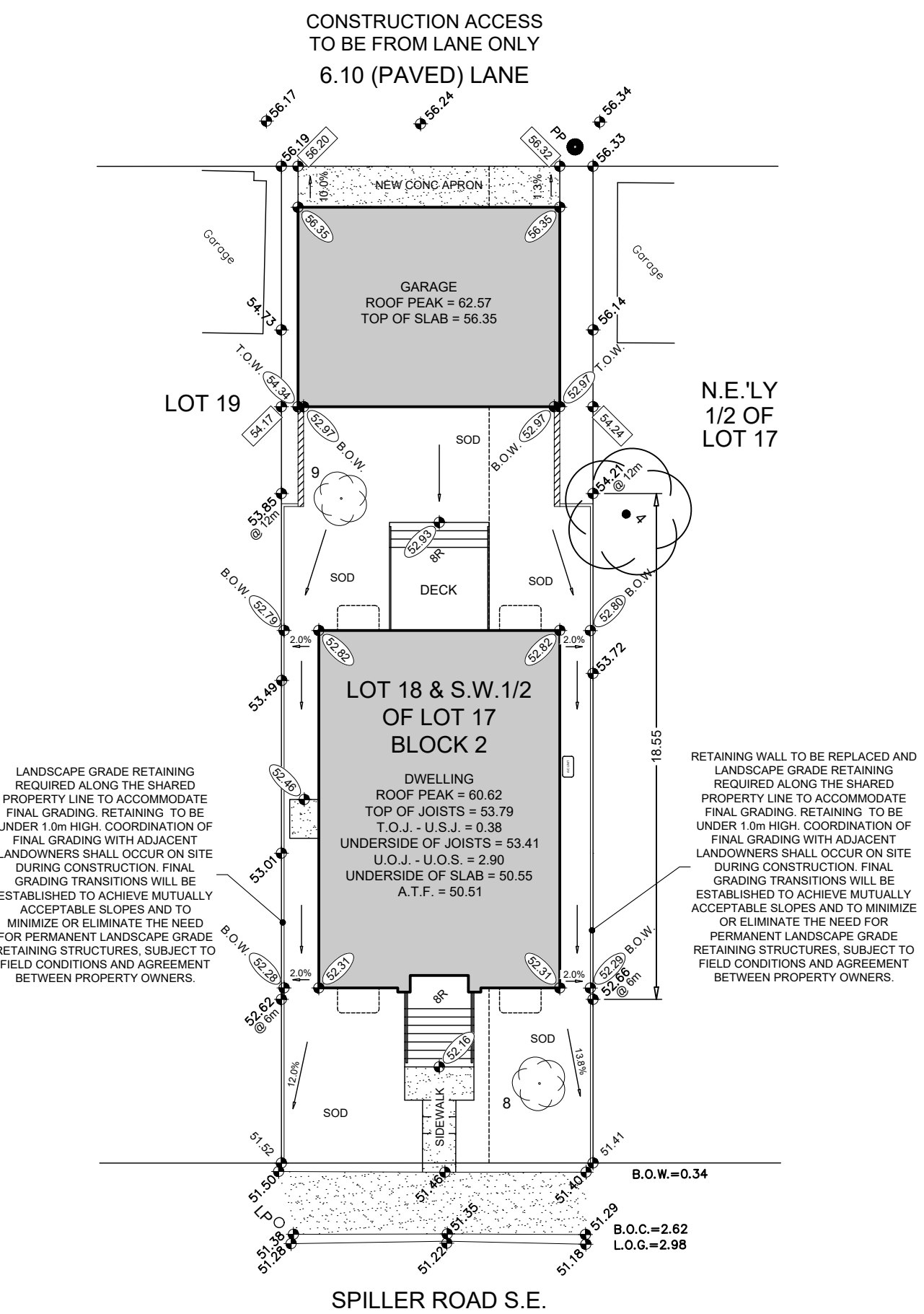
NEW BLOCK PLAN



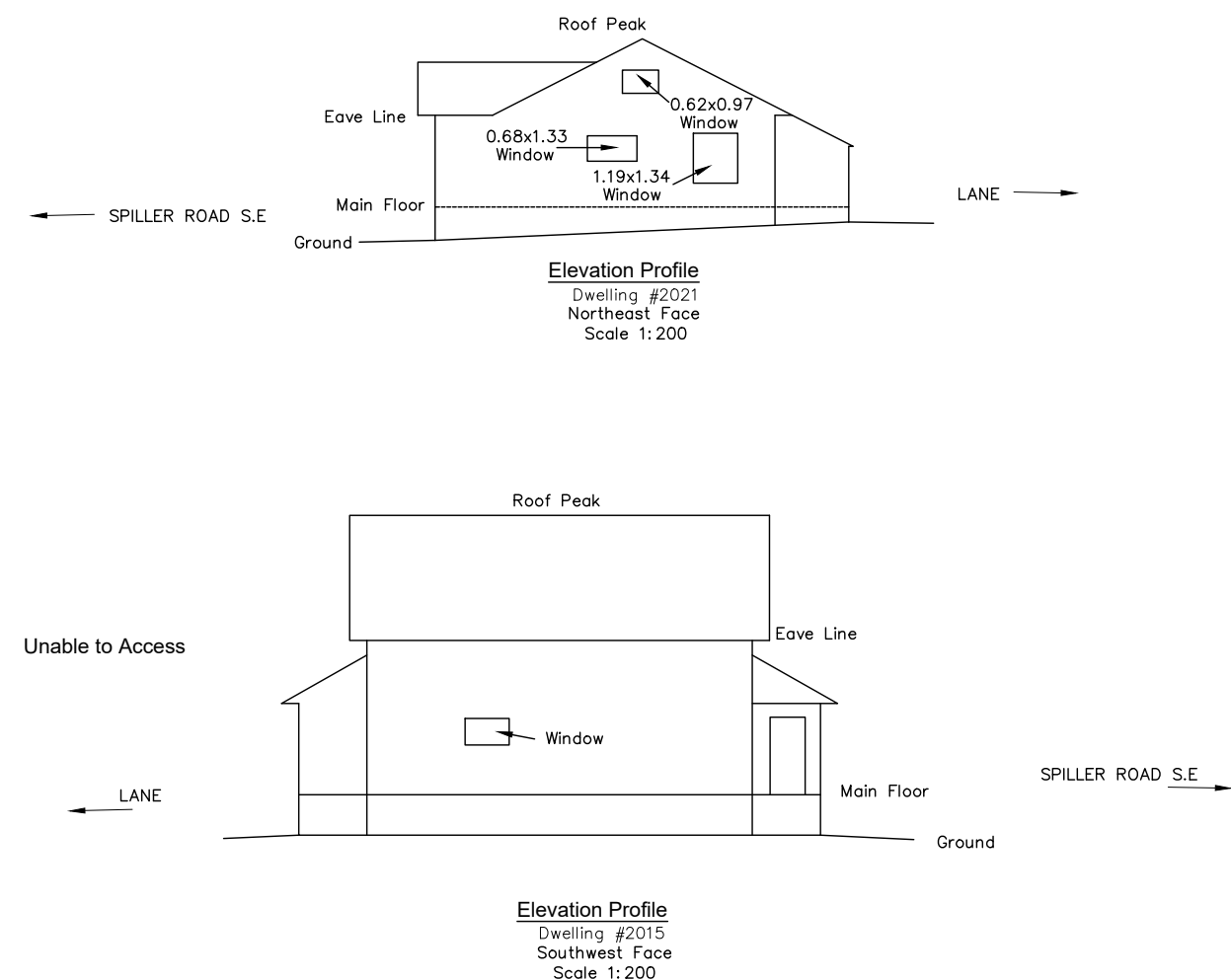
NEW STREETSCAPE



GRADES, LANDSCAPING, & TREE PROTECTION PLAN



TREE DATA				
TREE	Type	Canopy	Height	Diameter
1	Deciduous	3.5	6	0.30
2	Deciduous	4.0	6	0.50
3	Deciduous	4.0	6	0.50
4	Deciduous	4.5	11	0.50
5	Deciduous	2.5	4	0.30
6	Deciduous	4.0	4	0.30
7	Deciduous	3.0	7	0.50
8	Deciduous	Swedish Columnar Aspen 50mm Caliper	Planting Height 1.8m	NEW
9	Deciduous	Swedish Columnar Aspen 50mm Caliper	Planting Height 1.8m	NEW



dhc

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CALGARY LTD

133 Hawkbury Close NW
Calgary, Alberta T3G 3E3
Telephone 403.451.9595
www.designhouseofcalgary.com

DEVELOPMENT PERMIT
PROPOSED PLAN

SURVEYOR

Jones Geomatics Ltd.
Alberta Land Surveyor

#20,1323-44th Ave. N.E., Calgary, Alberta T2E 6L5
Ph. (403) 230-0778 Fax (403) 230-0714
E-mail: jonesgeo@telus.net Job No. K11039-26

A.S.C.M.

B.O.C.

B.O.W.

CB

CC

Ck.M.

CIL

Ha

L.O.G.

LP

m

M.

Mid

PA

PL

Rad

Rge

RHW

SEC

SP

Twp

DENOTES ALBERTA SURVEY CONTROL MARKER.

DENOTES BACK OF CURB.

DENOTES BACK OF WALK.

DENOTES CATCH BASIN.

DENOTES CURB CUT.

DENOTES CHECK MEASURED.

DENOTES CENTRE LINE.

DENOTES HECTARES.

DENOTES LIP OF GUTTER.

DENOTES LAMP POLE.

DENOTES METRES.

DENOTES MERIDIAN.

DENOTES MARKED.

DENOTES POLE ANCHOR.

DENOTES PLACED.

DENOTES PROPERTY LINE.

DENOTES RADIAL.

DENOTES RANGE.

DENOTES RIGHT-OF-WAY.

DENOTES SECTION.

DENOTES SIGN POST.

DENOTES TOWNSHIP.

DATE: MARCH 2, 2026

DATE OF SURVEY: FEBRUARY 25, 2026

SURVEYOR'S INITIALS: SGMHWD

TEST HOLE SHOWN THUS:

WATER VALVE SHOWN THUS:

POWER POLE SHOWN THUS:

MANHOLE SHOWN THUS:

GAS VALVE SHOWN THUS:

FIRE HYDRANT SHOWN THUS:

CONFEROUS TREE SHOWN THUS:

DECIDUOUS TREE SHOWN THUS:

BURIED ELECTRICAL LINE SHOWN THUS:

FENCE IS SHOWN THUS:

GASLINE IS SHOWN THUS:

OVERHEAD UTILITIES SHOWN THUS:

TH

PP

PP

MH

MH

FH

FH

NOTES:

ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN.

DISTANCES ON CURVES ARE ARC DISTANCES

ELEVATIONS ARE GEODETIC AND DERIVED FROM A S.C.M. #210740

TITLE INFORMATION IS BASED ON CERTIFICATE OF TITLE No. 201 040 379

TITLE SEARCH DATED FEBRUARY 13, 2026

PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:

-NO INSTRUMENTS:

ALL UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION.

