



3393



3385

EXTERIOR RENOVATION
3385 & 3393 - 26 AV BE
CALGARY, AB

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GENERAL NOTES

- 1- GENERAL CONTRACTOR TO VERIFY THE SITE MEASUREMENTS PRIOR TO CONSTRUCTION TO MAKE SURE IT IS MATCHING THE DRAWINGS
- 2- ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE SITE CONDITIONS GC HAS TO COORDINATE WITH THE CONSULTANT

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NO	DESCRIPTION	DATE
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Client
Macro Realty & Management Ltd.

Project
EXTERIOR RENOVATION

Address
(3385 - 3393) 26 AV NE
CALGARY, AB

Sheet
COVER PAGE

Project Number
SK183

A100

Scale



MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
T: 403-303-2715
E: MEIGAHOME@GMAIL.COM

MUNICIPAL ADDRESS:	3385 & 3393; 26 AVE NE CALGARY, AB
LEGAL ADDRESS:	LOT 1; BLOCK 3; PLAN8110296
LAND USE:	CR3 f2.8 h18
PROPOSED USE:	OFFICE/ MEDICAL/ RESTAURANT
SITE AREA:	4,248.24 m ²
BUILDING FOOT PRINT:	
BUILDING A (3385):	835.44 m ²
BUILDING B (3393):	508.38 m ²
TOTAL:	1,343.82m ²

CODE ANALYSIS

RUBBER WHEEL STOP



0.1 m

0.1 m

BUILDING A (3385):	GROUP A2 3.2.2.25 GROUP D 3.2.2.64 GROUP E 3.2.2.70 UNSPRINKLERED FACING 3 STREETS SINGLE STOREY
BUILDING B (3393):	GROUP A2 3.2.2.25 GROUP D 3.2.2.64 GROUP E 3.2.2.70 UNSPRINKLERED FACING 3 STREETS TWO STOREYS



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NO	DESCRIPTION	DATE
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DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

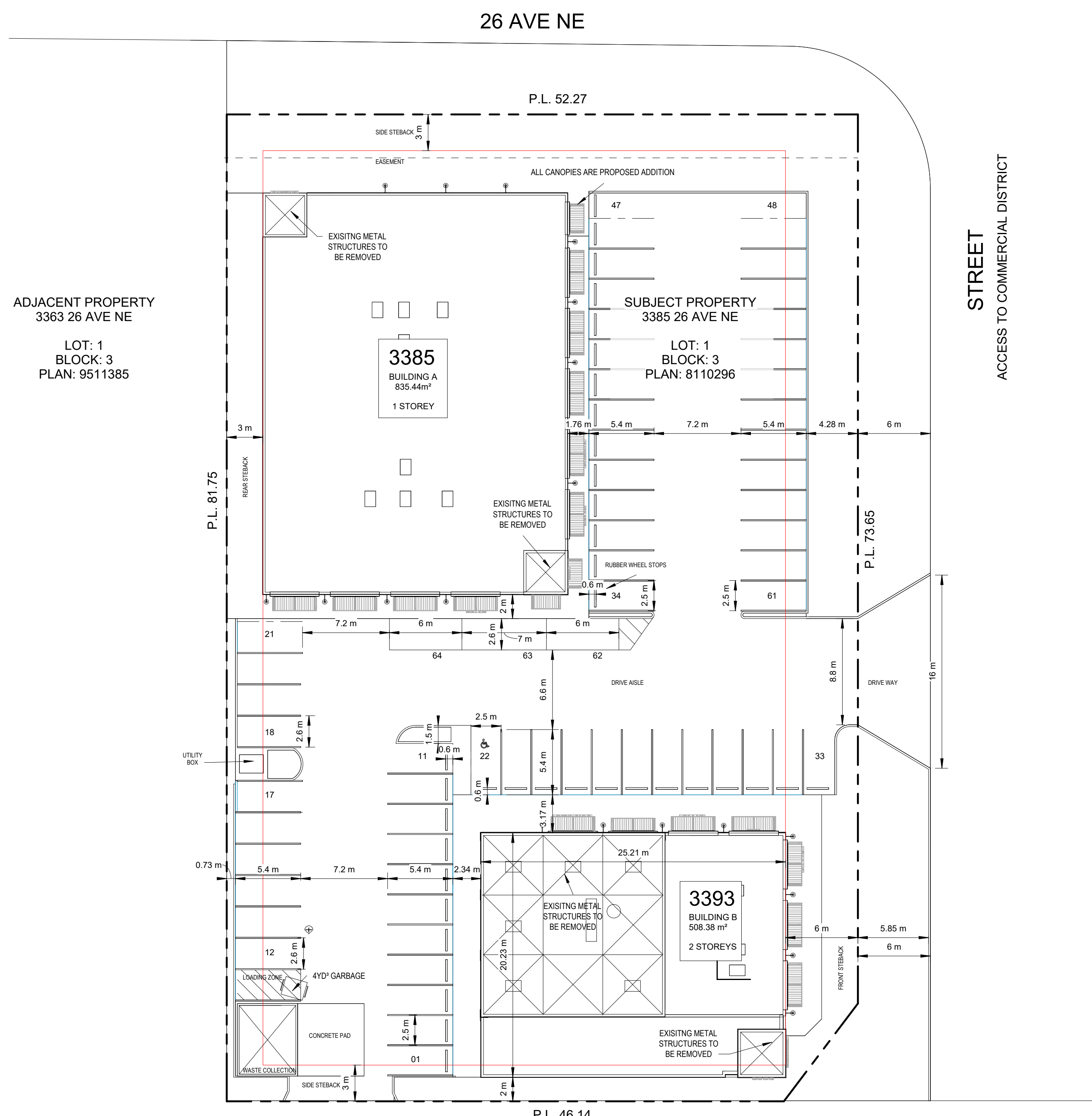
Client	Macro Realty & Management Ltd.
Project	EXTERIOR RENOVATION
Address	(3385 - 3393) 26 AV NE CALGARY, AB
Sheet	SITE PLAN
Project Number	SK183

