



MIXED USE BUILDING
3206 CENTRE ST N,
CALGARY AB.

ISSUED FOR 90% REVIEW

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UNIT 255- 720 28 ST. N.E.
CALGARY, ALBERTA, T2A 6R3

ENGINEERING CONSULTANT

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8	RIFDP	2026-07-21

CLIENT

MIXED USE BUILDING

PROJECT ADDRESS

DRAWING TITLE

COVER PAGE

DATE:

MARCH, 2026

SHEET NO

SCALE:

DRAWN BY:

Author

A0.0

PROJECT NO.

C25050



1 3D View 1
A0.1



2 3D View 2
A0.1



3 3D View 3
A0.1



4 3D View 4
A0.1

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3206 CENTRE ST N,
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3D ILLUSTRATIONS

DATE:	MARCH, 2026	SHEET NO A0.1
SCALE:		
DRAWN BY:	M.R.	
PROJECT NO.	C25050	



SP 1 - SITE PHOTO - CENTRE STREET N LOOKING WEST



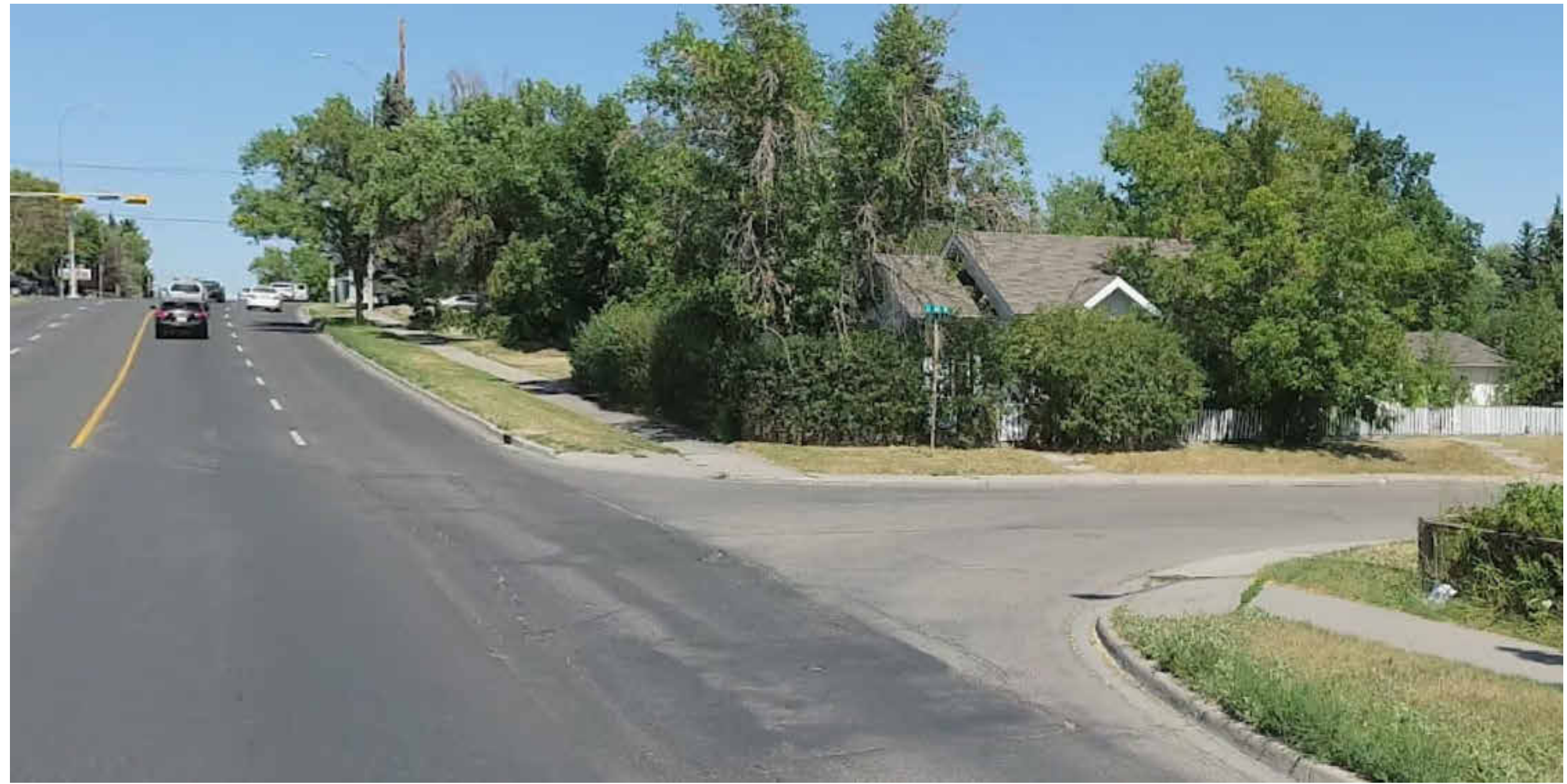
SP 2 - SITE PHOTO - CENTRE STREET N LOOKING NORTHWEST



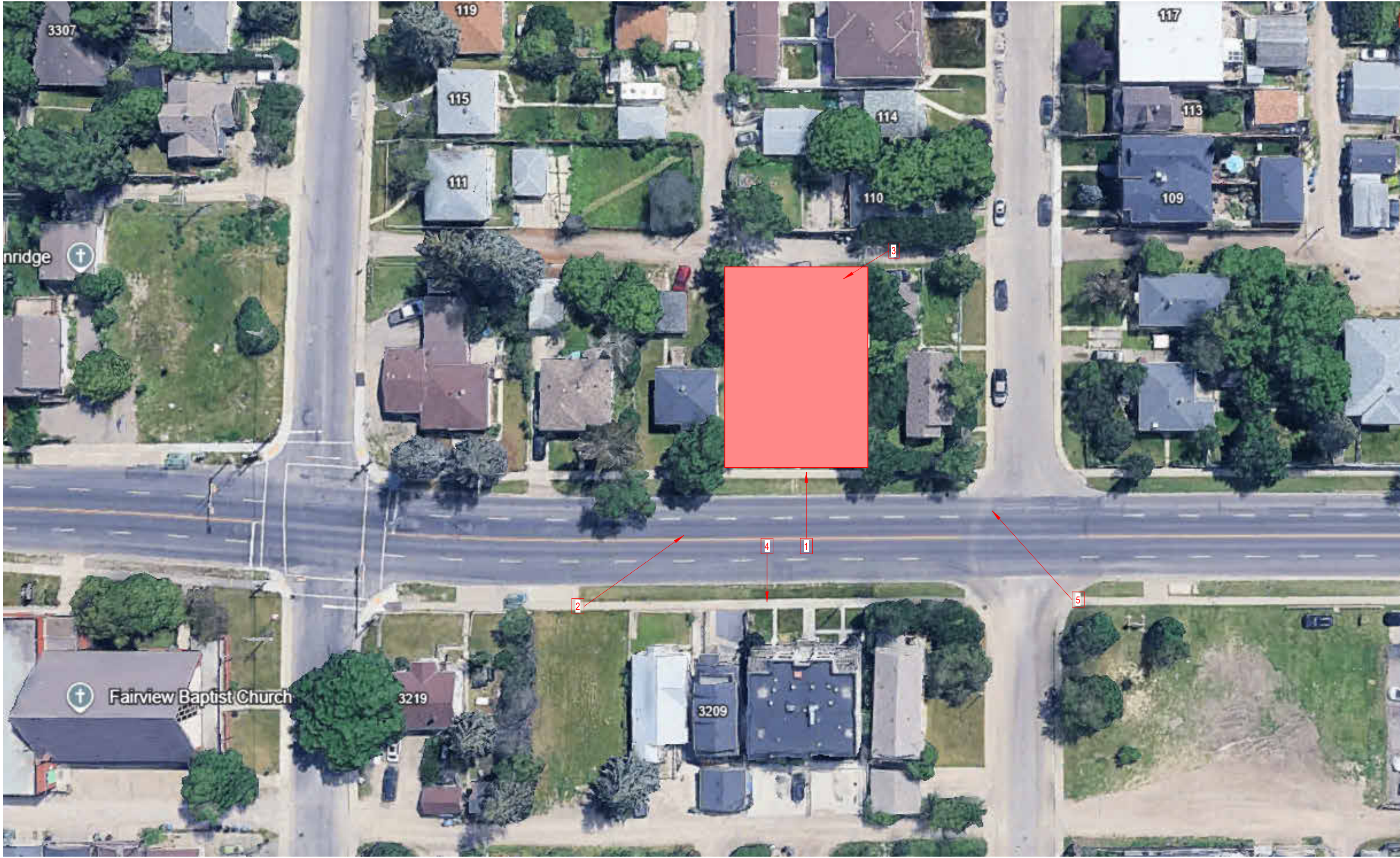