WINDOWS SHOWN THUS:

DOORS SHOWN THUS:

OVERHEAD GARAGE DOOR SHOWN THUS:

MAIN FLOOR WINDOWS SHOWN THUS:

UPPER FLOOR WINDOWS SHOWN THUS:

BASEMENT WINDOWS SHOWN THUS:

DR

CHCD

MW

UW

BW

GEODETIC ELEVATIONS ARE SHOWN THUS:

EXISTING ELEVATIONS:

PROPOSED ELEVATIONS:

INTERPOLATED ELEVATIONS:

ALL UNDERGROUND UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION

+45.88

45.88

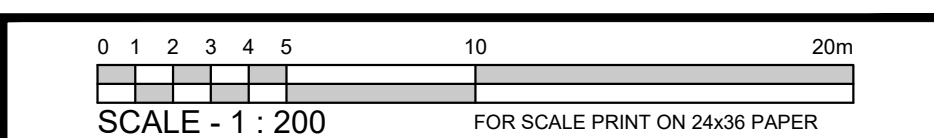
45.88

45.88

= 1045.88 METERS

= 1045.88 METERS

= 1045.88 METERS



CLIENT

CUSTOM SINGLE FAMILY

MUNICIPAL ADDRESS

2019 SPILLER ROAD S.E.

LEGAL DESCRIPTION

ALL OF 18 & LOT S.W. 1/2 OF 17; BLOCK 2; PLAN 6260 AM

WITHIN THE

N.W.1/4 SEC.11, TWP.24, RGE.1, W.5thM.

COMMUNITY

WEST HILLHURST

LAND USE DESIGNATION

R-CG

RESIDENTIAL - GRADE ORIENTED INFILL

LOT COVERAGE CALCULATION

LOT AREA	417,856 m ²
MAXIMUM 45% COVERAGE	188,035 m ²
HOUSE AND GARAGE	185,249 m ²
TOTAL COVERAGE	44,333 %

LOT AREA PROVIDED BY THE REGISTERED ALBERTA LAND SURVEYOR. HOUSE AND GARAGE AREA INCLUDES ALL DECK AND PORCH AREAS COVERED BY A ROOF.

SQUARE FOOTAGE

MAIN FLOOR	1238
UPPER FLOOR	1247
TOTAL	2485
SECONDARY SUITE	1082
GARAGE	756
BACKYARD SUITE	583

DATE APRIL 17, 2026

JOB

26-010

PERMIT NUMBER

DP2026 - ****

SHEET

1 OF 3

DRAWING

SITE PLAN

SURVEYOR

**Jones Geomatics Ltd.**

Alberta Land Surveyor

#20,1323-44th Ave. N.E., Calgary, Alberta T2E 6L5

Ph. (403) 230-0778

Fax (403) 230-0714

E-mail: jonesgeo@telus.net

Job No. K11039-26

SURVEYOR LEGEND

A.S.C.M.	DENOTES ALBERTA SURVEY CONTROL MARKER.	
B.O.C.	DENOTES BACK OF CURB.	
B.O.W.	DENOTES BACK OF WALK.	
CB	DENOTES CATCH BASIN.	
CC	DENOTES CURB CUT	
CK.M.	DENOTES CHECK MEASURED.	DATE: MARCH 2, 2026
CL	DENOTES CENTRE LINE.	DATE OF SURVEY: FEBRUARY 25, 2026
Ha	DENOTES HECTARES.	SURVEYOR'S INITIALS: SG/MHWD
L.O.G.	DENOTES LIP OF GUTTER	
LP	DENOTES LAMP POLE	
m	DENOTES METRES.	
M.	DENOTES MERIDIAN.	
Mkd.	DENOTES MARKED.	
PA	DENOTES POLE ANCHOR.	
PI	DENOTES PLACED.	
PL	DENOTES PROPERTY LINE.	
Rad.	DENOTES RADIAL.	
Rge.	DENOTES RANGE.	
R.W.	DENOTES RIGHT-OF-WAY.	
SEC	DENOTES SECTION.	
SP	DENOTES SIGN POST.	
Twp.	DENOTES TOWNSHIP.	
TEST HOLE SHOWN THUS:		TH
WATER VALVE SHOWN THUS:		PP
POWER POLE SHOWN THUS:		MH
MANHOLE SHOWN THUS:		FFH
FIRE HYDRANT SHOWN THUS:		
CONIFEROUS TREE SHOWN THUS:		
DECIDUOUS TREE SHOWN THUS:		
BURIED ELECTRICAL LINE SHOWN THUS:		
FENCE IS SHOWN THUS:		
GASLINE IS SHOWN THUS:		
OVERHEAD UTILITIES SHOWN THUS:		

NOTES:
ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN.
DISTANCES ON CURVES ARE ARC DISTANCES
ELEVATIONS ARE GEODETIC AND DERIVED FROM A.S.C.M. #210740
TITLE INFORMATION IS BASED ON CERTIFICATE OF TITLE No. 201 040 379
TITLE SEARCH DATED FEBRUARY 13, 2026

PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:

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ALL UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION.

WINDOWS SHOWN THUS:	DR
DOORS SHOWN THUS:	OHGD
OVERHEAD GARAGE DOOR SHOWN THUS:	MW
MAIN FLOOR WINDOWS SHOWN THUS:	UW
UPPER FLOOR WINDOWS SHOWN THUS:	BW
BASMENT WINDOWS SHOWN THUS:	

GEODETIC ELEVATIONS ARE SHOWN THUS:
EXISTING ELEVATIONS: +45.88 = 1045.88 METERS
PROPOSED ELEVATIONS: +45.88 = 1045.88 METERS
INTERPOLATED ELEVATIONS: +45.88 = 1045.88 METERS

ALL UNDERGROUND UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION



CLIENT

CUSTOM SINGLE FAMILY

MUNICIPAL ADDRESS

2019 SPILLER ROAD S.E.

LEGAL DESCRIPTION

ALL OF 18 & LOT S.W. 1/2 OF 17; BLOCK 2; PLAN 6260 AM

WITHIN THE

N.W.1/4 SEC.11, TWP.24, RGE.1, W.5thM.

COMMUNITY

WEST HILLHURST

LAND USE DESIGNATION

R-CG

RESIDENTIAL - GRADE ORIENTED INFILL

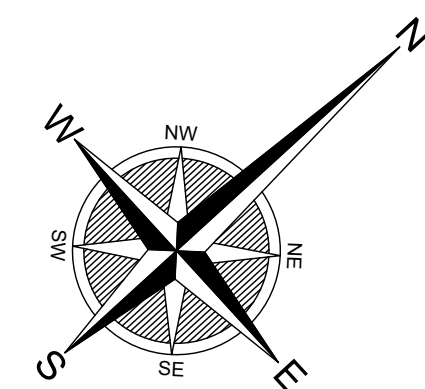
LOT COVERAGE CALCULATION

LOT AREA	417.856 m ²
MAXIMUM 45% COVERAGE	188.035 m ²
HOUSE AND GARAGE	185.249 m ²
TOTAL COVERAGE	44.333 %

LOT AREA PROVIDED BY THE REGISTERED ALBERTA LAND SURVEYOR. HOUSE AND GARAGE AREA INCLUDES ALL DECK AND PORCH AREAS COVERED BY A ROOF.

SQUARE FOOTAGE	
MAIN FLOOR	1238
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TOTAL	2485
SECONDARY SUITE	1082
GARAGE	756
BACKYARD SUITE	583
DATE	APRIL 17, 2026

JOB	26-010
PERMIT NUMBER	DP2026 - ****
SHEET	2 OF 3

ENMAX POWER
LINE CLEARANCE
SETBACK - NO
CONFLICTCONSTRUCTION ACCESS
TO BE FROM LANE ONLY
6.10 (PAVED) LANENEW OVERHEAD
UTILITY LINES TO NEW
MAST LOCATIONO/H Utility
LinesPROJECTED
IMAGINARY
PROPERTY LINESECONDARY SUITE
AMENITY SPACE
2.5m X 3.0m (7.5 m²)PROJECTED
IMAGINARY
PROPERTY LINEPRIMARY
DWELLING
PARKING
SPACE
10'-11" X 23'-0"SUITE
PARKING
SPACE
10'-11" X 23'-0"

PRIMARY AND SUITE PARKING LAYOUT

LANDSCAPE GRADE RETAINING
REQUIRED ALONG THE SHARED
PROPERTY LINE TO ACCOMMODATE
FINAL GRADING. RETAINING TO BE
UNDER 1.0m HIGH. COORDINATION OF
FINAL GRADING WITH ADJACENT
LANDOWNERS SHALL OCCUR ON SITE
DURING CONSTRUCTION. FINAL
GRADING TRANSITIONS WILL BE
ESTABLISHED TO ACHIEVE MUTUALLY
ACCEPTABLE SLOPES AND TO
MINIMIZE OR ELIMINATE THE NEED
FOR PERMANENT LANDSCAPE GRADE
RETAINING STRUCTURES, SUBJECT TO
FIELD CONDITIONS AND AGREEMENT
BETWEEN PROPERTY OWNERS.

RETAINING WALL TO BE REPLACED AND
LANDSCAPE GRADE RETAINING
REQUIRED ALONG THE SHARED
PROPERTY LINE TO ACCOMMODATE
FINAL GRADING. RETAINING TO BE
UNDER 1.0m HIGH. COORDINATION OF
FINAL GRADING WITH ADJACENT
LANDOWNERS SHALL OCCUR ON SITE
DURING CONSTRUCTION. FINAL
GRADING TRANSITIONS WILL BE
ESTABLISHED TO ACHIEVE MUTUALLY
ACCEPTABLE SLOPES AND TO MINIMIZE
OR ELIMINATE THE NEED FOR
PERMANENT LANDSCAPE GRADE
RETAINING STRUCTURES, SUBJECT TO
FIELD CONDITIONS AND AGREEMENT
BETWEEN PROPERTY OWNERS.

CONSTRUCTION ACCESS
TO BE FROM LANE ONLY
6.10 (PAVED) LANE

LOT 19

N.E.'LY
1/2 OF
LOT 17LOT 18 & S.W.1/2
OF LOT 17
BLOCK 2DWELLING
ROOF PEAK = 60.62
TOP OF JOISTS = 53.79
T.O.J. - U.S.J. = 0.38
UNDERSIDE OF JOISTS = 53.41
U.O.J. - U.O.S. = 2.90
UNDERSIDE OF SLAB = 50.55
A.T.F. = 50.51

