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WEST & SOUTH ELEVATIONS

CUSTOM SINGLE FAMILY DEVELOPMENT
1210, 26th STREET S.W.

A1	Site plan
A2	Main & Upper floor plans
A3	Lower floor/Cribbing plans
A4	West & South elevations
A5	East & North elevations
A6	Structural cross section
A7	Construction details

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47 AUBURN MEADOWS CRES S.E.
CALGARY, AB T3M 2E3
TEL: (403) 399 - 2930

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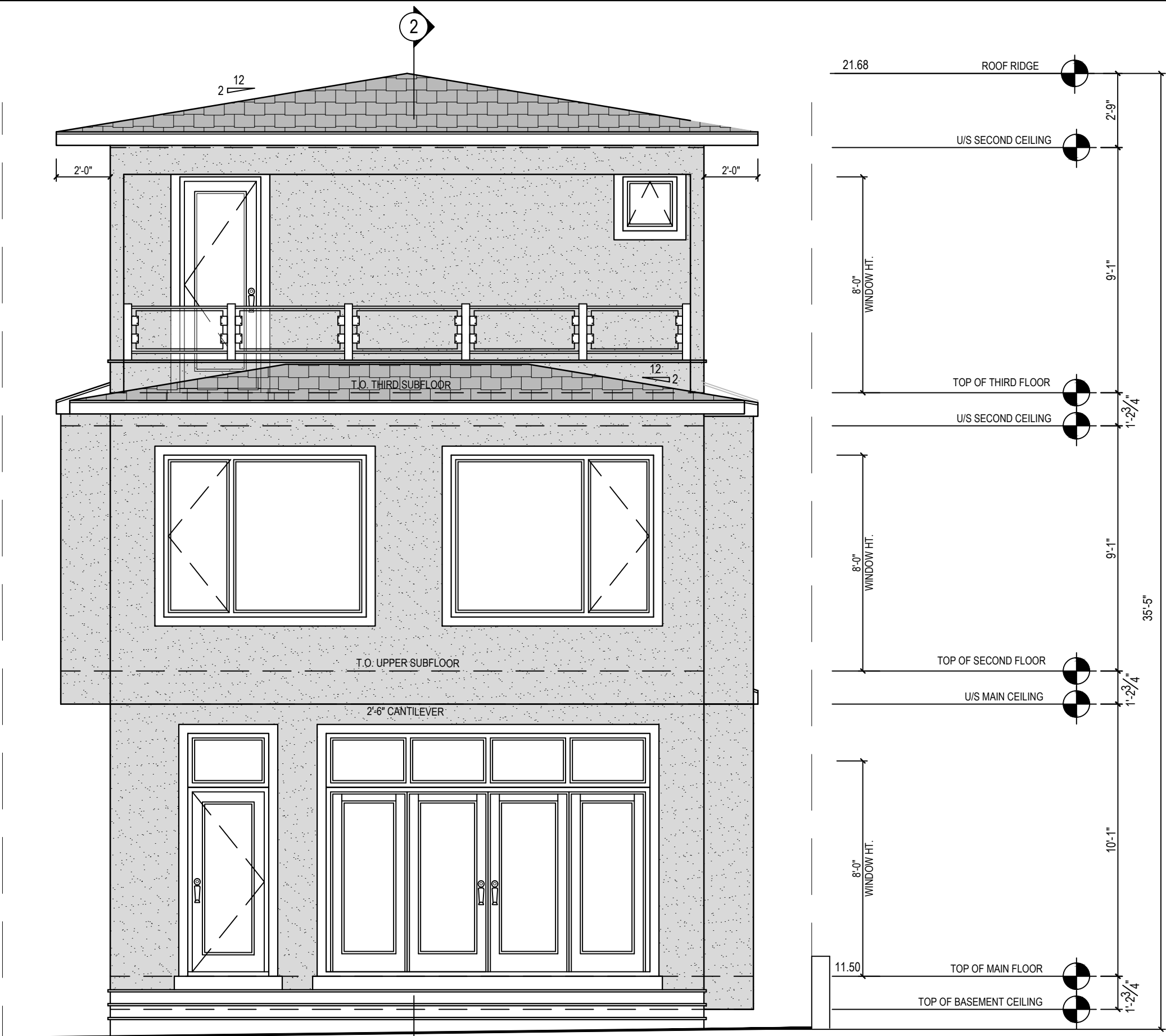
JUNE 30, 2026

EAST & NORTH ELEVATIONS
CUSTOM SINGLE FAMILY DEVELOPMENT
1210, 26th STREET S.W.