SP 2 - SITE PHOTO - GRAVEL LANE LOOKING EAST



SP 4 - SITE PHOTO - CENTRE STREET N LOOKING EAST



SP 5 - SITE PHOTO - CENTRE STREET N LOOKING SOUTHWEST



1 SITE PHOTO KEY PLAN
A0.2 N.T.S.

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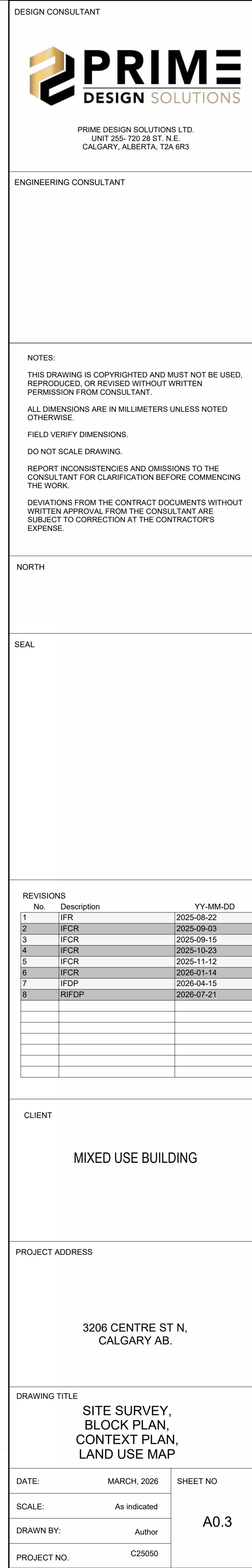
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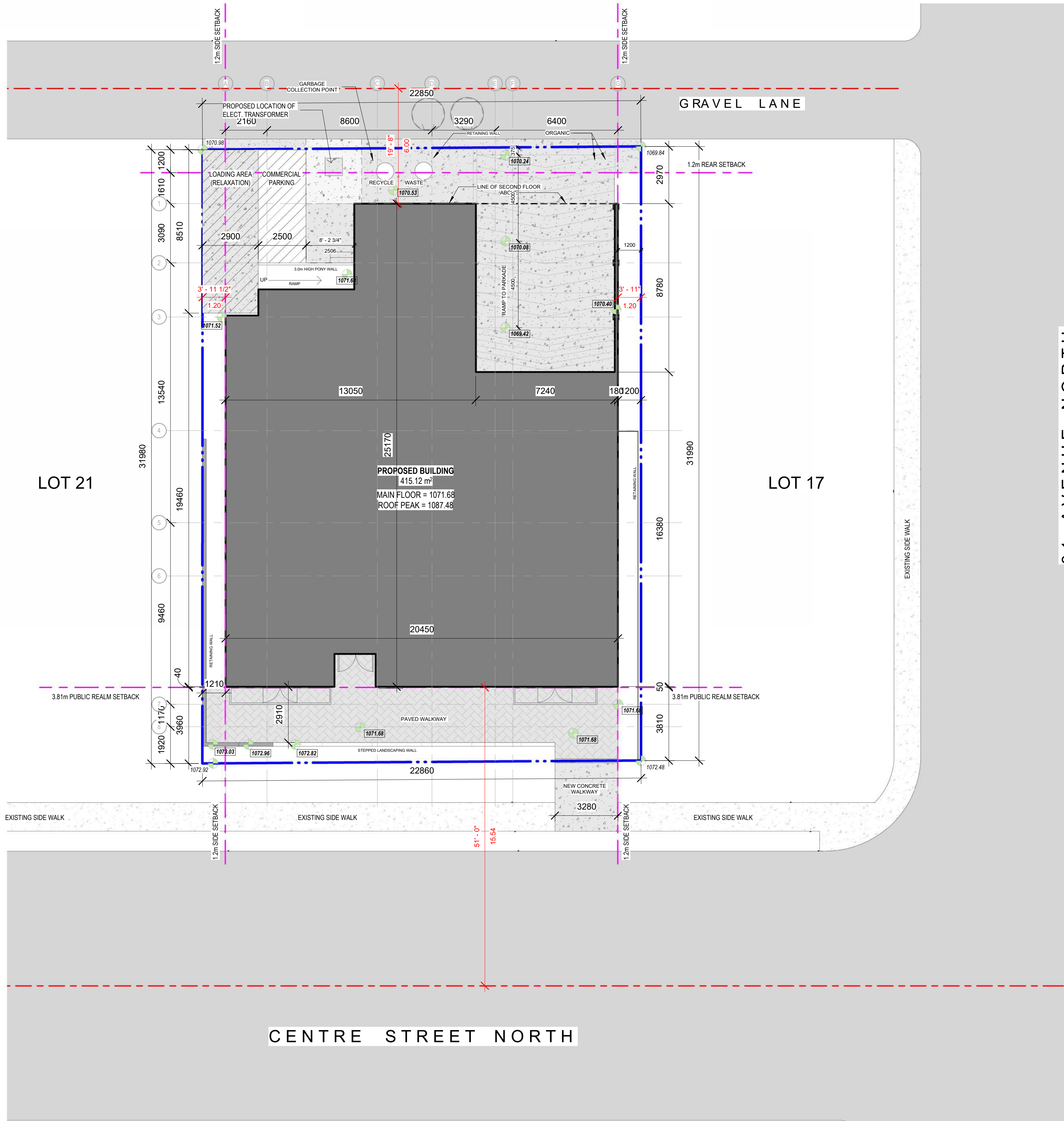
3206 CENTRE ST N,
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DRAWING TITLE