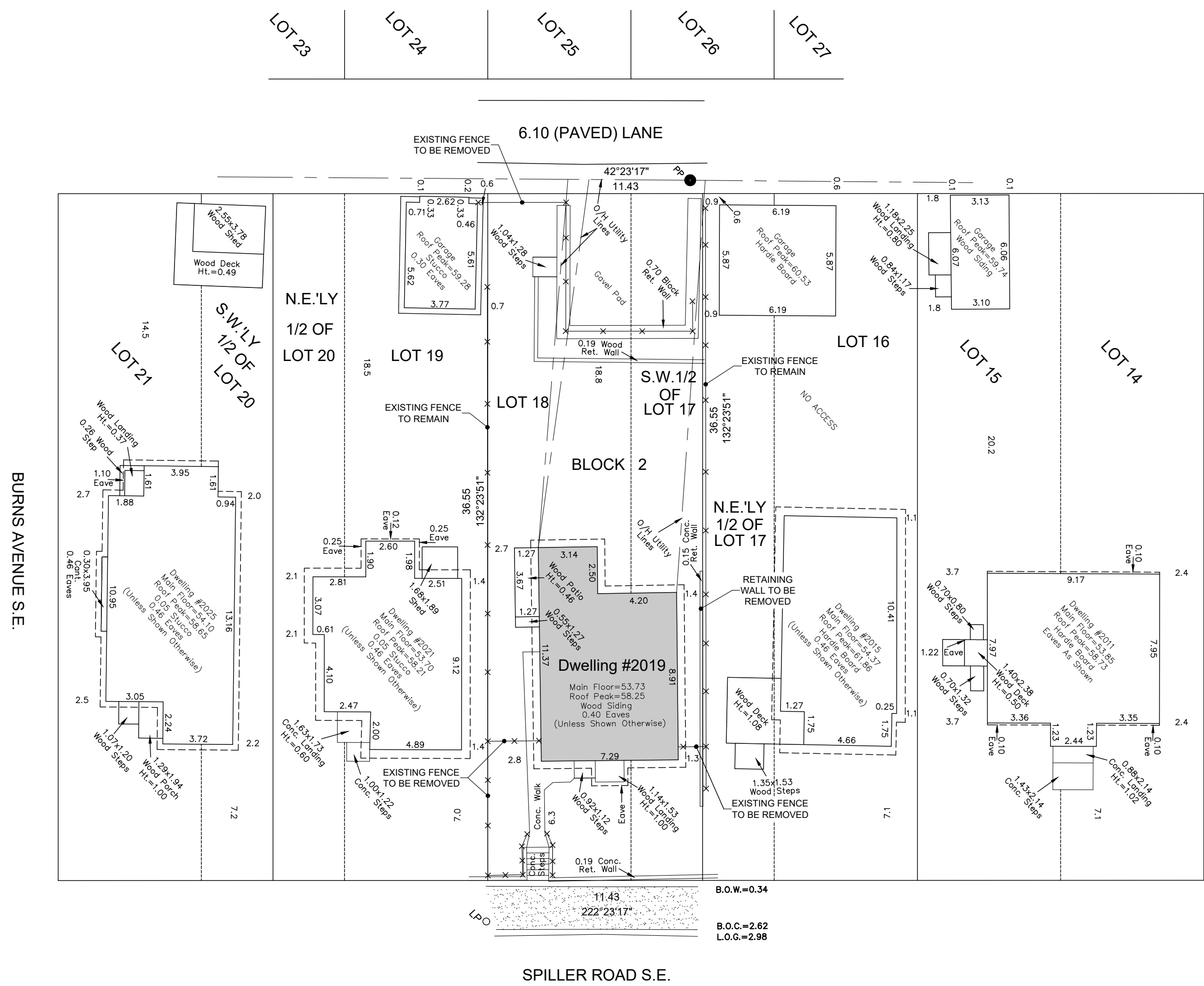
SPILLER ROAD S.E.

SPILLER ROAD S.E.

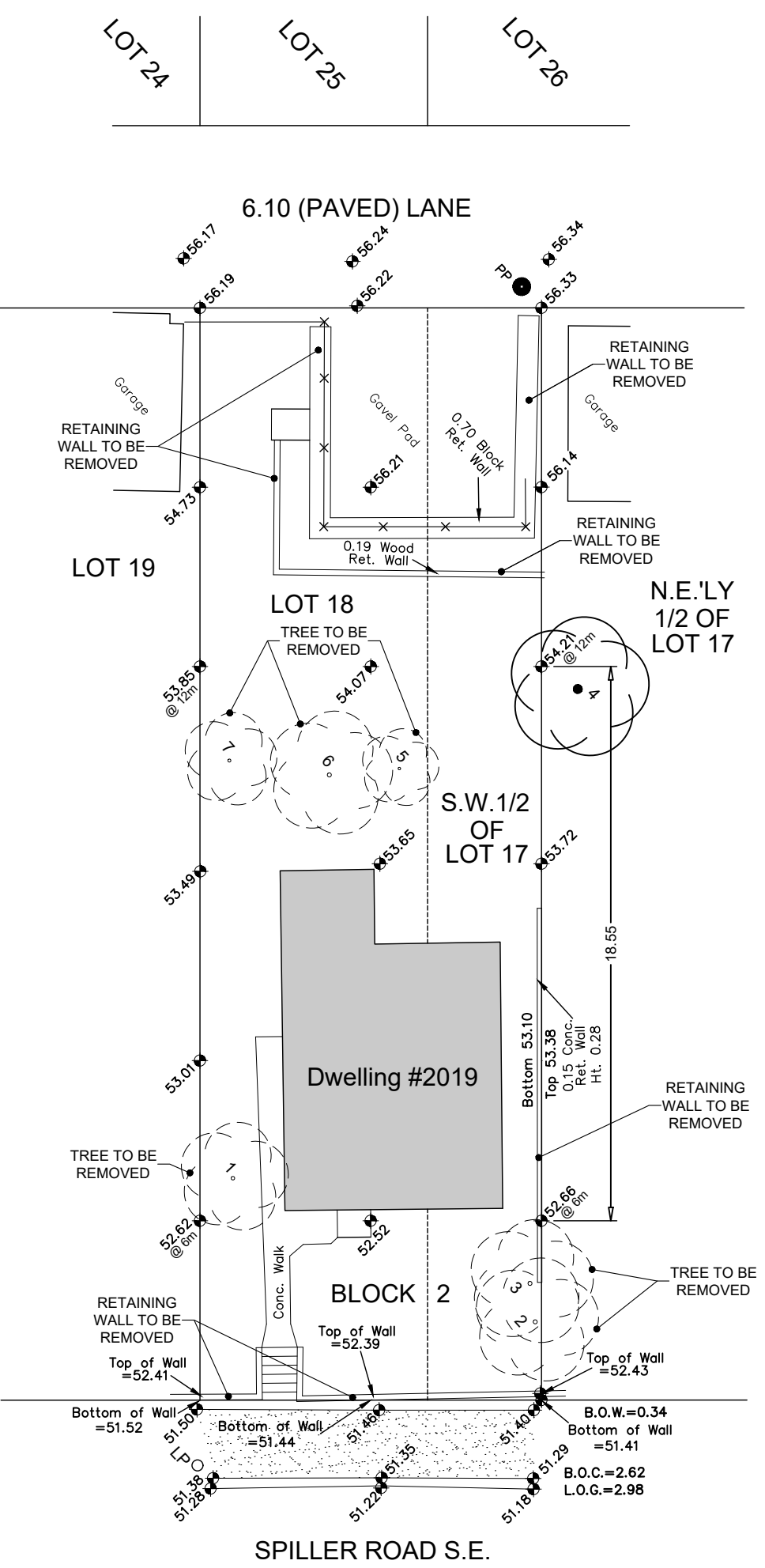
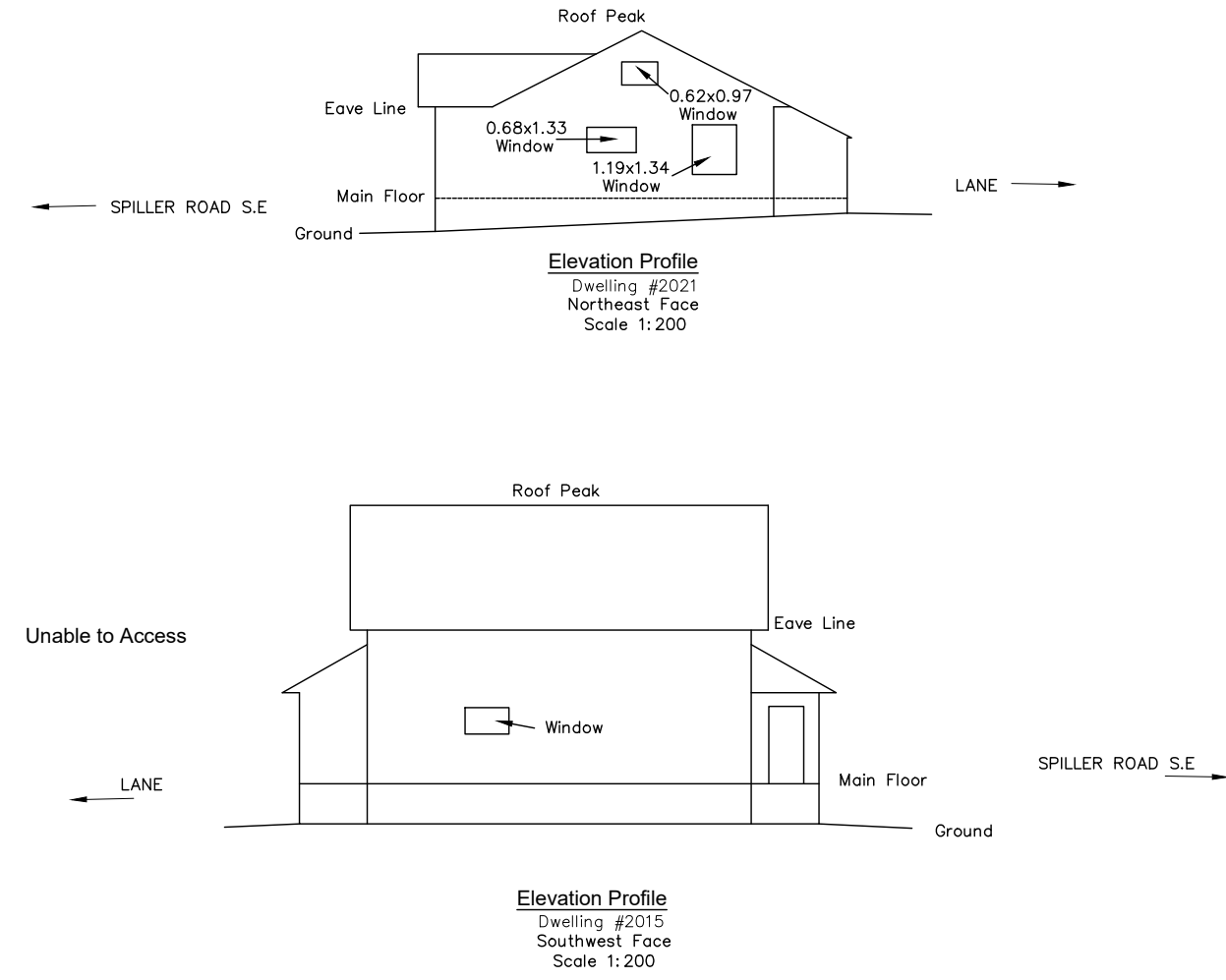
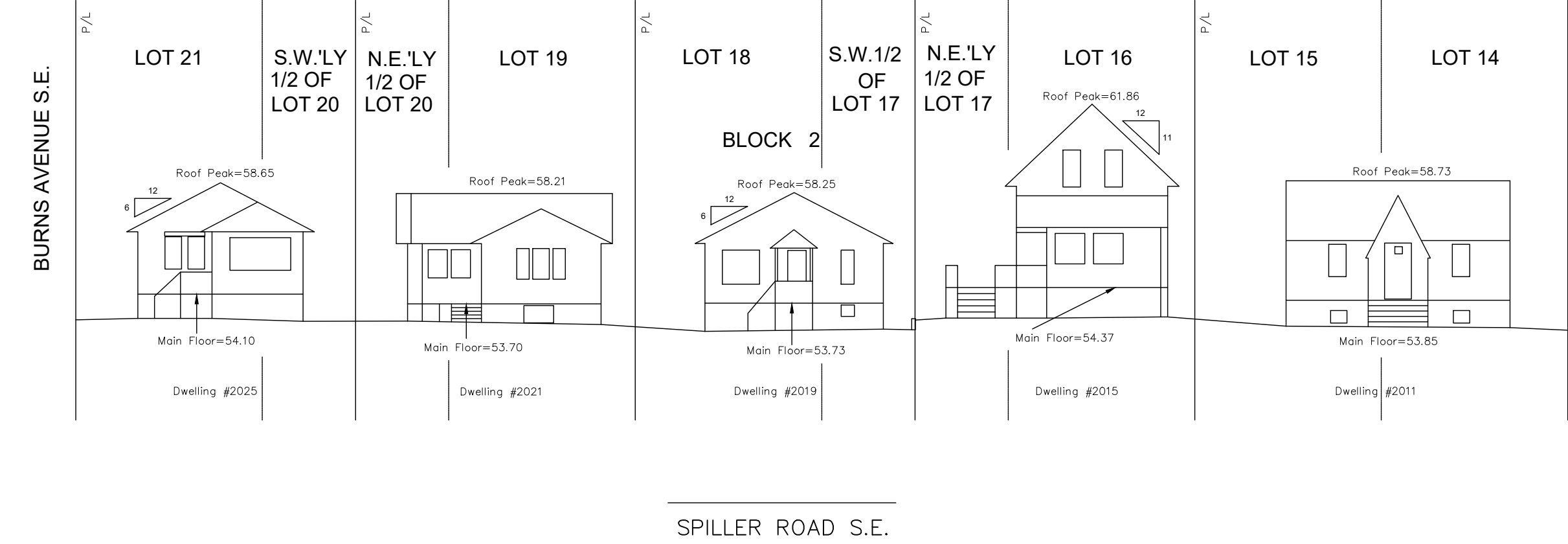
B.O.W.=0.34