A101

Scale As indicated



MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
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1 Siteplan
1 : 250



3 Site Elev. Ref.
1" = 20'-0"

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Client

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EXTERIOR RENOVATION

Address

(3385 - 3393) 26 AV NE
CALGARY, AB

Sheet

PUBLIC VIEW OF BUILDINGS

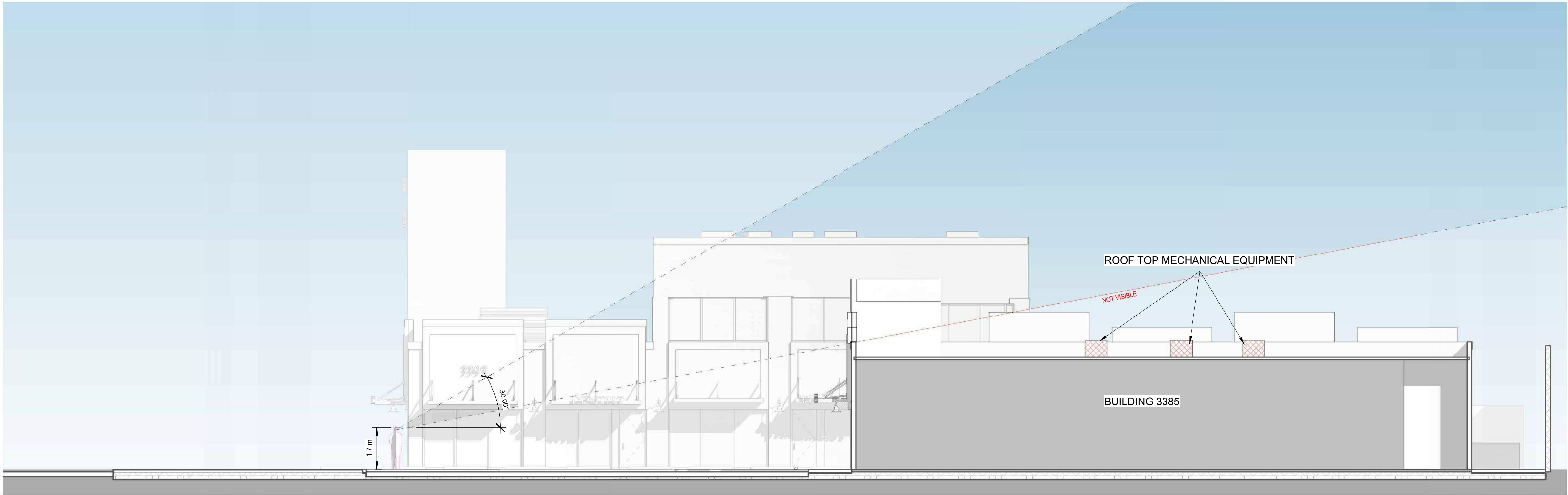
Project Number SK183

A101-2

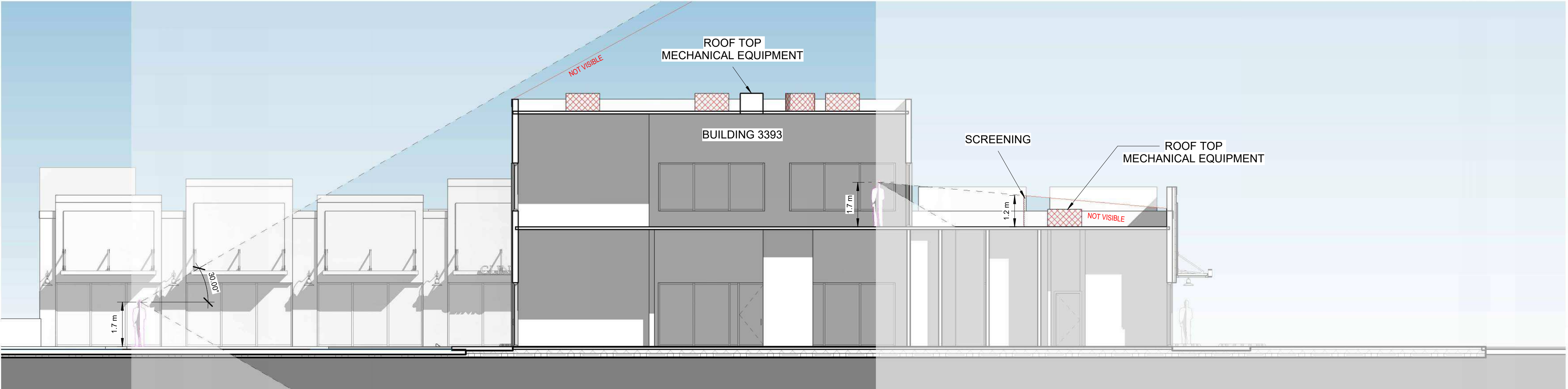
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MEIGA DEVELOPMENT CORPORATION
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VISIBILITY OF MECHANICAL EQUIPMENT
FOR BUILDING 3385
① 1 : 100



VISIBILITY OF MECHANICAL EQUIPMENT
FOR BUILDING 3393
② 1 : 100

General Notes:
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Consultant:

4		
3		
2		
1	ISSUED FOR BP SUBMISSION	2026 - 03 - 30
NO	DESCRIPTION	DATE

DEVELOPMENT
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DECISION
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ON THIS PLAN

Client

Macro Realty & Management Ltd.