SITE PHOTOS

DATE:	MARCH, 2026	SHEET NO A0.2
SCALE:	1/32" = 1'-0"	
DRAWN BY:	Author	
PROJECT NO.	C25050	





1 SITE PLAN
A1.0 3/32" = 1'-0"

ELEVATION LEGEND	
XXXX.XX	EXISTING ELEVATION
XXXX.XX	PROPOSED GRADE

NOTE: BUILDER TO ENSURE MINIMUM OF 2% POSITIVE SLOPE IS PROVIDED AWAY FROM THE BUILDING & TOWARDS STREETS/LANES.

SITE ANALYSIS

ZONING

AREA OF LOT
AREA OF BUILDING

Multi-Residential – Medium Profile Support

Commercial (M-X2)
- 730.99m² (7,868.31ft²) or 0.0731 ha
- 415.12m²

LOT COVERAGE

NO OF RESIDENTIAL UNITS
NO OF COMMERCIAL UNITS

- 56.27%
- 19
- 2

LANDUSE BYLAW ANALYSIS

683 DENSITY

MINIMUM DENSITY - 60 UNITS/ HECTARE
THERE IS NO MAXIMUM DENSITY
DENSITY CALCULATIONS (19 UNITS/ 0.0731) =266 UNITS/HECTARE

682 FLOOR ARE RATIO (F.A.R.)

GROSS FLOOR AREA/ AREA OF PARCEL = 2075/730.99 = 2.85
THE MAXIMUM FLOOR AREA RATIO ALLOWED - 3

684 SETBACK AREAS

SETBACK FROM PL SHARED WITH A STREET - 3.80m
SETBACK FROM PL SHARED WITH A LANE - 1.2m
SETBACK FROM PL SHARED WITH A ANOTHER PACEL - 1.2m

553 LANDSCAPE REQUIREMENTS

MINIMUM REQUIREMENT - 40% = 292.40m²

LANDSCAPE PROVISION

SOFT LANDSCAPE- 98.50m²
HARD LANDSCAPE - 214.28m²
TOTAL - 312.78m²

552 PLANTING REQUIREMENTS

MINIMUM OF 1.0 TREES AND 2.0 SHRUBS MUST BE PLANTED FOR EVERY 45m² OF LANDSCAPED AREA PROVIDED.

685 BUILDING HEIGHT

MAX BUILDING HEIGHT - 16m

557 AMENITY SPACE

MINIMUM AMENITY SPACE IS 5m² PER UNIT.

558 PARKING REQUIREMENTS

REQUIREMENT: 0.65 STALLS PER UNIT
19 UNITS x 0.65 = 12.35

560 REDUCTION FOR TRANSIT SUPPORTIVE MULTI-RESIDENTIAL DEVELOPMENT

THE REQUIRED NUMBER OF MOTOR VEHICLE PARKING STALLS IN SECTION 558 IS REDUCED BY 25.0 PER CENT FOR A DEVELOPMENT ON A PARCEL LOCATED WITHIN: 200.0 METRES OF PRIMARY TRANSIT SERVICE.