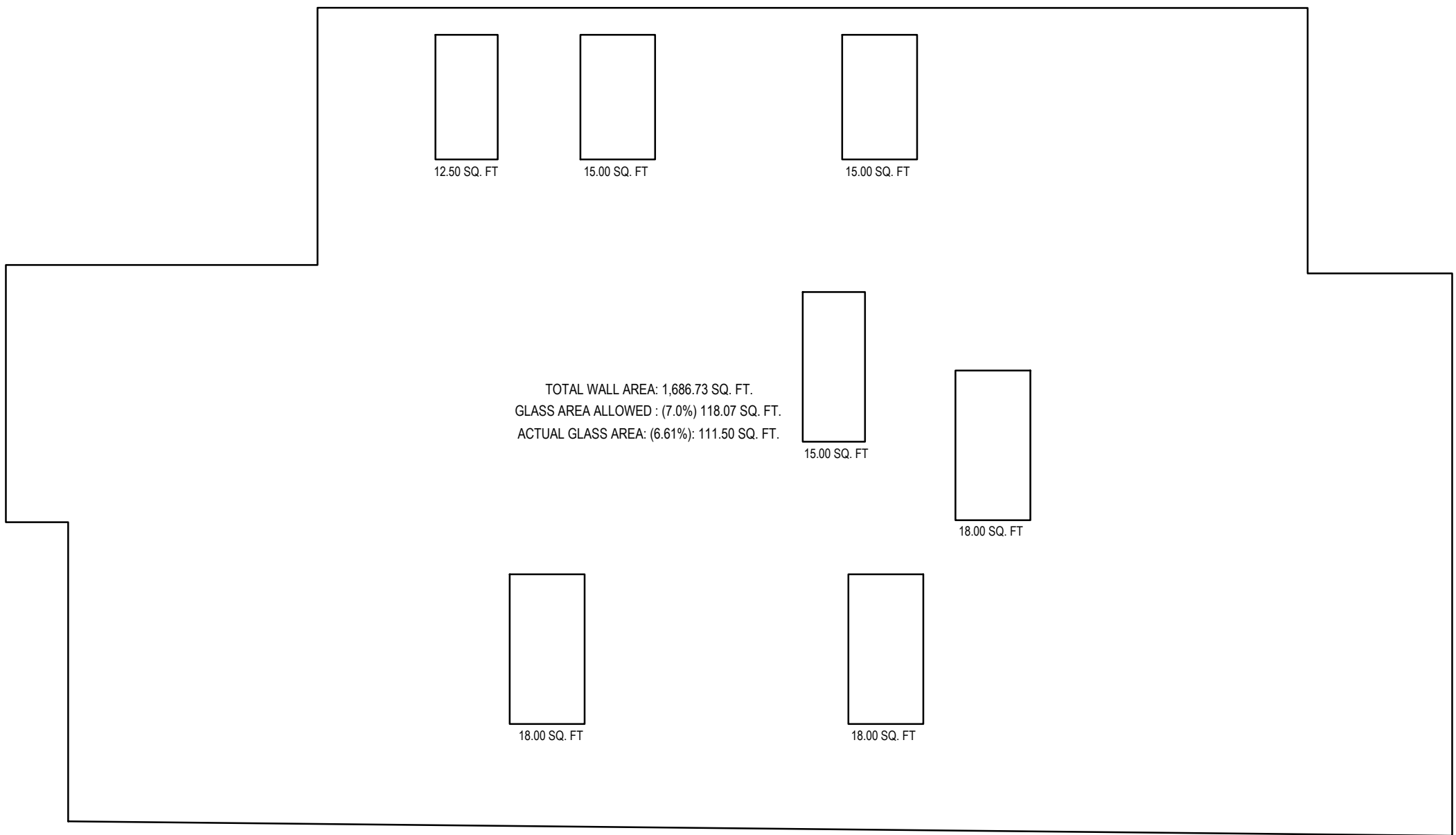
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