Project

EXTERIOR RENOVATION

Address

(3385 - 3393) 26 AV NE
CALGARY, AB

Sheet

3385 EXISTING FRONT
VIEW

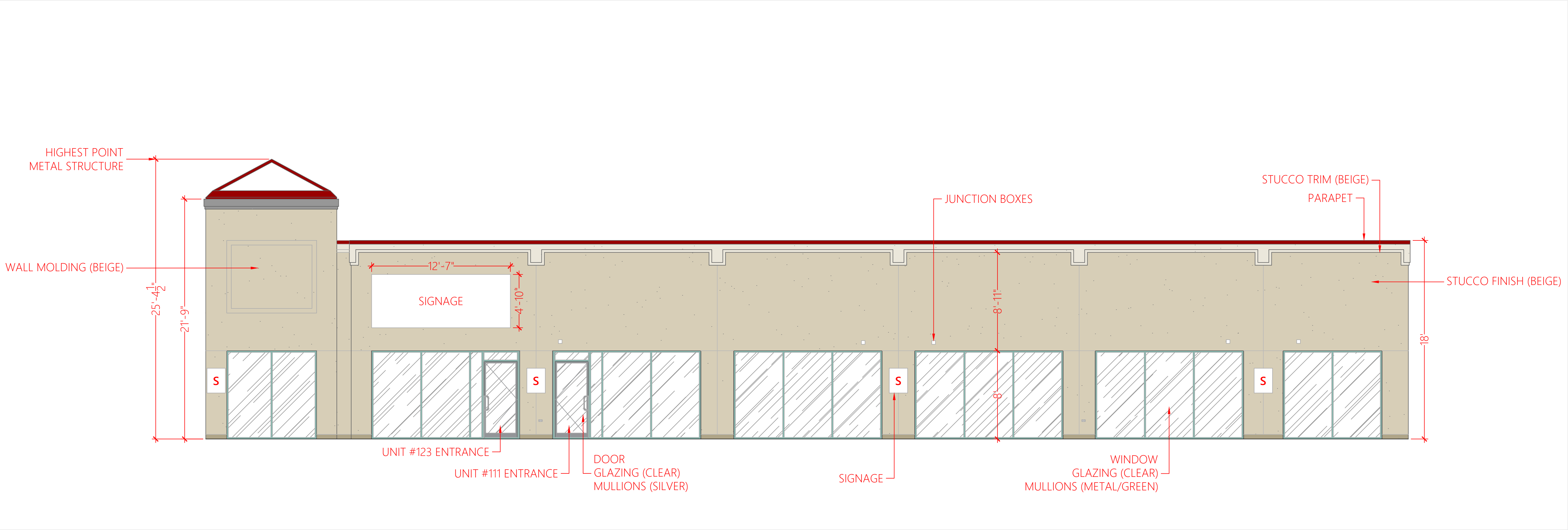
Project number
SK-183

A.105-1

Scale
1:60



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STE 210 - 815 10TH AVE SW
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T: 403-303-2715
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1 3385 EXIST. EAST
1:60

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NO DESCRIPTION DATE



Client
Macro Realty & Management Ltd.

Project
EXTERIOR RENOVATION

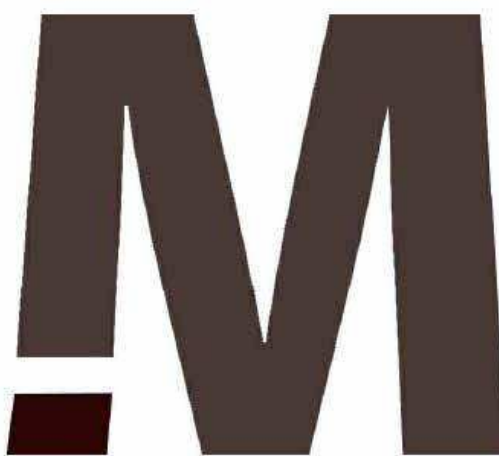
Address
(3385 - 3393) 26 AV NE
CALGARY, AB

Sheet
3385 PROPOSED FRONT VIEW

Project Number SK183

A105-2

Scale As indicated



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STE 210 - 815 10TH AVE SW
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MATERIAL LEGEND