RELAXATION: THE DEVELOPMENT IS LOCATED WITHIN 200m OF PRIMARY TRANSIT SERVICE = 0.65 X 13 = 9.26 STALLS

PARKING STALLS PROVIDED: 9 (8 RESIDENTIAL + 1 COMMERCIAL)

123 LOADING STALLS

IN COMMERCIAL, INDUSTRIAL, MIXED USE AND SPECIAL PURPOSE DISTRICTS THE MINIMUM REQUIREMENT FOR LOADING STALLS IS:

A. 1.0 LOADING STALLS PER 9300.0 SQUARE METRES OF GROSS FLOOR AREA WHERE THE CUMULATIVE GROSS FLOOR AREA OF ALL BUILDINGS ON A PARCEL IS GREATER THAN 930.0 SQUARE METRES; AND

B. 0.0 LOADING STALLS WHERE THE CUMULATIVE GROSS FLOOR AREA OF ALL BUILDINGS ON A PARCEL IS LESS THAN OR EQUAL TO 930.0 SQUARE METRES.

LOADING STALLS PROVIDED: 1

559 BICYCLE PARKING STALL REQUIREMENTS

CLASS 1 STALLS = 0.5 / UNIT

CLASS 1 BICYCLE PARKING PROVIDED: 14 CLASS 1 STALLS

SPATIAL ANALYSIS (GROSS FLOOR AREA) - 5 FLOORS (19 UNITS)

MAIN FLOOR -	415.18m ²	4,468.96 ft ²
2ND FLOOR-	493.77m ²	5,314.90 ft ²
3RD FLOOR-	493.77m ²	5,314.90 ft ²
4TH FLOOR-	363.15m ²	3,908.91 ft ²
5TH FLOOR-	316.42m ²	3,405.91 ft ²

TOTAL 2,082.29m² 22,413.58 ft²

PARKADE - 528.12m² 5,684.64 ft²

UNIT TYPOLOGY

2 BEDROOM - 11

1 BEDROOM - 8

TOTAL : 19

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3206 CENTRE ST N,
CALGARY AB.

DRAWING TITLE

SITE PLAN

DATE:

MARCH, 2026

SHEET NO

SCALE:

3/32" = 1'-0"