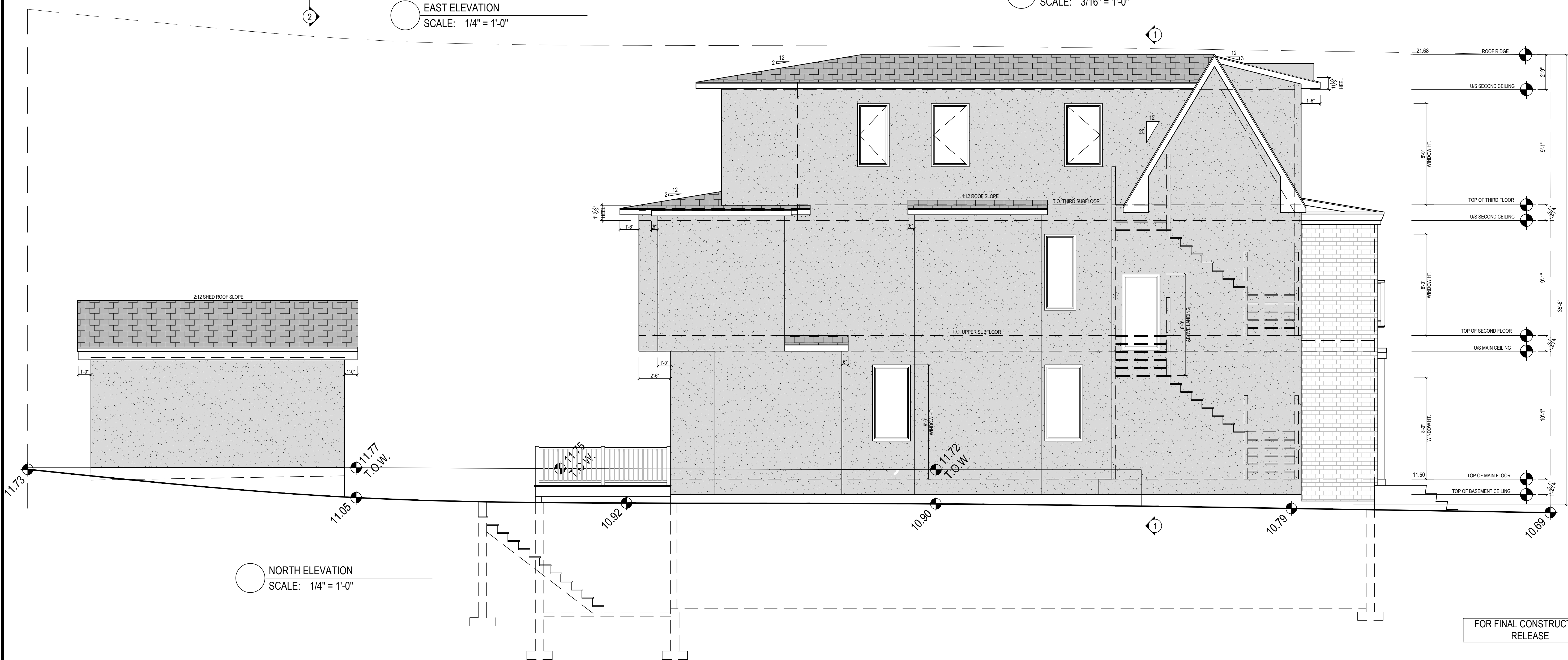
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EAST ELEVATION
SCALE: 1/4" = 1'-0"