B.O.C.=2.62
L.O.G.=2.98EXACT LOCATION OF NEW
WATER & SEWER LINES TO BE
DETERMINED ON SITE AND
ARE IN A COMMON TRENCH

EXISTING BLOCK PLAN



EXISTING STREETSCAPE



TREE DATA					
TREE	Type	Canopy	Height	Diameter	Status
1	Deciduous	3.5	6	0.30	TO BE REMOVED
2	Deciduous	4.0	6	0.50	TO BE REMOVED
3	Deciduous	4.0	6	0.50	TO BE REMOVED
4	Deciduous	4.5	11	0.50	TO REMAIN
5	Deciduous	2.5	4	0.30	TO BE REMOVED
6	Deciduous	4.0	4	0.30	TO BE REMOVED
7	Deciduous	3.0	7	0.50	TO BE REMOVED
8					
9					

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DEVELOPMENT PERMIT
EXISTING PLAN

SURVEYOR

Jones Geomatics Ltd.

Alberta Land Surveyor

#20, 1323-44th Ave. N.E., Calgary, Alberta T2E 6L5
Ph. (403) 230-0778 Fax (403) 230-0714
E-mail: jonesgeo@telus.net Job No. K11039-26

SURVEYOR LEGEND

A.S.C.M.
B.O.C.
C.B.
C.C.
C.M.
C.L.
Ha
L.O.G.
L.P.
M.
Mhd.
PA.
PI.
P.L.
Rad.
Rge.
RW.
SEC.
SP.
Twp.
TEST HOLE SHOWN THUS:
WATER VALVE SHOWN THUS:
POWER POLE SHOWN THUS:
MANHOLE SHOWN THUS:
GAS VALVE SHOWN THUS:
FIRE HYDRANT SHOWN THUS:
CONIFEROUS TREE SHOWN THUS:
DECIDUOUS TREE SHOWN THUS:
BURIED ELECTRICAL LINE SHOWN THUS:
FENCE IS SHOWN THUS:
GASLINE IS SHOWN THUS:
OVERHEAD UTILITIES SHOWN THUS:

DENOTES ALBERTA SURVEY CONTROL MARKER.
DENOTES BACK OF CURB.
DENOTES BACK OF WALK.
DENOTES CATCH BASIN.
DENOTES CURB CUT.
DENOTES CHECK MEASURED.
DENOTES CENTRE LINE.
DENOTES HECTARES.
DENOTES LIP OF GUTTER.
DENOTES LAMP POLE.
DENOTES METRES.
DENOTES MERIDIAN.
DENOTES MARKED.
DENOTES POLE ANCHOR.
DENOTES PLACED.
DENOTES PROPERTY LINE.
DENOTES RADIAL.
DENOTES RANGE.
DENOTES RIGHT-OF-WAY.
DENOTES SECTION.
DENOTES SIGN POST.
DENOTES TOWNSHIP.

DATE: MARCH 2, 2026
DATE OF SURVEY: FEBRUARY 25, 2026
SURVEYOR'S INITIALS: SGM/HWD

TH
PP
MH
FH
CHD
MW
LW
BW

TH
PP
MH
FH
CHD
MW
LW
BW

NOTES:
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TITLE SEARCH DATED FEBRUARY 13, 2026
PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:
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WINDOWS SHOWN THUS:
DOORS SHOWN THUS:
OVERHEAD GARAGE DOOR SHOWN THUS:
MAIN FLOOR WINDOWS SHOWN THUS:
UPPER FLOOR WINDOWS SHOWN THUS:
BASEMENT WINDOWS SHOWN THUS:

DR
CHD
MW
LW
BW

GEODETIC ELEVATIONS ARE SHOWN THUS:
EXISTING ELEVATIONS:
PROPOSED ELEVATIONS:
INTERPOLATED ELEVATIONS:

45.88
45.88
45.88
45.88

45.88
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45.88
45.88
45.88
45.88

ALL UNDERGROUND UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION

CUSTOM SINGLE FAMILY

MUNICIPAL ADDRESS
2019 SPILLER ROAD S.E.

LEGAL DESCRIPTION
ALL OF 18 & LOT S.W. 1/2 OF 17; BLOCK 2; PLAN 6260 AM
WITHIN THE
N.W. 1/4 SEC. 11, TWP. 24, RGE. 1, W. 5thM.