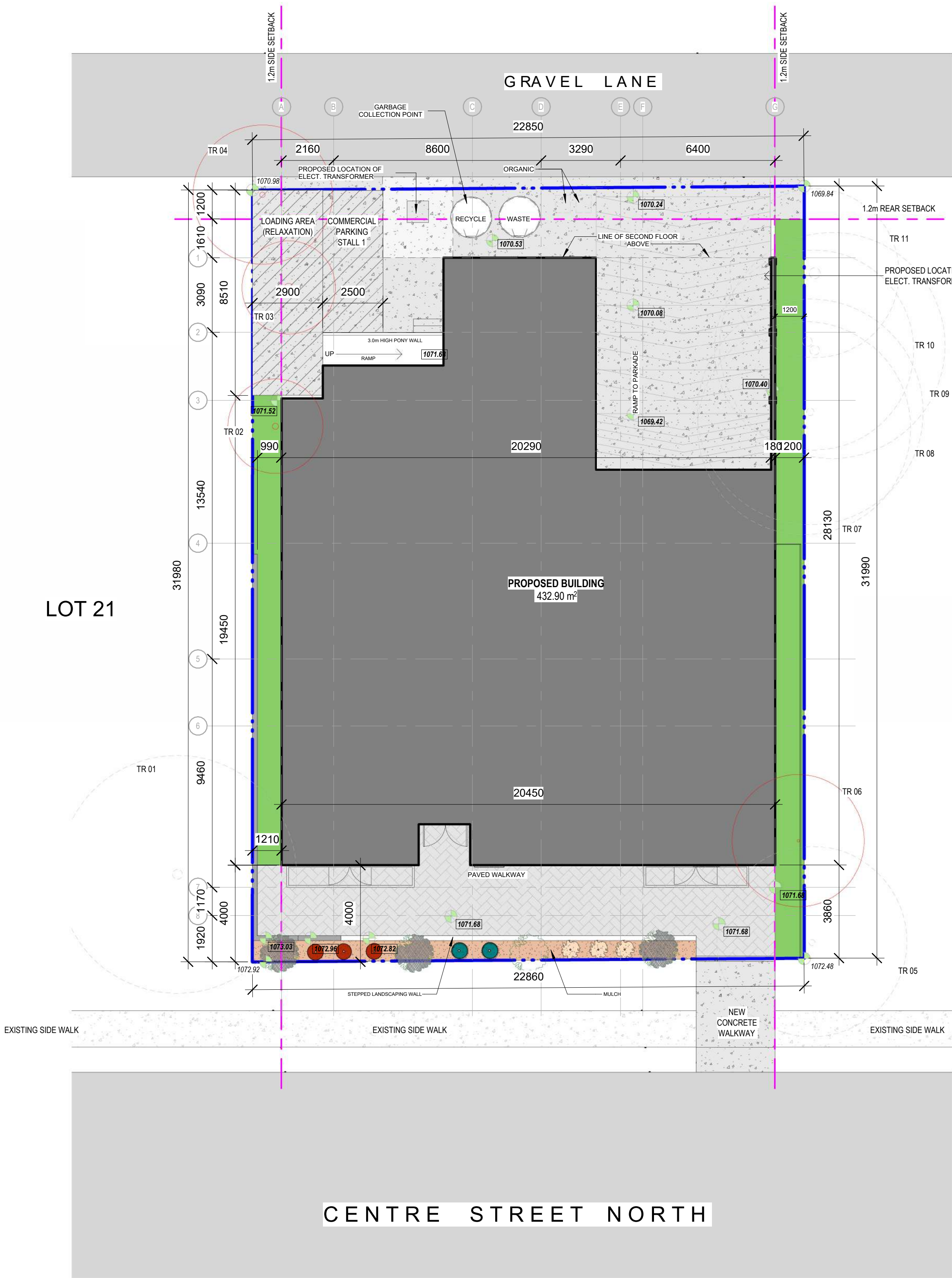
A1.0

DRAWN BY:

M.R.

PROJECT NO.

C25050



1 LANDSCAPING PLAN
A1.1 3/32" = 1'-0"

EXISTING TREES ANALYSIS

TREE SCHEDULE				
Tree No	Trunk Dia	Canopy Dia	Location	
TR 01	0.5	10.00	In Adjacent property	Trim
TR 02	0.4	4.00	In Subject property	Remove
TR 03	0.2	4.00	In Subject property	Remove
TR 04	0.4	6.00	In Subject property	Remove
TR 05	0.3	8.00	In Adjacent property	Trim
TR 06	0.3	5.00	In Subject property	Remove
TR 07	0.2	8.00	In Adjacent property	Trim
TR 08	0.8	10.00	In Adjacent property	Trim
TR 09	0.5	8.00	In Adjacent property	Trim
TR 10	0.3	10.00	In Adjacent property	Trim
TR 11	0.8	8.00	In Adjacent property	Trim

LANDSCAPE LEGEND

- SOD
ON MIN. 150MM TOP SOIL
- CONCRETE DRIVEWAY
AND GARBAGE AREA
- MULCH
- PAVED WALKWAY
- TREE TO BE REMOVED
- TREE TO BE TRIMMED
- NEW TREE
- NEW TREE

LANDSCAPING ANALYSIS

LANDSCAPED AREA:
PARCEL AREA - 730.99m² (7,868.31ft²) or 0.0731 ha

551-2) -TOTAL LANDSCAPING REQUIRED
(40% X730.99) - 292.40 SQ. M.

REDUCTION IN COMPLIANCE WITH BYLAW 556 (LOW WATER OPTION):
3% OF 292.40 M² = 8.77 M²
292.40 M² - 8.77 M² = 283.63 M²

PROVIDED : 160.75 SQ. M. (22%)

551-3) - MAXIMUM HARD SURFACE LANDSCAPED AREA

(50% X160.75) - 80.38 SQ. M.

PROVIDED : 86.94 SQ. M. (54.1%)

551-5) - SOFT LANDSCAPING - MINIMUM OF 30%

(30% X160.75) - 48.225 SQ. M.

PROVIDED : 73.81 SQ. M. (45.9%)

OTHERS: LANDSCAPING WALL (5.4%)

TOAL LANDSCAPING PROVIDED - 160.75 SQ. M. (22% PROVIDED - 15% RELAXATION)

SOD PROVIDED : 57.56 SQ.M.
MULCH PROVIDED : 15.12 SQ.M.

PLANTING REQUIREMENTS:

552-2) A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS MUST BE PLANTED FOR EVERY 45.0 SQUARE METRES OF LANDSCAPED AREA PROVIDED.