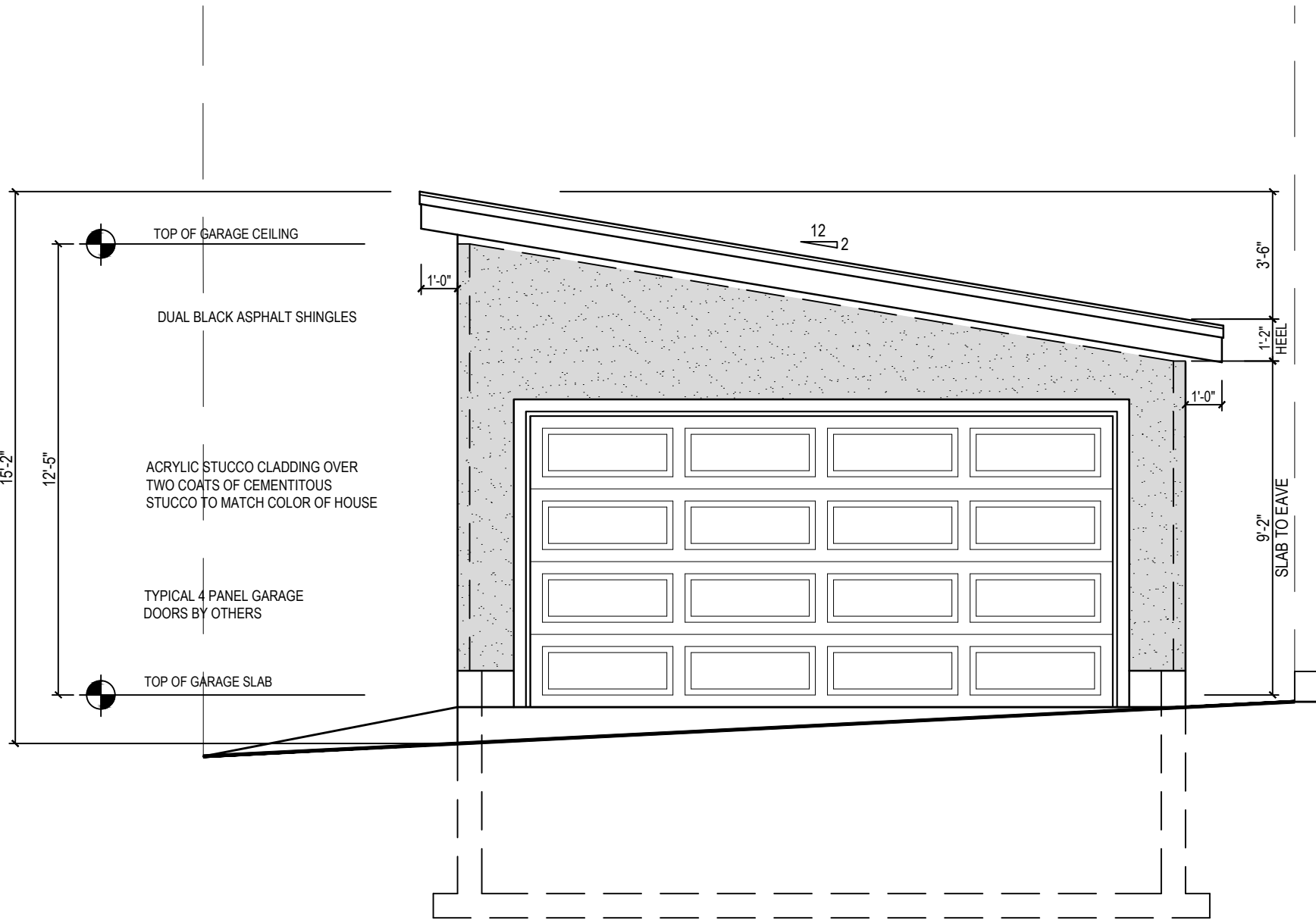


GLASS COVARGE ALLOWANCE
SCALE: 3/16" = 1'-0"