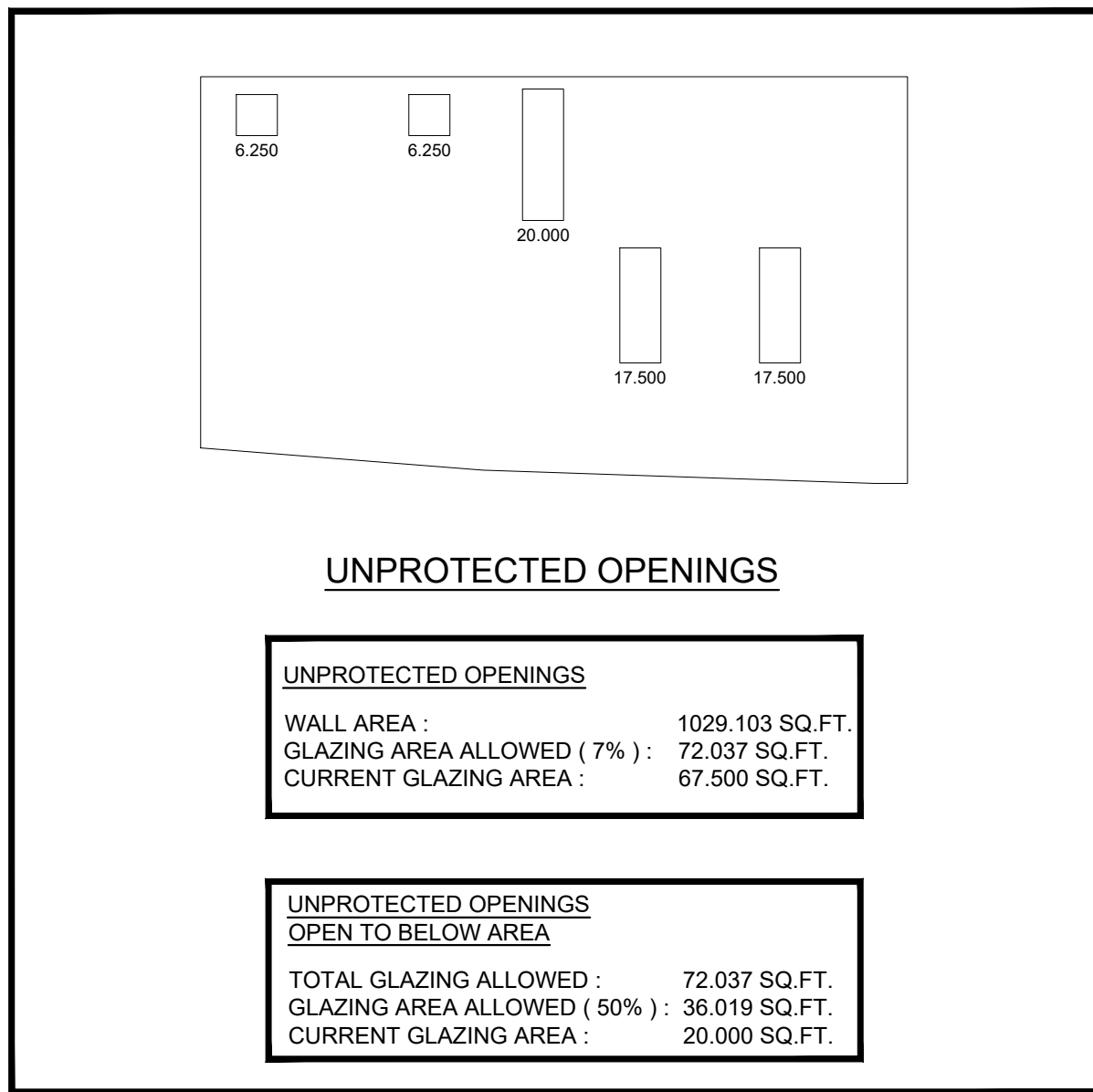
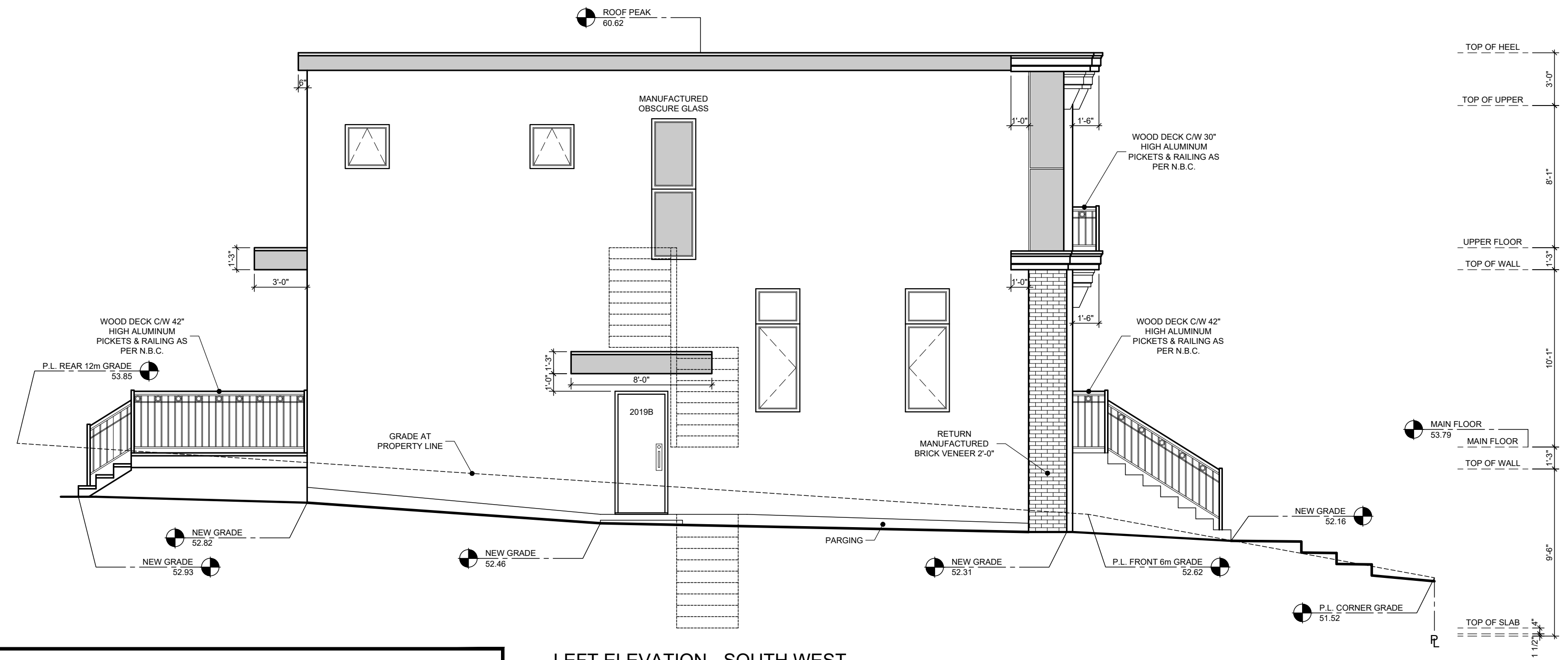
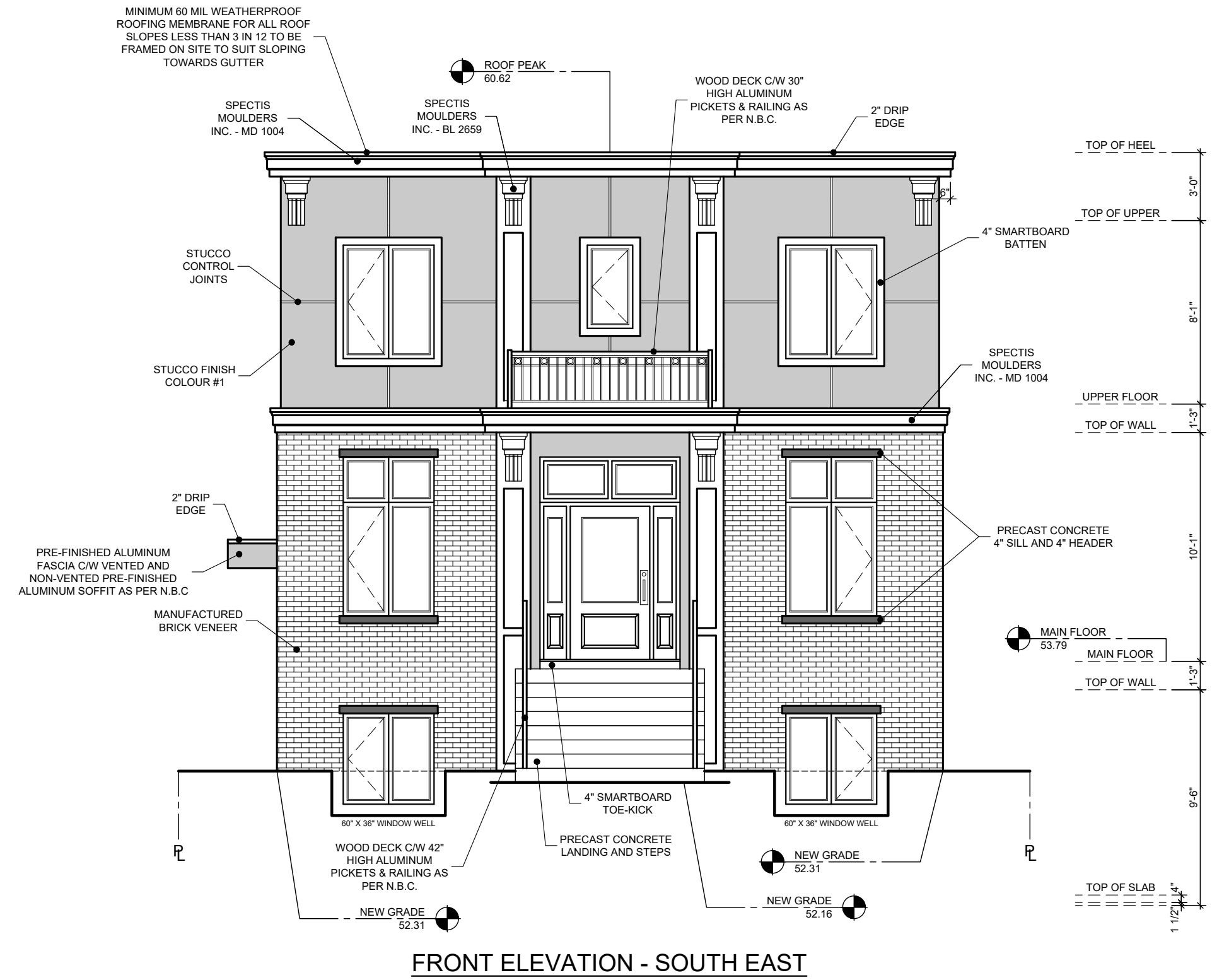
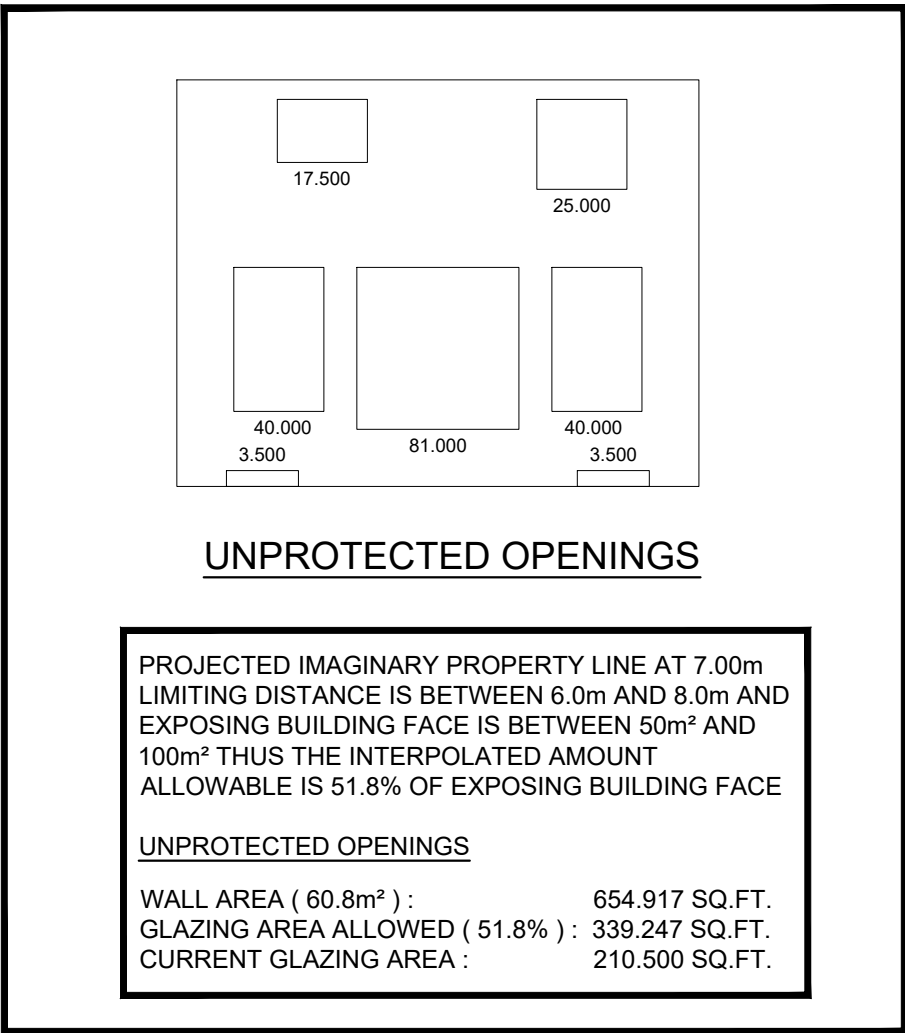
COMMUNITY
WEST HILLHURST

LAND USE DESIGNATION
R-CG
RESIDENTIAL - GRADE ORIENTED INFILL

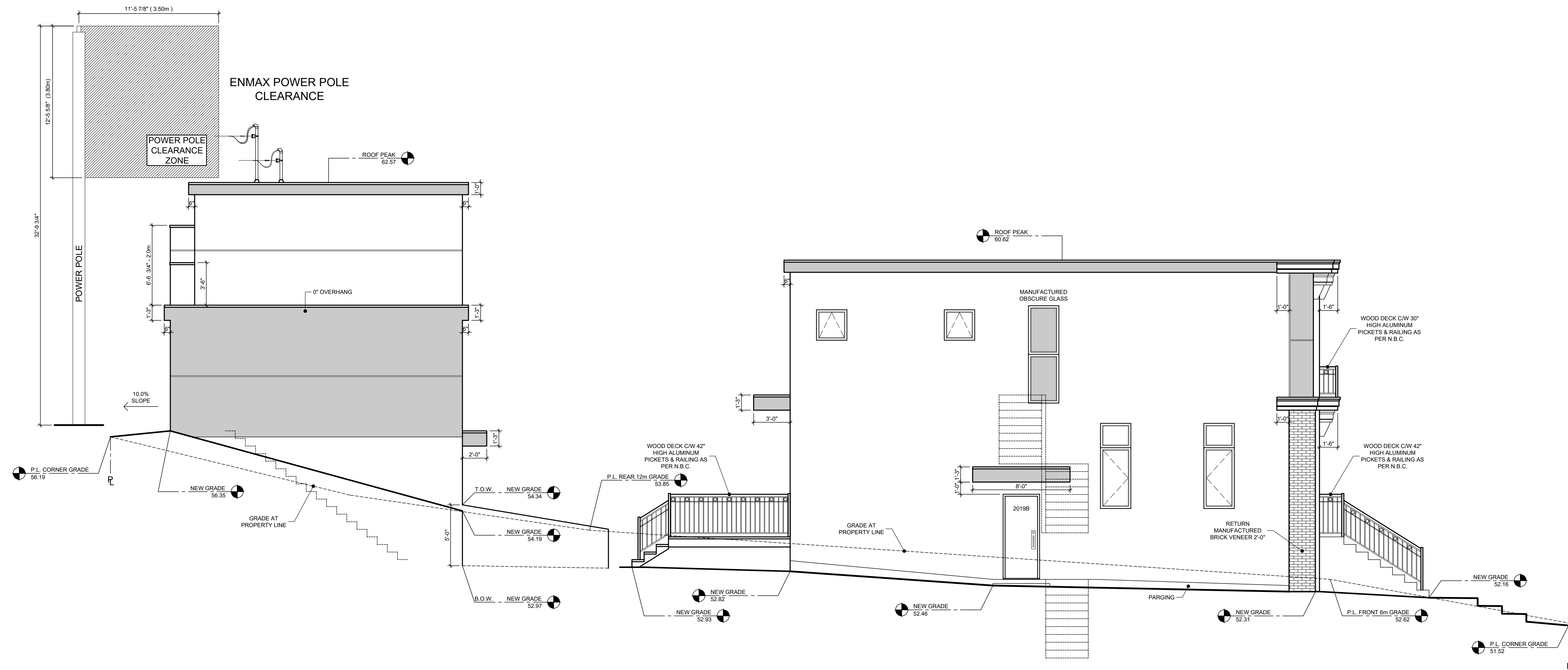
LOT COVERAGE CALCULATION
LOT AREA 417.856 m²
MAXIMUM 45% COVERAGE 188.035 m²
HOUSE AND GARAGE 72.810 m²
TOTAL COVERAGE 17.425 %
LOT AREA PROVIDED BY THE REGISTERED ALBERTA LAND SURVEYOR. HOUSE AND GARAGE AREA INCLUDES ALL DECK AND PORCH AREAS COVERED BY A ROOF.