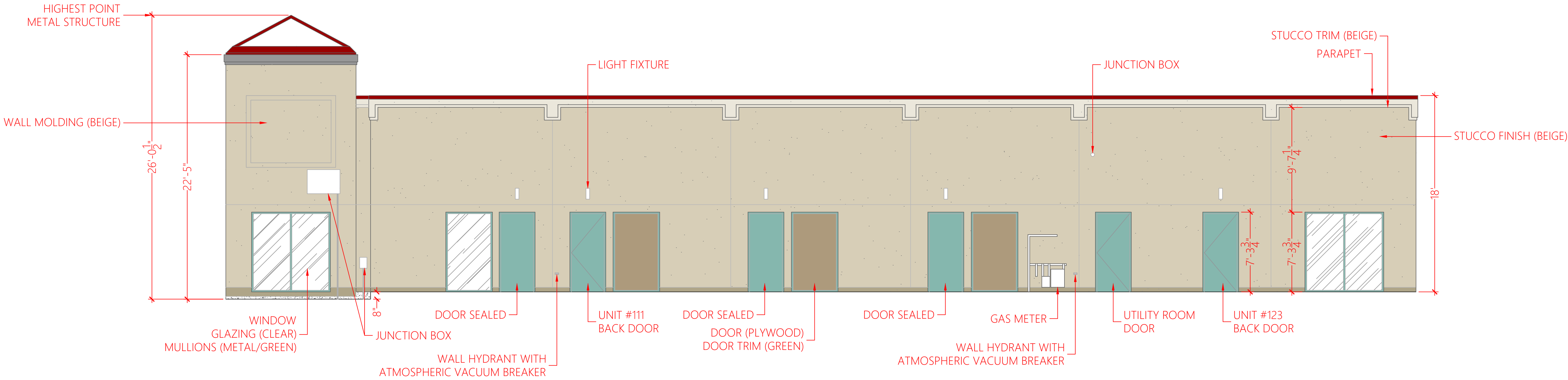
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WHITE: EXTREME WHITE
BLACK - CLIENT/CONTRACTOR PREFERENCE
- 02 WOOD SLATS (HARDIE BOARD)
- 03 CORRUGATED METAL CLADDING - CONTRACTOR PREFERENCE
- 04 GLASS
- 05 FLASHING
- 06 RESERVED

ALL MULLIONS PAINTED BLACK, INCLUDING METAL DOORS AND FRAMES.

1 3385 PROP. EAST
1 : 60

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1 3385 EXIST. WEST
1:60

4		
3		
2		
1	ISSUED FOR BP SUBMISSION	2026 - 03 - 30
NO	DESCRIPTION	DATE



Client	Macro Realty & Management Ltd.	
Project	EXTERIOR RENOVATION	
Address	(3385 - 3393) 26 AV NE CALGARY, AB	
Sheet	3385 EXISTING REAR VIEW	
Project number	SK-183	

A.106-1

Scale	1:60
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MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
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MATERIAL LEGEND

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NO	DESCRIPTION	DATE
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DEVELOPMENT
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ON THIS PLAN

Client
Macro Realty & Management Ltd.

Project
EXTERIOR RENOVATION

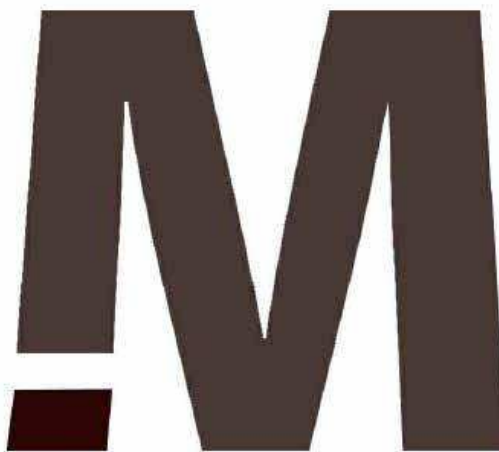
Address
(3385 - 3393) 26 AV NE
CALGARY, AB

Sheet
3385 PROPOSED REAR VIEW

Project Number
SK183

A106-2

Scale
As indicated



MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
T: 403-303-2715
E: MEIGAHOME@GMAIL.COM

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4		
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1	ISSUED FOR BP SUBMISSION	2026 - 03 - 30
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Client

Macro Realty & Management Ltd.

Project

EXTERIOR RENOVATION

Address

(3385 - 3393) 26 AV NE
CALGARY, AB

Sheet

3385 EXISTING SOUTH
ELEVATION

Project number

SK-183

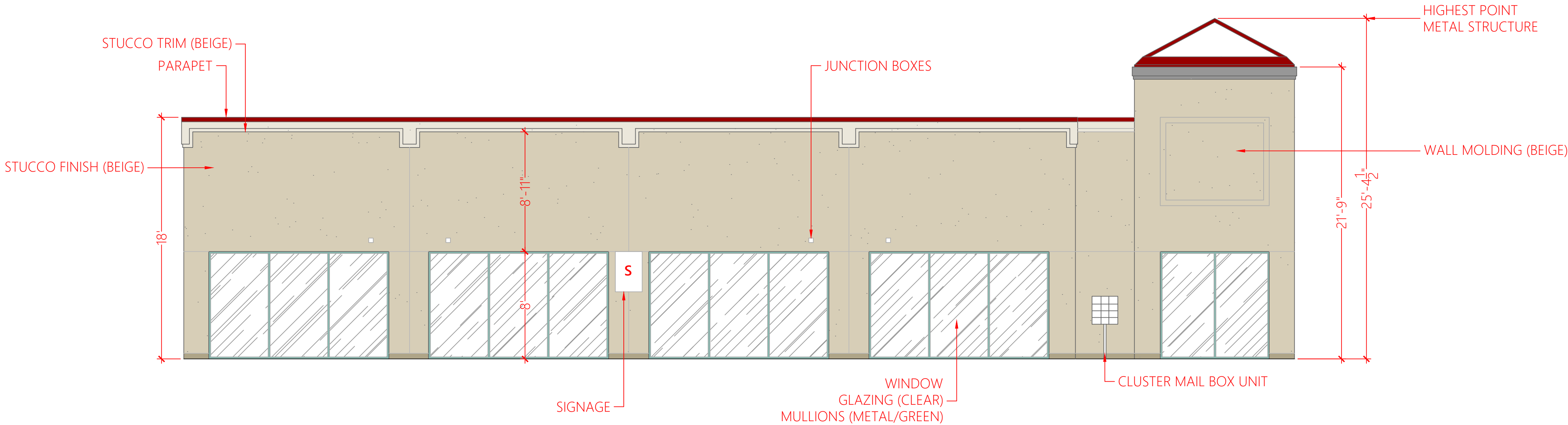
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Scale