TREES REQUIRED: 1 PER 45 SQ.M. 3.57 TREES
TREES PROVIDED: 4 TREES

SHRUBS REQUIRED: 2 PER 45 SQ.M. = 7.14 SHRUBS
SHRUBS @MIN HEIGHT OR SPREAD OF 0.6M
SHRUBS PROVIDED: 8 SHRUBS

SHRUBS			TREE		
	diablo ninebark (minimum 600mm height)	3		COLUMNAR BLUE SPRUCE LOW WATER CONIFEROUS TREE 85MM CALIPER , 1M CANOPY , 4M HEIGHT	1
	juniper (minimum 600mm spread)	3		TREMBLING ASPEN 50% - 75MM CALIPER 50% - 50MM CALIPER	3
	gold mound spirea (minimum 600mm height)	2			
TOTAL		8	TOTAL		4

NOTES:

ALL LANDSCAPING TO CONFORM TO THE CITY OF CALGARY LAND-USE BYLAW.
- TO BE VERIFIED BY LANDSCAPING CONTRACTOR

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARD REQUIRED BY CANADIAN NURSERY TRADE ASSOCIATION GUIDELINES.

2. TOPSOIL DEPTH FOR PLANTING AS FOLLOWS:

A. GRASSED AREA: 150MM
B. GROUND COVER: 300MM
C. SHRUBS 450MM
D. TREE PITS: 300MM (BELOW ROOT BALL)

3. LAWN AREAS SHALL BE SODDED WITH #1 PREMIUM RESIDENTIAL SOD.

4. ALL SHRUBS PLANTING AREAS SHALL HAVE GROUND COVER @MIN 600 O.C.

500MM BARK MULCH TO BE INSTALLED IN ALL PLANTING AREA.

(SEE DETAIL A1.2)

5. MINIMUM REQUIREMENTS FOR PLANTING:

DECIDUOUS TREE 65MM CAL; AT LEAST 50% MUST HAVE MIN 85 MM CAL.
CONIFEROUS TREES 3.0M HT, AT LEAST 50% MUST HAVE MIN 4.0 HT
DECIDUOUS SHRUBS MM HT.
CONIFEROUS SHRUBS 600MM HT. OR WIDTH

6. ALL TREE PLANTING ACCORDING TO THE CITY OF CALGARY BYLAW STANDARDS AND REQUIREMENTS.

7. PROVIDE CENTRALLY CONTROLLED LOW WATER IRRIGATION SYSTEM CONFINED TO TREES AND SHRUBS WITHIN THE PROPERTY.

CONTROL VALVE LOCATION TO BE DETERMINED. PVC CONDUIT FROM BUILDING TO IRRIGATION HEAD AS REQUIRED.
(PVC CONDUIT TO BE TWICE THE SIZE OF IRRIGATION LINE)

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MIXED USE BUILDING

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3206 CENTRE ST N,
CALGARY AB.

DRAWING TITLE

LANDSCAPING
PLAN

DATE:	MARCH, 2026	SHEET NO A1.1
SCALE:	As indicated	
DRAWN BY:	Author	
PROJECT NO.	C25050	



MATERIAL LEGEND

MTL-1	ACM METAL PANEL - COLOUR: LIGHT GRAY
MTL-2	ACM METAL PANEL - COLOUR: DARK GRAY
MTL-3	COMPOSITE WOOD CLADDING
MTL-4	GLASS RAILING
MTL-5	PRIVACY WALL
MTL-6	GUARDRAIL
MTL-7	STEEL CANOPY
MTL-8	HARDIE BOARD - COLOUR: GRAY
MTL-9	WINDOW TRIM - DARK GRAY

SPATIAL SEPARATION / BUILDING FACE TABLE 3.2.3.1.D (GLAZED OPENINGS IN E.B.F.)

TOTAL FACADE AREA	292.90m ²
TOTAL GLAZED AREA	62.40m ²
GLAZING %	21.3%
LIMITING DISTANCE	14.68m
PERMITTED GLAZED OPENING	100%

TABLE 3.2.3.7 (MINIMUM CONSTRUCTION REQUIREMENTS FOR EXPOSING BUILDING FACES)

TYPE OF CONSTRUCTION REQUIRED	COMBUSTIBLENON COMBUSTIBLE
TYPE OF CLADDING REQUIRED	COMBUSTIBLENON COMBUSTIBLE



SPATIAL SEPARATION / BUILDING FACE TABLE 3.2.3.1.D (GLAZED OPENINGS IN E.B.F.)