SQUARE FOOTAGE
MAIN FLOOR 1238
UPPER FLOOR 1247
TOTAL 2485
SECONDARY SUITE 1082
GARAGE 756
BACKYARD SUITE 583
DATE APRIL 17, 2026

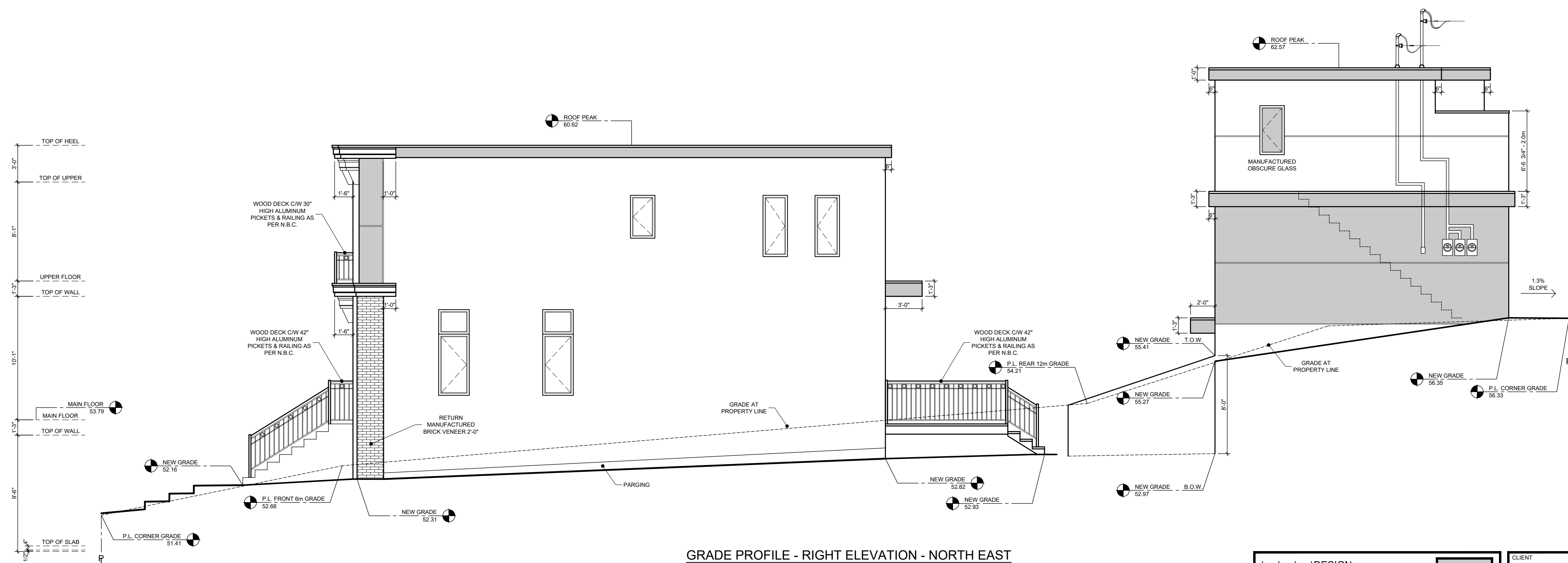
JOB
26-010
PERMIT NUMBER
DP2026 - ****
SHEET
3 OF 3



EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS	
ROOF	ASPHALT - BLACK
WALLS	STUCCO 1 - GUN METAL GREY
	STUCCO 2 - LIGHT GREY
ALUMINUM	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK
SOFFIT - MAIN	ALUMINUM - BLACK
RAINFWARE	ALUMINUM - BLACK
MANUFACTURED BRICK VENEER	RED
FRONT DOOR	METAL CLAD - BLACK
GARAGE DOOR	METAL CLAD - BLACK
WINDOWS	METAL CLAD - BLACK



GRADE PROFILE - LEFT ELEVATION - SOUTH WEST



GRADE PROFILE - RIGHT ELEVATION - NORTH EAST

dhc DESIGN
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133 Haskins Close NW
Calgary, Alberta T2G 3E3
Telephone 403.451.5895
www.designhouseofcalgary.com

CLIENT
CUSTOM SINGLE FAMILY

MUNICIPAL ADDRESS
2019 SPILLER ROAD S.E.

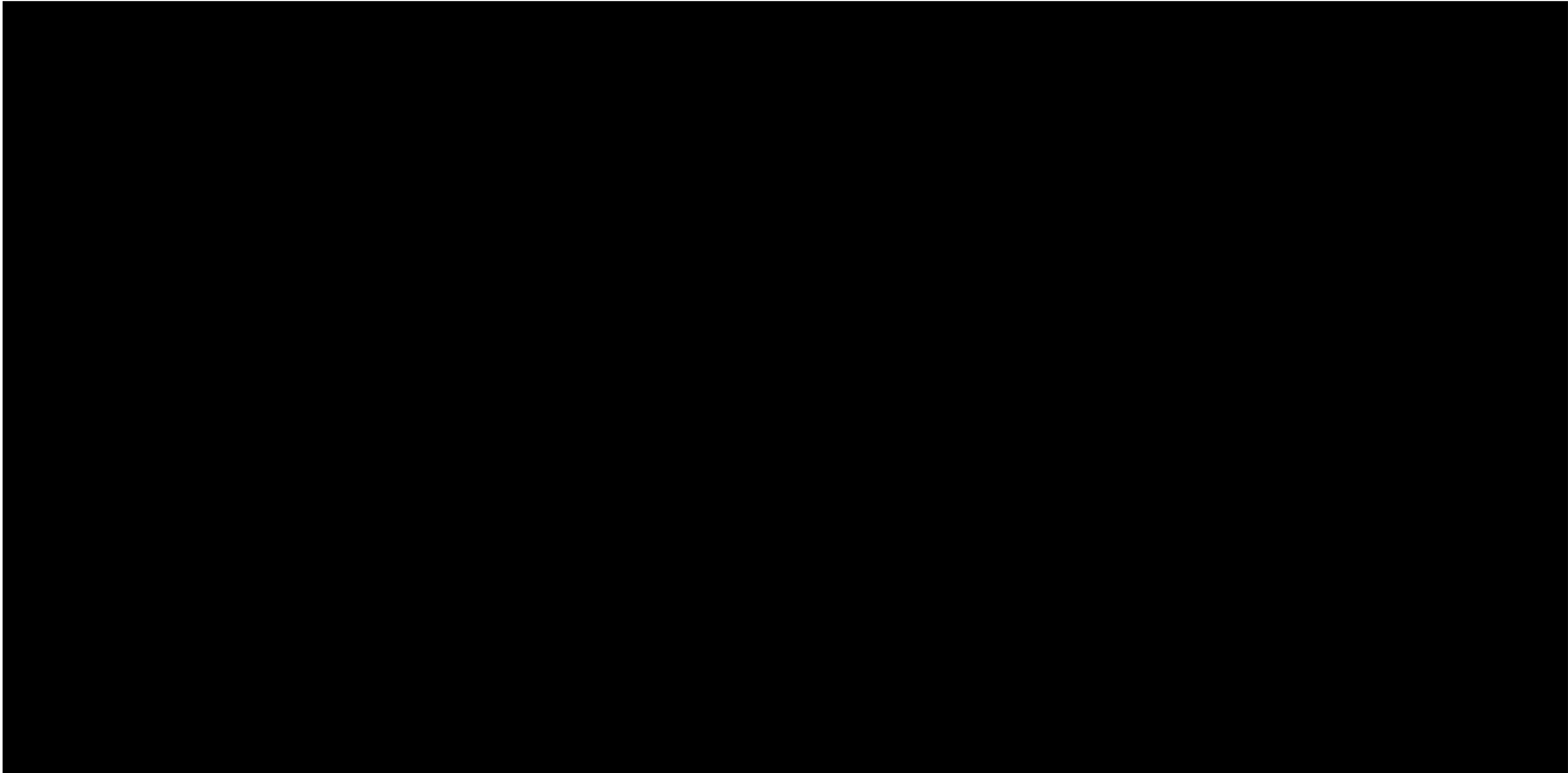
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SQUARE FOOTAGE	
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GARAGE	756
BACKYARD SUITE	583
DATE	APRIL 17, 2026

JOB
26-010

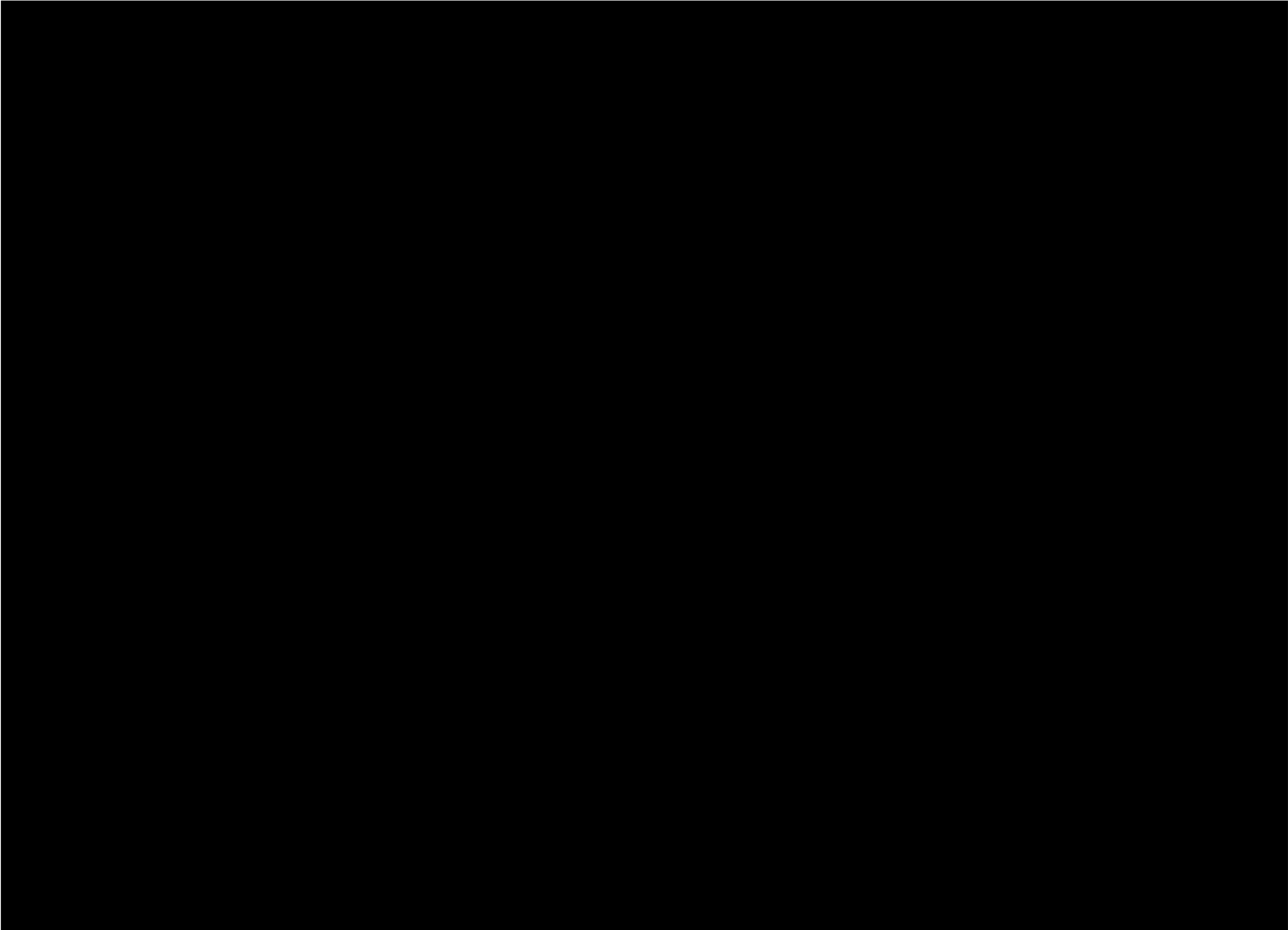
SCALE
3/16" = 1'-0"
FOR SCALE PRINT ON 24x36 PAPER