1:60



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STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
T: 403-303-2715
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1 3385 EXIST. SOUTH
1:60

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NO	DESCRIPTION	DATE



Client	Macro Realty & Management Ltd.
Project	EXTERIOR RENOVATION
Address	(3385 - 3393) 26 AV NE CALGARY, AB
Sheet	3385 PROPOSED SOUTH ELEVATION
Project Number	SK183

A107-2

Scale	As indicated
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MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
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MATERIAL LEGEND

- 01 STUCCO (COLOR/STYLE AS PER ELEVATION)
WHITE: EXTREME WHITE
BLACK - CLIENT/CONTRACTOR PREFERENCE
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4		
3		
2		
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Client

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Project

EXTERIOR RENOVATION

Address

(3385 - 3393) 26 AV NE
CALGARY, AB

Sheet

3385 EXISTING NORTH
ELEVATION

Project number

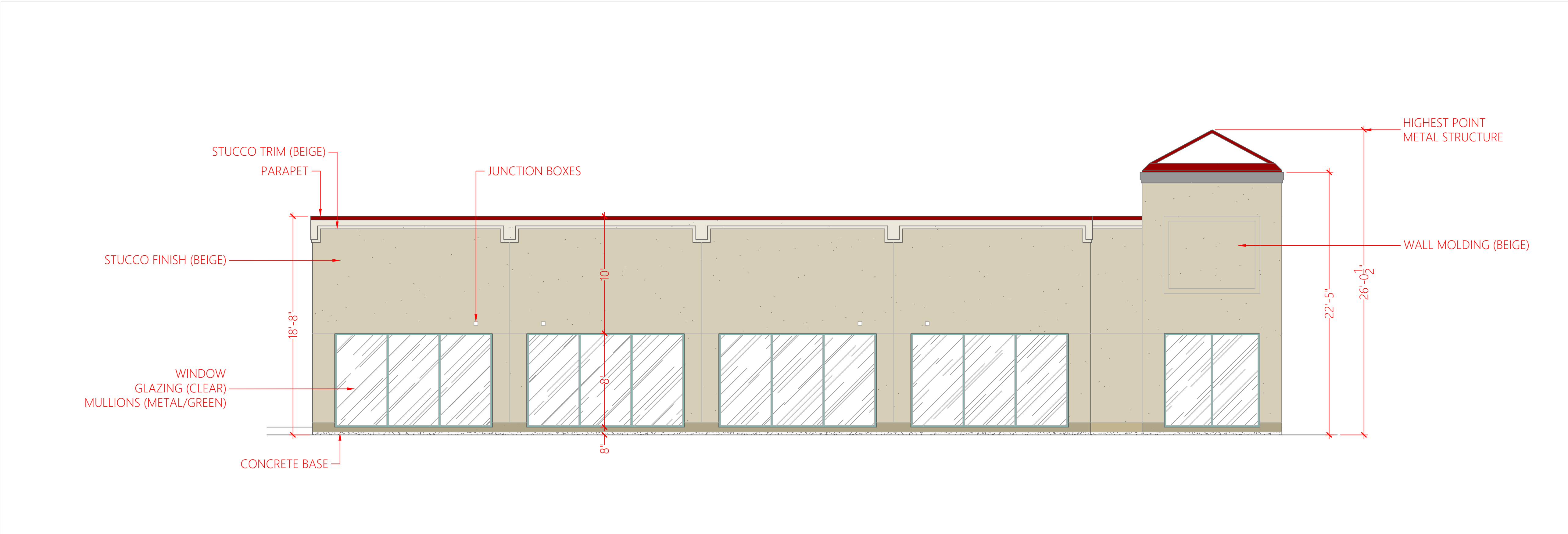
SK-183

A.108-1

Scale

1:60

MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
T: 403-303-2715
E: MEIGAHOME@GMAIL.COM



1 3385 EXIST. NORTH
1:60

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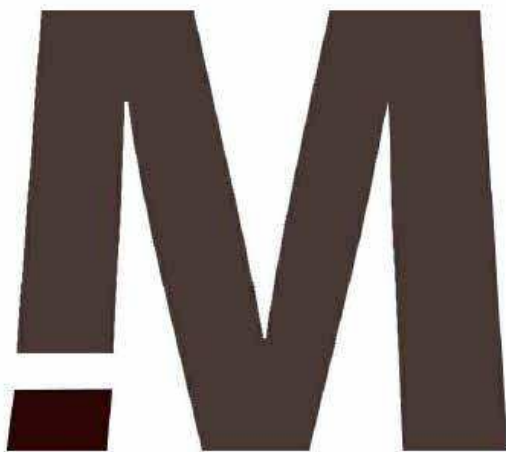
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NO	DESCRIPTION	DATE



Client	Macro Realty & Management Ltd.
Project	EXTERIOR RENOVATION
Address	(3385 - 3393) 26 AV NE CALGARY, AB
Sheet	3385 PROPOSED NORTH ELEVATION
Project Number	SK183

A108-2

Scale	As indicated
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MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
T: 403-303-2715
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MATERIAL LEGEND

- 01 STUCCO (COLOR/STYLE AS PER ELEVATION)
WHITE: EXTREME WHITE
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Consultant:

4		
3		
2		
1	ISSUED FOR BP SUBMISSION	2026 - 03 - 30
NO	DESCRIPTION	DATE



Client

Macro Realty & Management Ltd.