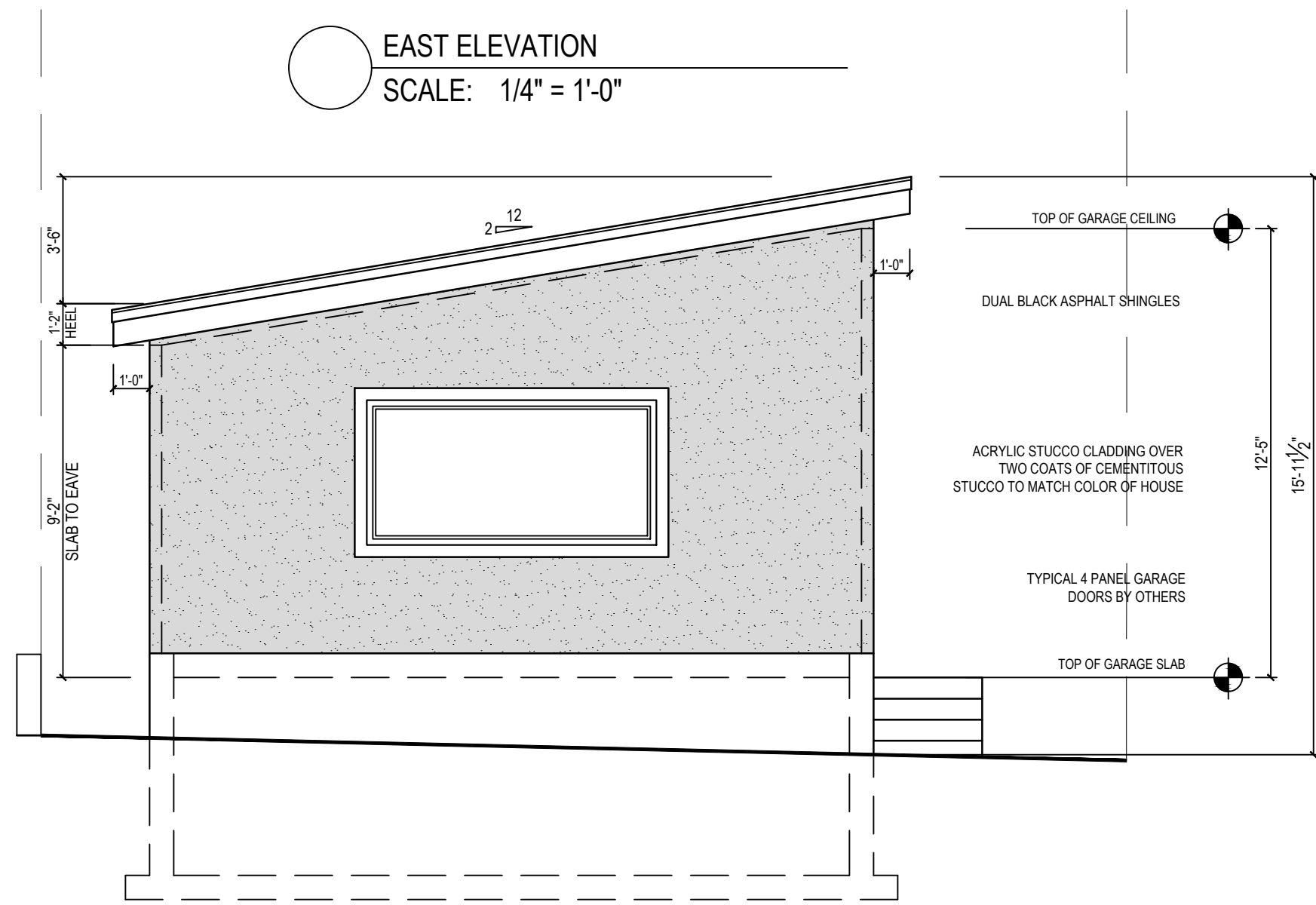


NORTH ELEVATION
SCALE: 1/4" = 1'-0"