SHEET
2 OF 5



MAIN FLOOR WALL HEIGHT 10'-1"
(1262 SQ.FT. COVERAGE)

dhc DESIGN HOUSE OF CALGARY LTD RESIDENTIAL DESIGN AND DRAFTING SERVICES 133 Hawkbury Close NW Calgary, Alberta T3G 3E3 Telephone 403.451.9595 www.designhouseofcalgary.com		CLIENT	JOB		
		CUSTOM SINGLE FAMILY		26-010	
		MUNICIPAL ADDRESS	SCALE		
		2019 SPILLER ROAD S.E.	3/16" = 1'-0"		
LEGAL DESCRIPTION	ALL OF 18 & LOT S.W. 1/2 OF 17; BLOCK 2; PLAN 6260 AM		FOR SCALE PRINT ON 24X36 PAPER		
SQUARE FOOTAGE		SHEET			
MAIN FLOOR 1238		3			
UPPER FLOOR 1247		OF			
TOTAL 2485		5			
SECONDARY SUITE 1082					
GARAGE 756					
BACKYARD SUITE 583					
DATE		APRIL 17, 2026			



dhc

DESIGN
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CLIENT

CUSTOM SINGLE FAMILY

MUNICIPAL ADDRESS

2019 SPILLER ROAD S.E.

LEGAL DESCRIPTION

ALL OF 18 & LOT S.W. 1/2 OF 17; BLOCK 2; PLAN 6260 AM

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BACKYARD SUITE	583
DATE	APRIL 17, 2026

JOB

26-010

SCALE

3/16" = 1'-0"

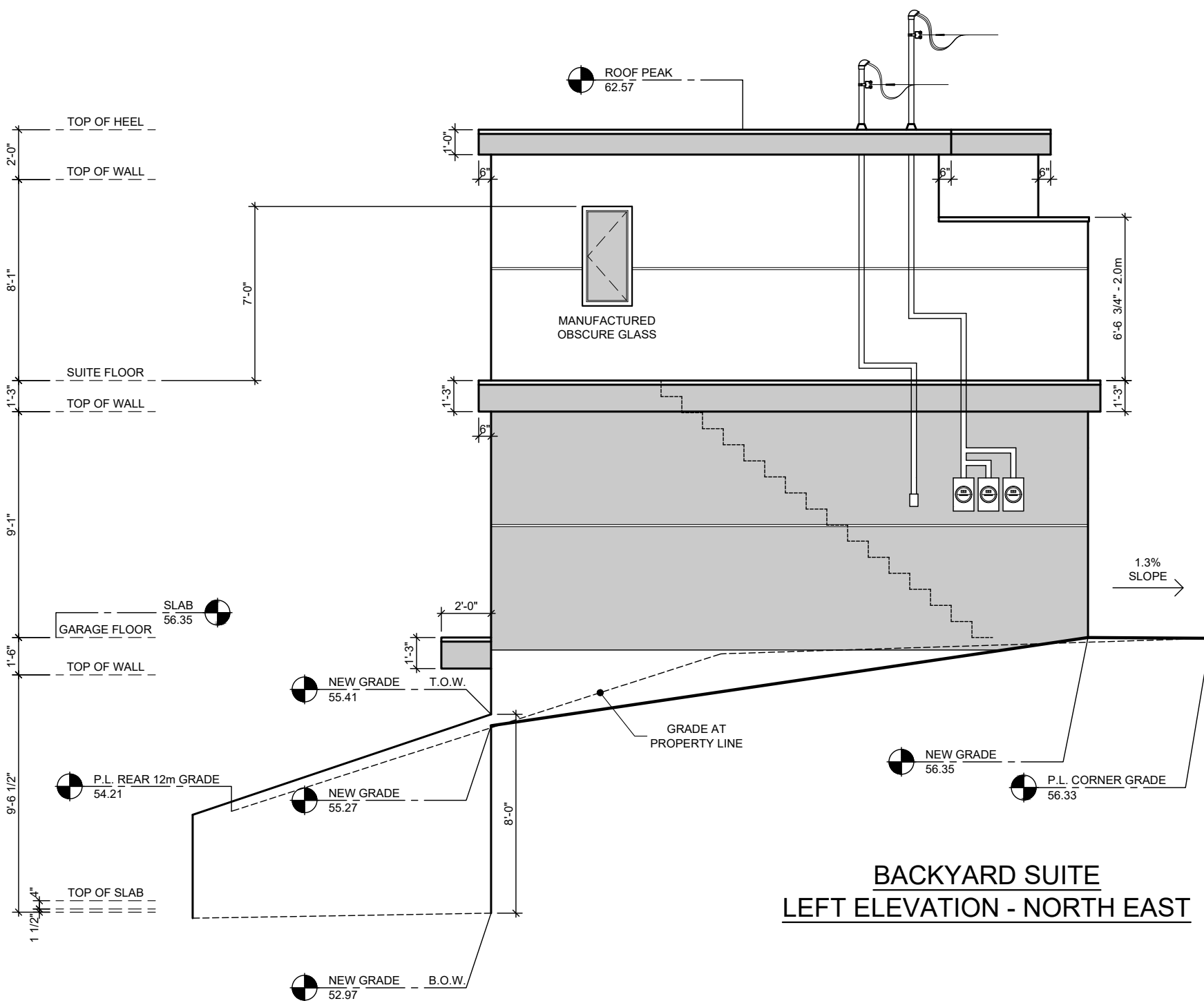
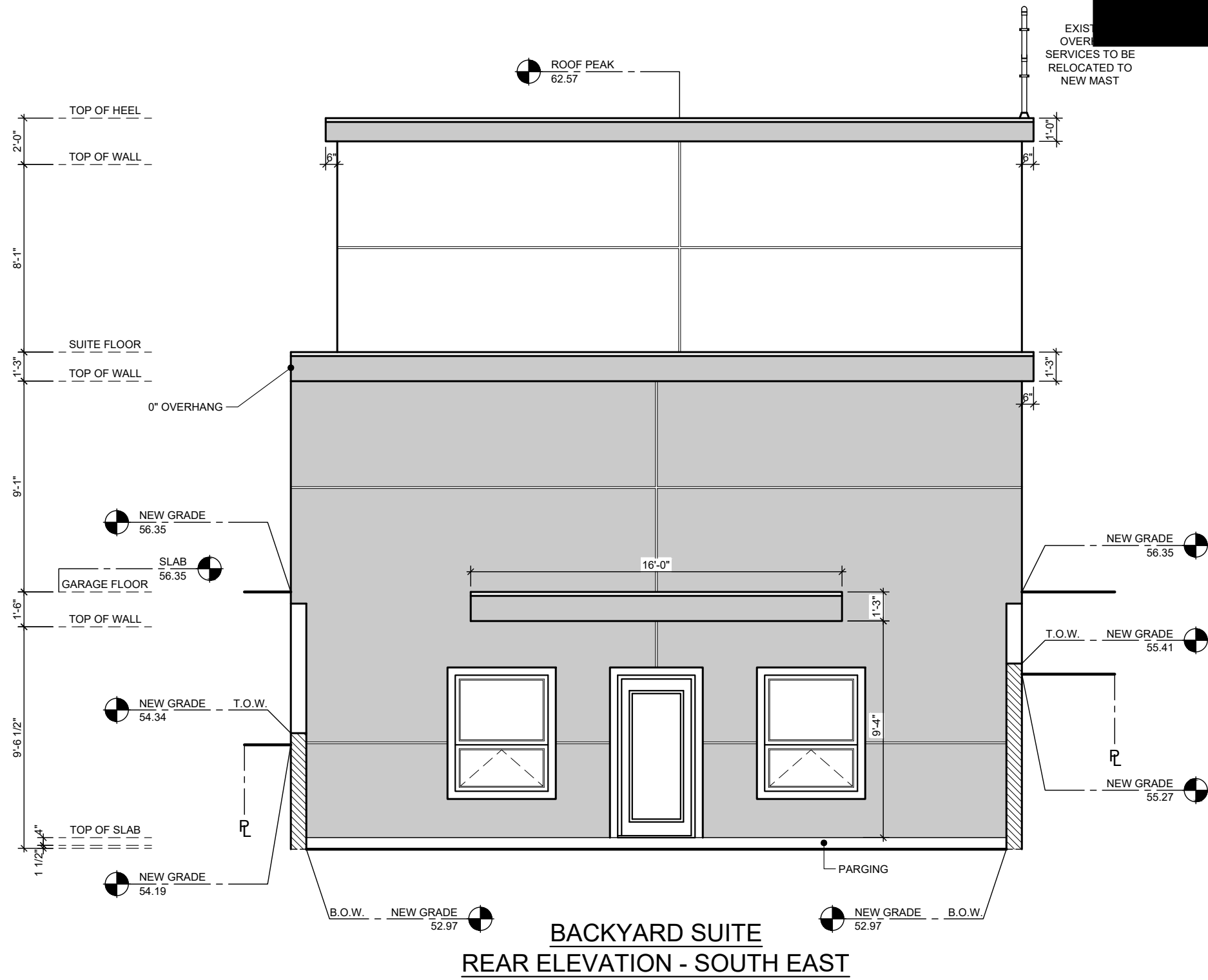
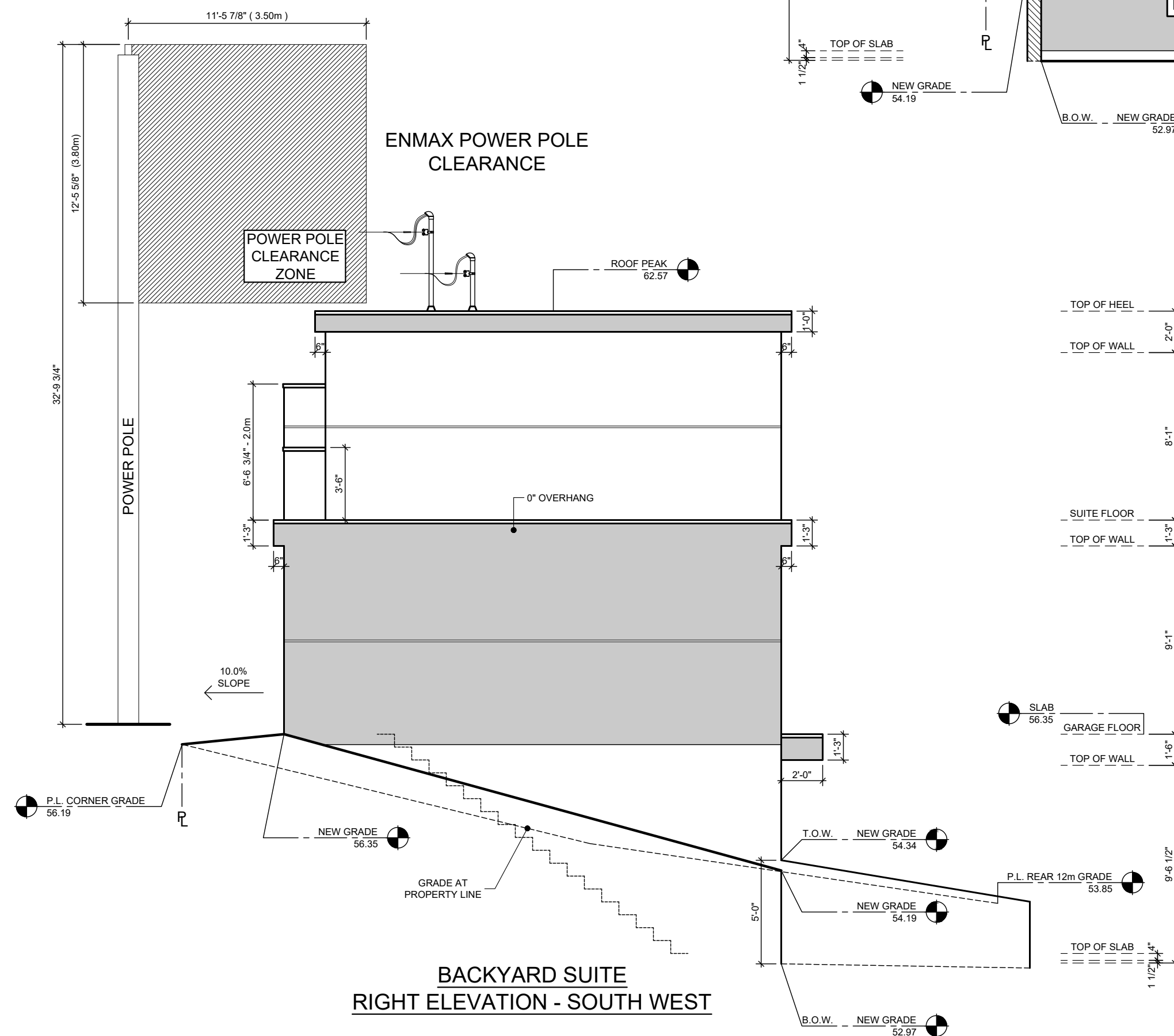
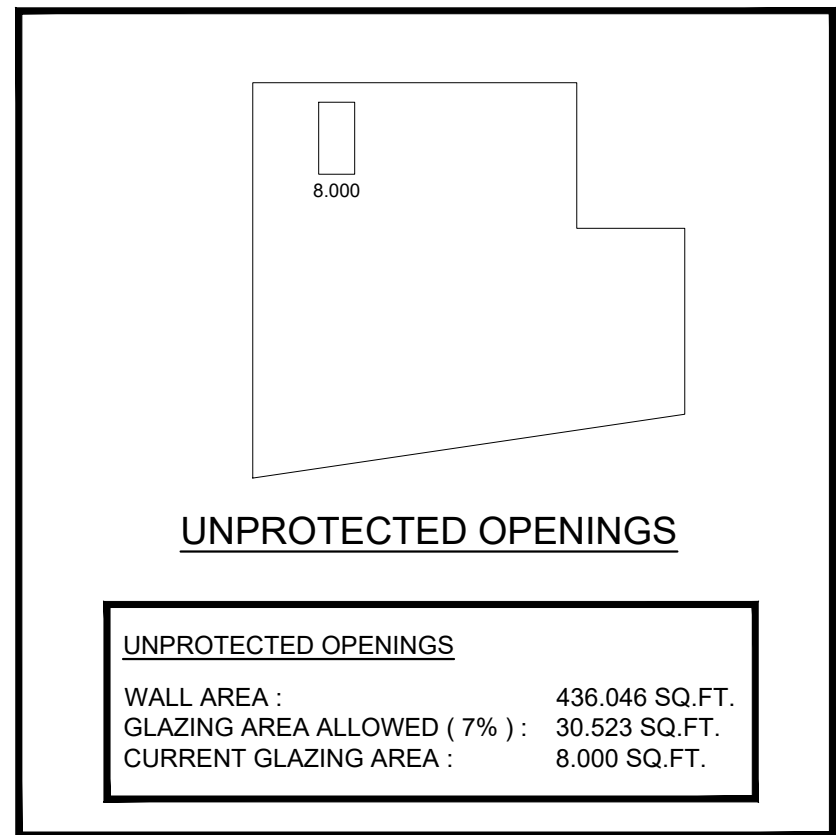
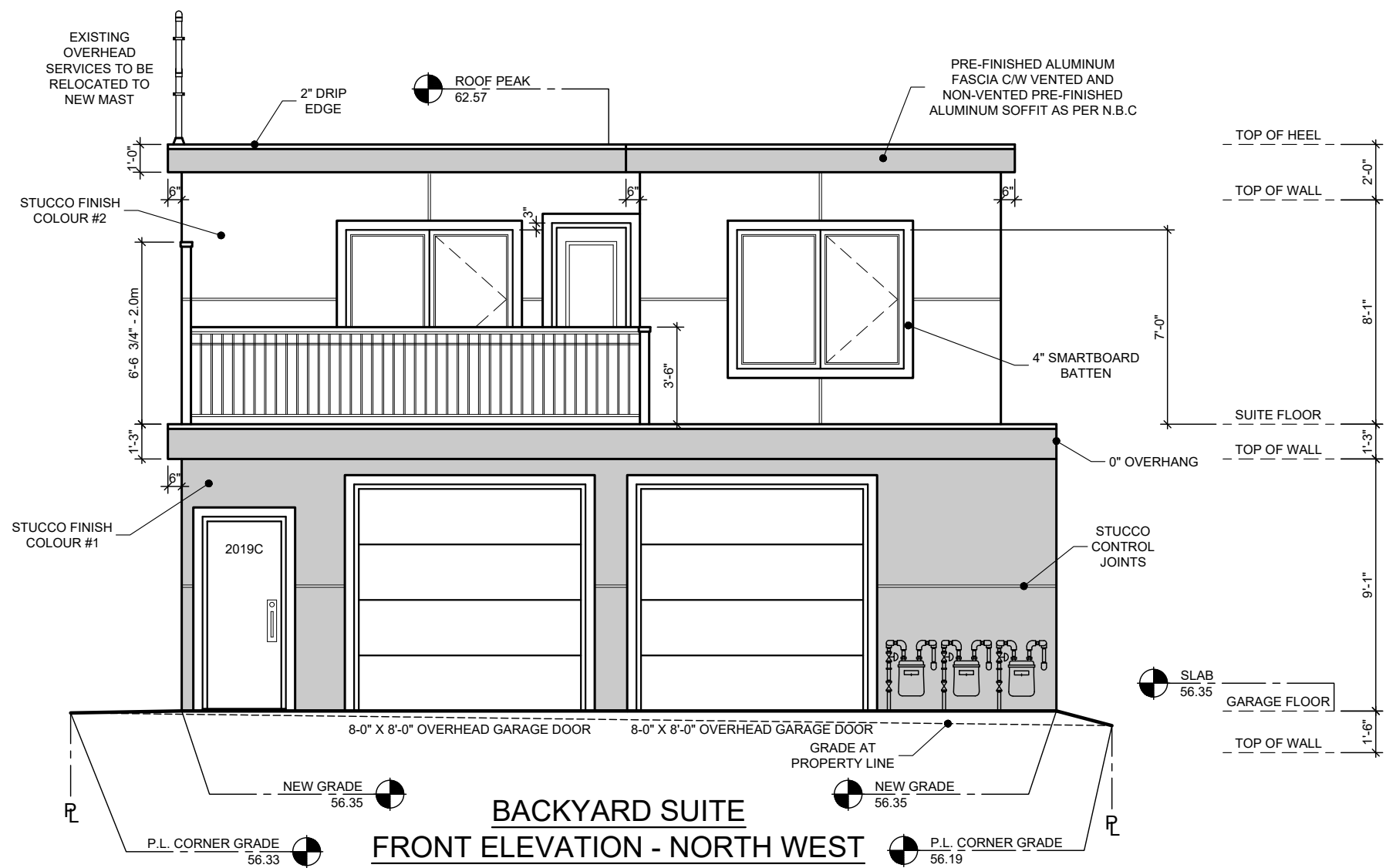
FOR SCALE PRINT ON A3/B3 PAPER