Project

EXTERIOR RENOVATION

Address

(3385 - 3393) 26 AV NE
CALGARY, AB

Sheet

EXISTING FRONT VIEW

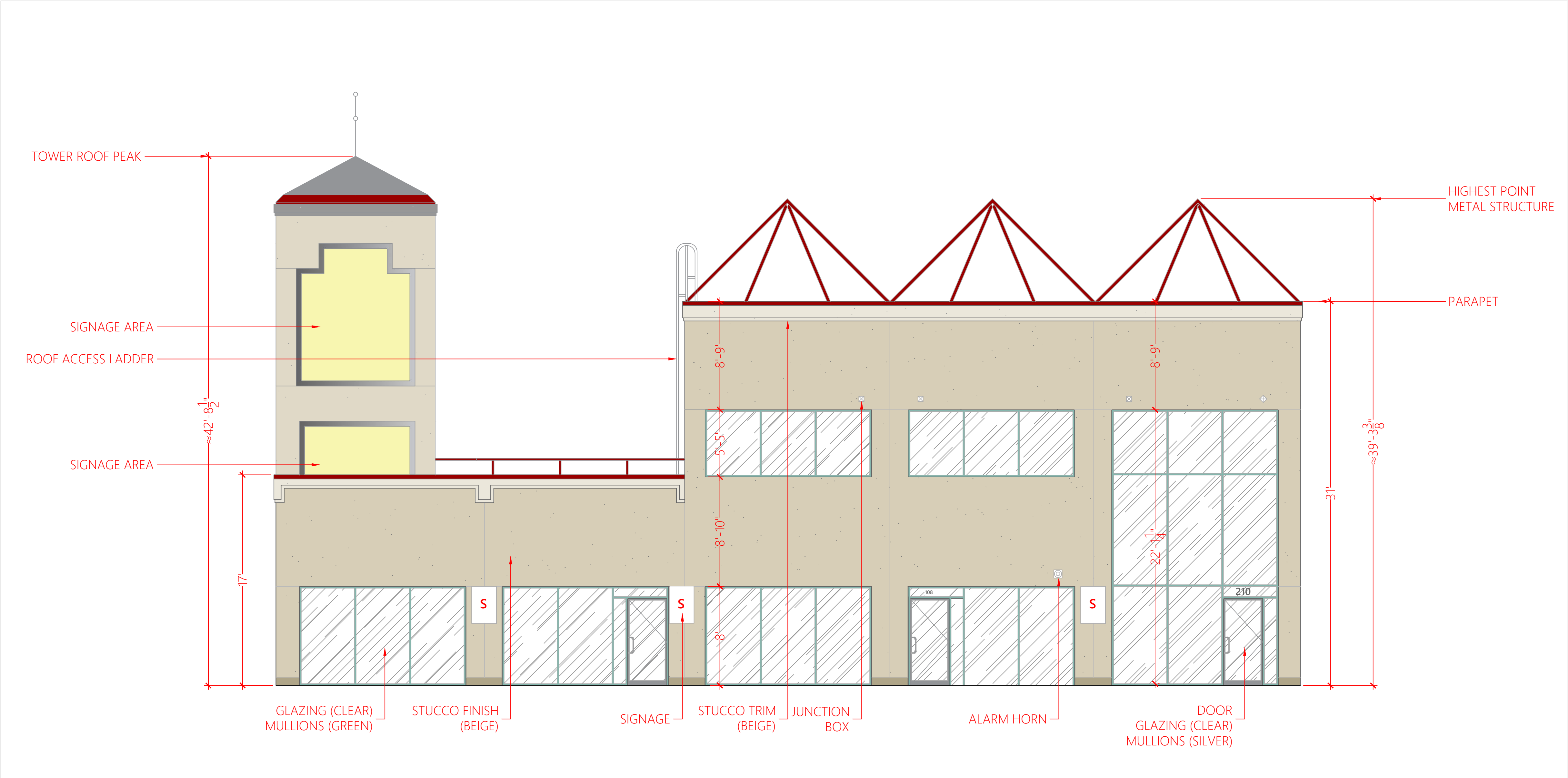
Project number SK-183

A.112-1

Scale 1:60



MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
T: 403-303-2715
E: MEIGAHOME@GMAIL.COM



1 3393 EXIST. NORTH
1:60



MATERIAL LEGEND

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WHITE: EXTREME WHITE
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NO	DESCRIPTION	DATE



Client	Macro Realty & Management Ltd.
Project	EXTERIOR RENOVATION
Address	(3385 - 3393) 26 AV NE CALGARY, AB
Sheet	3393 PROPOSED FRONT VIEW
Project Number	SK183