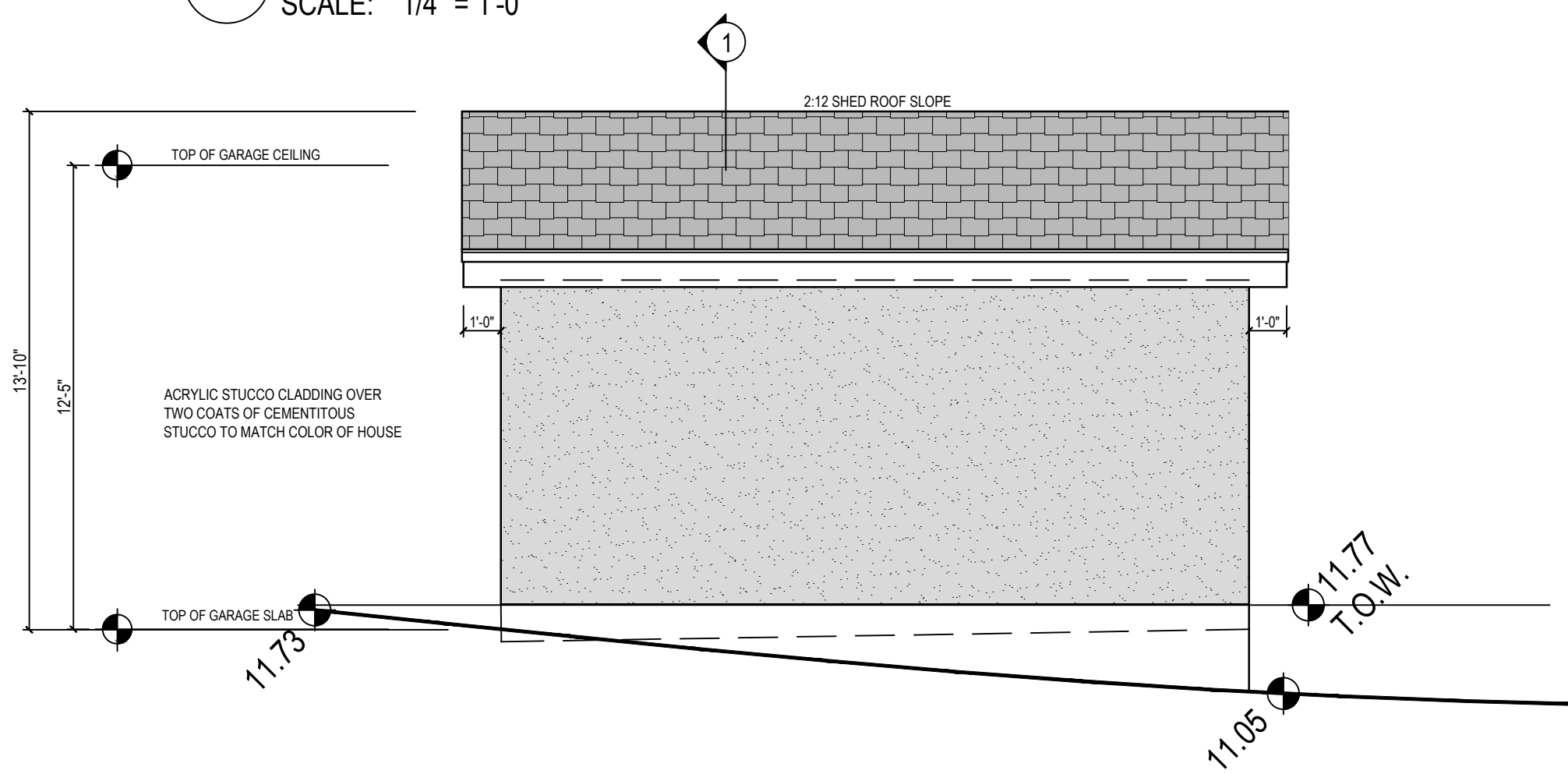
FOR FINAL CONSTRUCTION
RELEASE



EAST ELEVATION
SCALE: 1/4" = 1'-0"