TOTAL FACADE AREA	321.90m ²
TOTAL GLAZED AREA	33.10m ²
GLAZING %	10.2%
LIMITING DISTANCE	6.0m
PERMITTED GLAZED OPENING	52%

TABLE 3.2.3.7 (MINIMUM CONSTRUCTION REQUIREMENTS FOR EXPOSING BUILDING FACES)

TYPE OF CONSTRUCTION REQUIRED	COMBUSTIBLENON COMBUSTIBLE
TYPE OF CLADDING REQUIRED	COMBUSTIBLENON COMBUSTIBLE

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WEST AND EAST
ELEVATION

DATE:

MARCH, 2026

SHEET NO

SCALE:

As Indicated

DRAWN BY:

Author

PROJECT NO.

C25050

A3.0



SPATIAL SEPARATION / BUILDING FACE
TABLE 3.2.3.1.D
(GLAZED OPENINGS IN E.B.F.)

BUILDING FACE A	
TOTAL FACADE AREA	204.68m ²
TOTAL GLAZED AREA	18.73m ²
GLAZING %	9.1%
LIMITING DISTANCE	1.2m
PERMITTED GLAZED OPENING	14%

TABLE 3.2.3.7
(MINIMUM CONSTRUCTION REQUIREMENTS FOR EXPOSING BUILDING FACES)

TYPE OF CONSTRUCTION REQUIRED	COMBUSTIBLENON COMBUSTIBLE
TYPE OF CLADDING REQUIRED	NON COMBUSTIBLE

BUILDING FACE B	
TOTAL FACADE AREA	195.73m ²
TOTAL GLAZED AREA	22.53m ²
GLAZING %	11.5%
LIMITING DISTANCE	3.3m
PERMITTED GLAZED OPENING	22%

TABLE 3.2.3.7
(MINIMUM CONSTRUCTION REQUIREMENTS FOR EXPOSING BUILDING FACES)

TYPE OF CONSTRUCTION REQUIRED	COMBUSTIBLENON COMBUSTIBLE
TYPE OF CLADDING REQUIRED	NON COMBUSTIBLE

MATERIAL LEGEND

MTL-1	ACM METAL PANEL - COLOUR: LIGHT GRAY
MTL-2	ACM METAL PANEL - COLOUR: DARK GRAY
MTL-3	COMPOSITE WOOD CLADDING
MTL-4	GLASS RAILING
MTL-5	PRIVACY WALL
MTL-6	GUARDRAIL
MTL-7	STEEL CANOPY
MTL-8	HARDIE BOARD - COLOUR: GRAY
MTL-9	WINDOW TRIM - DARK GRAY

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NORTH AND
SOUTH
ELEVATION

DATE: MARCH, 2026

SHEET NO

SCALE: As indicated

DRAWN BY: Author

PROJECT NO. C25050

A3.1

1 NORTH ELEVATION

A3.1 1/8" = 1'-0"



SPATIAL SEPARATION / BUILDING FACE
TABLE 3.2.3.1.D
(GLAZED OPENINGS IN E.B.F.)

BUILDING FACE A	
TOTAL FACADE AREA	260.90m ²
TOTAL GLAZED AREA	21.90m ²
GLAZING %	8.4%
LIMITING DISTANCE	1.2m
PERMITTED GLAZED OPENING	14%

TABLE 3.2.3.7
(MINIMUM CONSTRUCTION REQUIREMENTS FOR EXPOSING BUILDING FACES)

TYPE OF CONSTRUCTION REQUIRED	COMBUSTIBLENON COMBUSTIBLE
TYPE OF CLADDING REQUIRED	NON COMBUSTIBLE

BUILDING FACE B	
TOTAL FACADE AREA	164.40m ²
TOTAL GLAZED AREA	22.53m ²
GLAZING %	16.6%
LIMITING DISTANCE	4.6m
PERMITTED GLAZED OPENING	30%

TABLE 3.2.3.7
(MINIMUM CONSTRUCTION REQUIREMENTS FOR EXPOSING BUILDING FACES)

TYPE OF CONSTRUCTION REQUIRED	COMBUSTIBLENON COMBUSTIBLE
TYPE OF CLADDING REQUIRED	NON COMBUSTIBLE

2 SOUTH ELEVATION

A3.1 1/8" = 1'-0"