A112-2

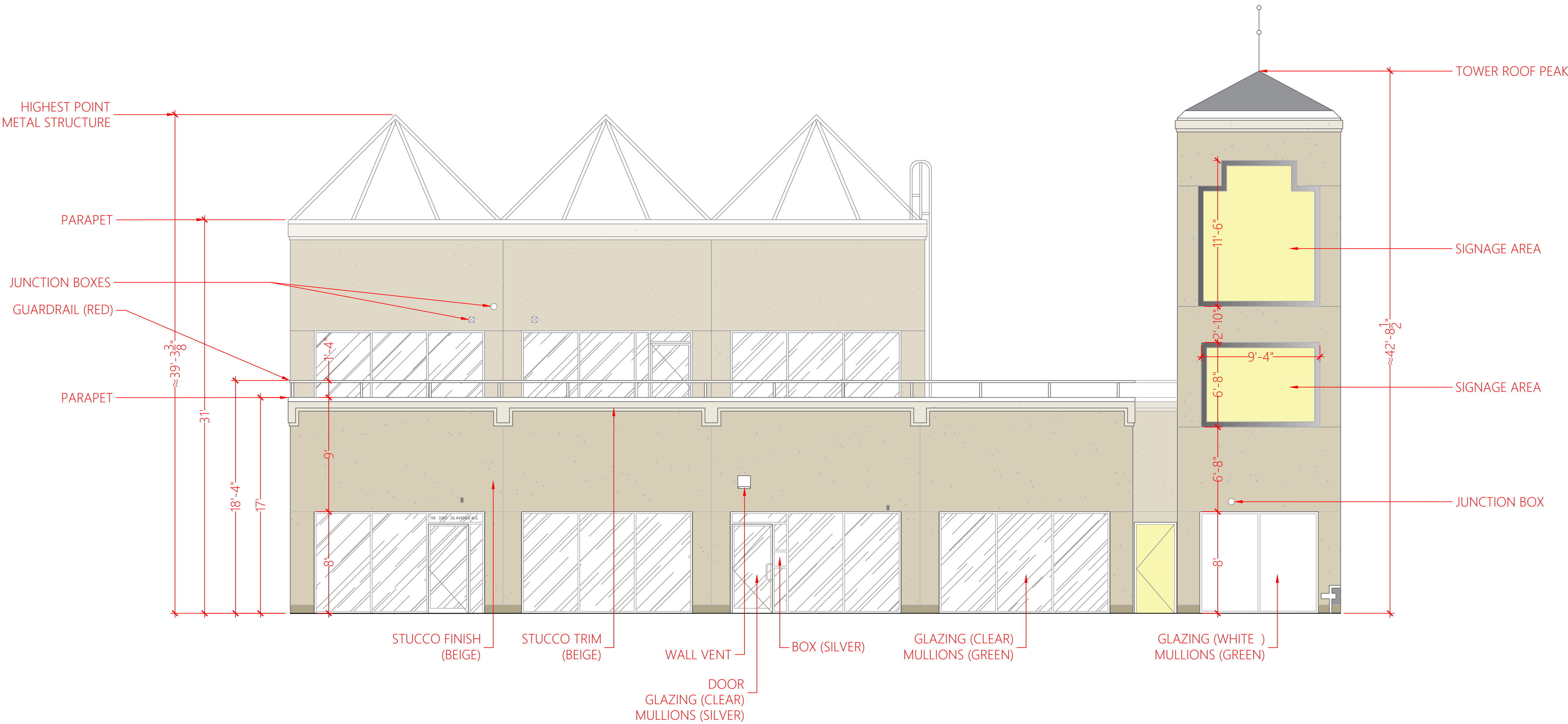
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MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
T: 403-303-2715
E: MEIGAHOME@GMAIL.COM

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Consultant:



1 3393 EXIST. SOUTH
1:60

4		
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2		
1	ISSUED FOR BP SUBMISSION	2026 - 03 - 30
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Client
Macro Realty & Management Ltd.

Project
EXTERIOR RENOVATION

Address
(3385 - 3393) 26 AV NE
CALGARY, AB

Sheet
3393 EXISTING REAR VIEW

Project number SK-183

A.113-1

Scale 1:60

MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
T: 403-303-2715
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MATERIAL LEGEND

- 01 STUCCO (COLOR/STYLE AS PER ELEVATION)
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ALL MULLIONS PAINTED BLACK, INCLUDING METAL DOORS AND FRAMES.

① 3393 PROP. SOUTH
1 : 60

GENERAL NOTES

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Client
Macro Realty & Management Ltd.

Project
EXTERIOR RENOVATION

Address
(3385 - 3393) 26 AV NE
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Sheet
3393 PROPOSED REAR VIEW

Project Number
SK183

A113-2

Scale
As indicated



MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
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Consultant:

4		
3		
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1	ISSUED FOR BP SUBMISSION	2026 - 03 - 30
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Client