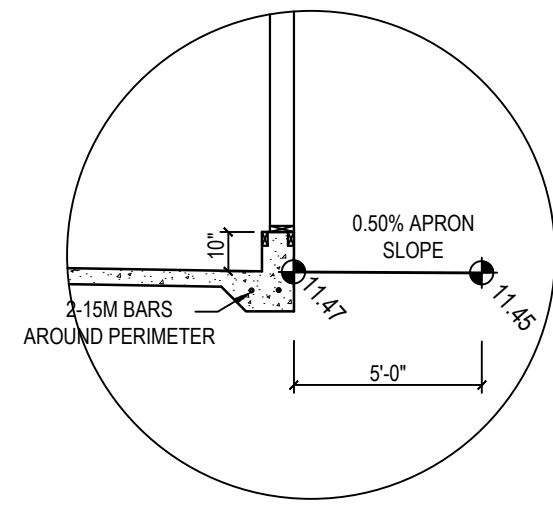


SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

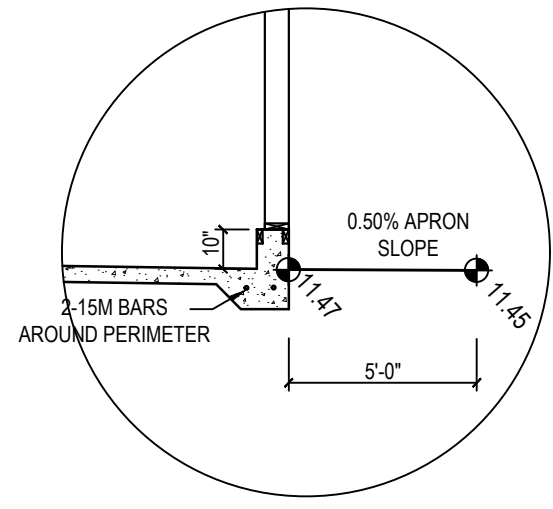


NORTH ELEVATION
SCALE: 1/4" = 1'-0"