SHEET

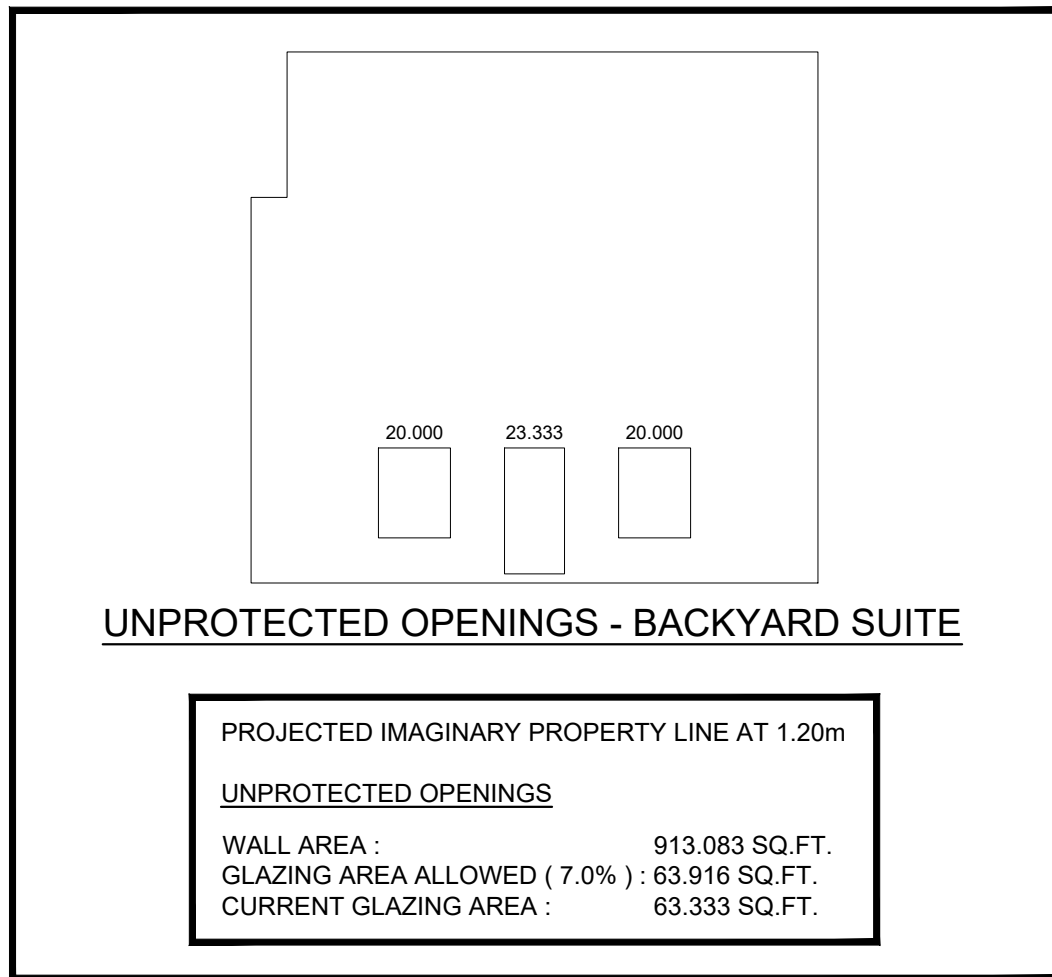
4

OF

5



GARAGE PLAN
756 SQ.FT.
GARAGE WALL HEIGHT 9'-1"



BACKYARD SUITE PLAN
583 SQ.FT.
WALL HEIGHT 8'-1"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS	
ROOF	ASPHALT - BLACK
WALLS	STUCCO 1 - GUN METAL GREY STUCCO 2 - LIGHT GREY
ALUMINUM	
FASCIA	ALUMINUM - BLACK
SOFFIT - MAIN	ALUMINUM - BLACK
RAINFWARE	ALUMINUM - BLACK
MANUFACTURED BRICK VENEER	RED
FRONT DOOR	METAL CLAD - BLACK
GARAGE DOOR	METAL CLAD - BLACK
WINDOWS	METAL CLAD - BLACK