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Project

EXTERIOR RENOVATION

Address

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CALGARY, AB

Sheet

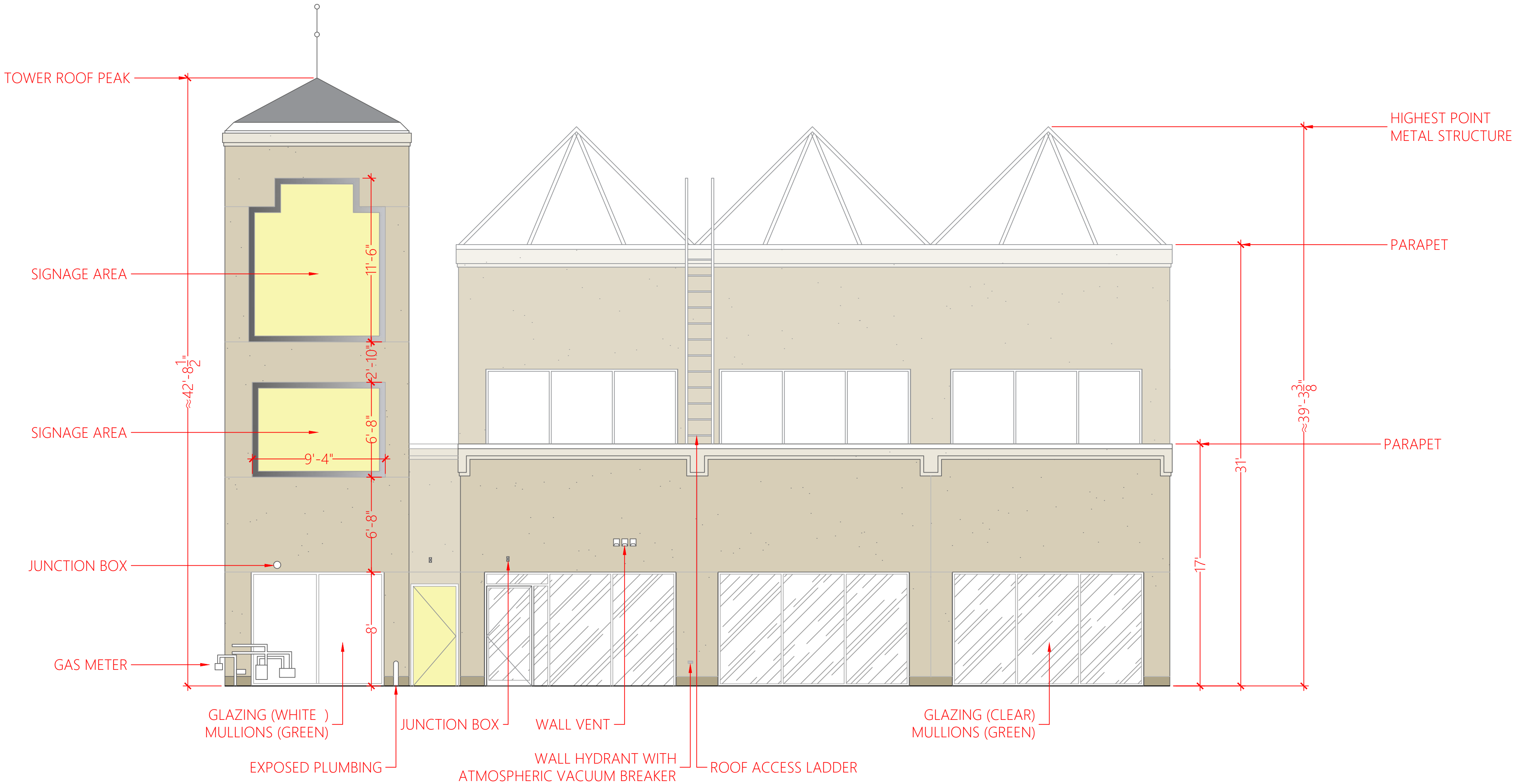
EXISTING EAST VIEW

Project number SK-183

A.115-1

Scale 1:60

MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
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1 3393 EXIST. EAST
1:60

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Client

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Project

EXTERIOR RENOVATION

Address

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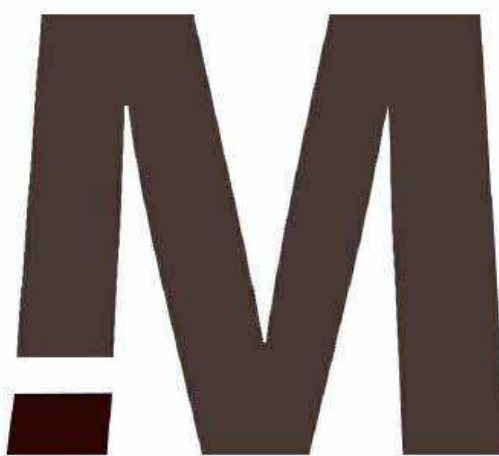
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3393 PROPOSED WEST VIEW

Project Number SK183

A114-2

Scale As indicated



MEIGA DEVELOPMENT CORPORATION
STE 210 - 815 10TH AVE SW
CALGARY, ALBERTA, T2R 0B4
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MATERIAL LEGEND

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- 06 RESERVED

ALL MULLIONS PAINTED BLACK, INCLUDING METAL DOORS AND FRAMES.

① 3393 PROP. WEST
3/16" = 1'-0"

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EXTERIOR RENOVATION

(3385 - 3393) 26 AV NE
CALGARY, AB

EXISTING WEST VIEW

A.114-1



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ISSUED FOR BP SUBMISSION 5/11/2026 9:35:30 AM
NO DESCRIPTION DATE



Client
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Project
EXTERIOR RENOVATION

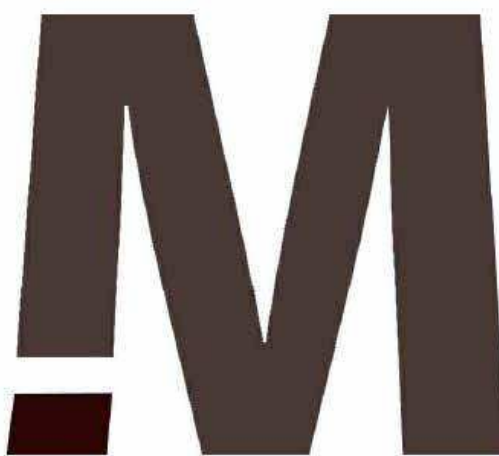
Address
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Sheet
3393 PROPOSED EAST VIEW

Project Number SK183

A115-2

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MATERIAL LEGEND

- 01 STUCCO (COLOR/STYLE AS PER ELEVATION)
WHITE: EXTREME WHITE
BLACK - CLIENT/CONTRACTOR PREFERENCE
- 02 WOOD SLATS (HARDIE BOARD)
- 03 CORRUGATED METAL CLADDING - CONTRACTOR PREFERENCE
- 04 GLASS
- 05 FLASHING
- 06 RESERVED

ALL MULLIONS PAINTED BLACK, INCLUDING METAL DOORS AND FRAMES.

GOOSENECK MOUNT AT 9'
① 3393 PROP. EAST
1 : 60