FOR FINAL CONSTRUCTION
RELEASE



2 CROSS SECTION
SCALE: 1/4" = 1'-0"



3 CROSS SECTION
SCALE: 1/4" = 1'-0"



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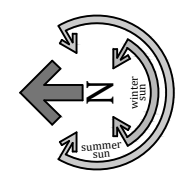
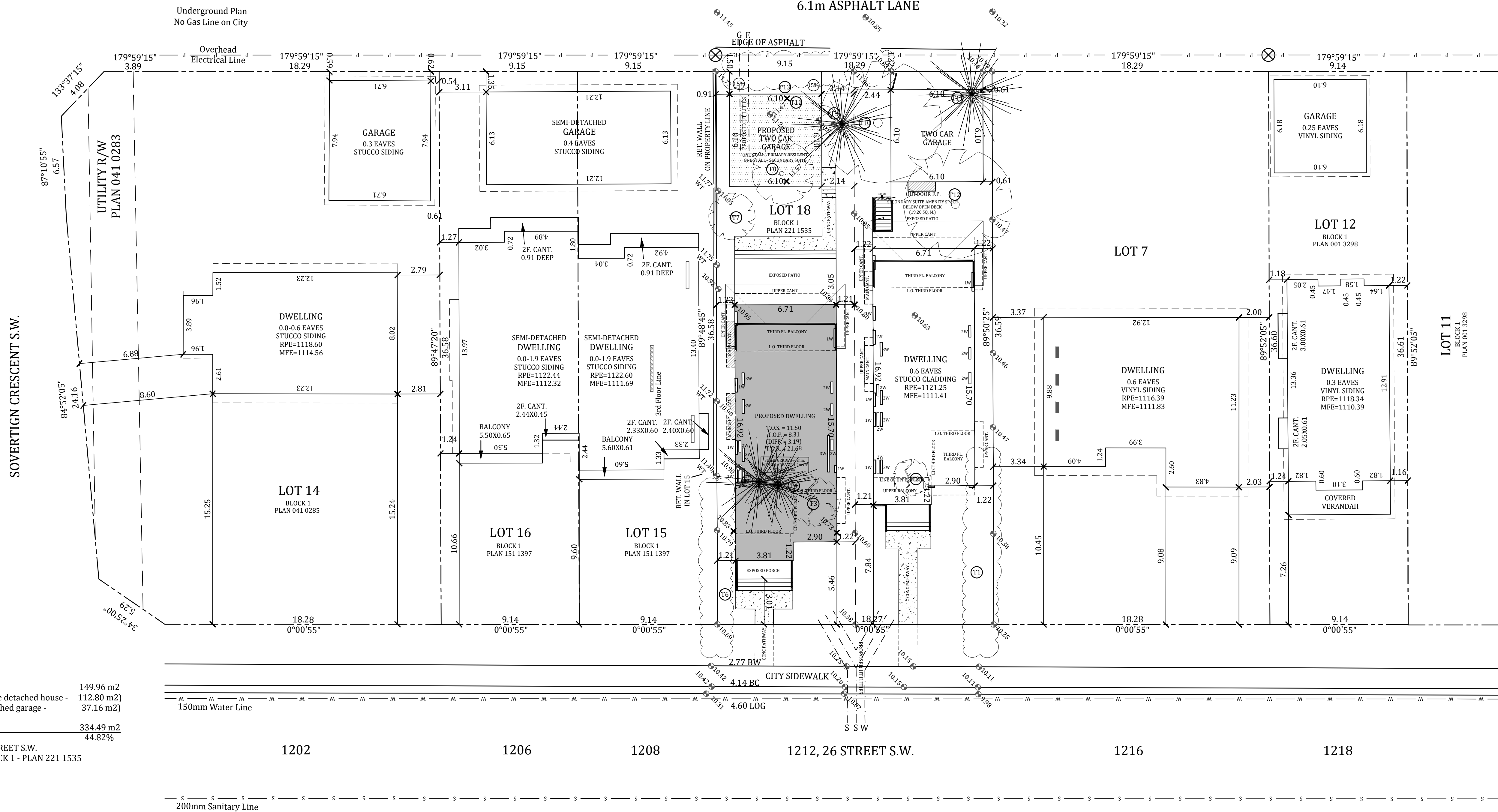
JUNE 30, 2026

GARAGE PLANS & ELEVATIONS
CUSTOM SINGLE FAMILY DEVELOPMENT
1210, 26th STREET S.W.

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Site Coverage: 149.96 m2
(Single detached house - 112.80 m2)
(Detached garage - 37.16 m2)

Site Area: 334.49 m2
44.82%

1210 26th STREET S.W.
LOT 18 - BLOCK 1 - PLAN 221 1535

TREE INFORMATION CHART						
Tree No.	Variety	Calliper (in)	Canopy (ft)	Height (ft)	Location	Status
T1	Hedge	---	2.00 W	2.50	on Property Line	To be removed
T2	Bush	---	2.50	5.00	In Subject Property	To be removed
T3	Bush	---	3.00	2.00	In Subject Property	To be removed
T4	Cedar	0.10	4.00	5.00	In Subject Property	To be removed
T5	Pine Champ	0.25x2	4.00	5.00	In Subject Property	To be removed
T6	Hedge	---	2.00 W	2.50	In Subject Property	To remain
T7	Deciduous	0.20	3.00	5.00	In Subject Property	To remain
T8	Deciduous	0.50	4.00	10.00	In Subject Property	To be removed
T9	Spruce	0.25	4.00	12.00	In Subject Property	To be removed
T10	Deciduous	0.40	8.00	8.00	In Subject Property	To be removed
T11	Spruce	0.40	6.00	12.00	In Subject Property	To be removed
T12	Deciduous	0.40	7.00	7.00	In Subject Property	To be removed
T13	Deciduous Row	0.10	3.00 W	6.00	on Property Line	To be removed

SITE PLAN
SCALE: 1:100



155 ELGIN TERRACE S.E.
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OVERALL SITE PLAN
CUSTOM SINGLE-DETACHED DEVELOPMENT
1210, 26th STREET S.W.

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