

This is a **contextual** application

What's the difference?

The information below came from the Land Use Bylaw, please visit

for more information.



VS.



Contextual Single Detached Dwelling

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

- ☒ The City
- ☒ The public

Single Detached Dwelling

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

- ☒ The City
- ☒ The public

Tip: Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

Contextual Single Detached dwelling applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

What if the application does not meet the rules?

If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Single Detached** dwelling which would allow The City and the public to comment.

The City has reviewed this application and determined that it meets the contextual rules.

These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.

Learn more at:
Calgary.ca/development





NOTE: ALL MATERIALS AND COLORS SHOWN IN THE RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND MAY VARY FROM THE FINAL INSTALLED PRODUCTS. THIS RENDERING IS AI-GENERATED AND INTENDED FOR CONCEPTUAL VISUALIZATION ONLY. THE CLIENT AND CONTRACTOR SHALL ENSURE THAT ALL MATERIALS AND FINISHES ARE REVIEWED, SELECTED, AND APPROVED PRIOR TO APPLICATION.

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TRUE NORTH

DRAWING LEGEND

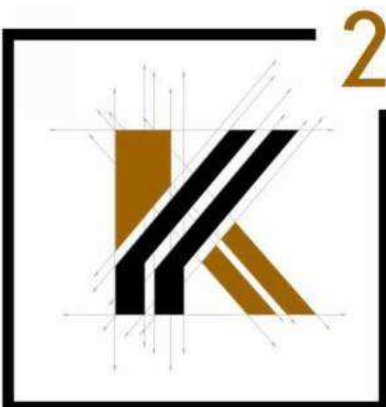
4424 BRENTWOOD GREEN
NW

No.	Date	Issued For	By

PROJECT NO. R2025_003

3D VIEWS

DRAWN BY: K.K	DRAWING NO:
SCALE:	A0.2
DATE: 2026-04-06	



DESIGN STUDIO

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TRUE NORTH

DRAWING LEGEND

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 5
Block 1
Plan 1253JK
MUNICIPAL ADDRESS: 4424 Brentwood Green N.W.
Calgary, Alberta
DATE OF SURVEY: December 23rd, 2025.

LEGEND
Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
Elevations are referred to ASCM 194092 Elev.=1105.58
Distances are in metres and decimals thereof.
Bearings are Grid (37M-114W) and Derived from GNSS Observations.
Found Iron Posts are shown thus: X
Found Iron Bars are shown thus: ---
Magnetic Nails are shown thus: M.N.
Calculation points are shown thus: C.P.
Fire Hydrants are shown thus: H
Water Valves are shown thus: V
Gas Valves are shown thus: G
Power Poles are shown thus: P
Manholes are shown thus: M
Lamp Standards are shown thus: L
Street Signs are shown thus: S
Property lines are shown thus: ---
Utility Right of Ways are shown thus: ---
Eaves are shown thus: E
Fences are shown thus: F
Streight Cables are shown thus: ---
Underground Electrical lines shown thus: ---
Stormline are shown thus: ---
Sanitaryline are shown thus: ---
Combined Storm/Sanitary are shown thus: ---
Telephone Lines are shown thus: ---
Waterline are shown thus: ---
Gasline are shown thus: ---
Overhead Electrical lines shown thus: ---
All fences are within 0.2 metres of the property lines unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise lines outside of property are not to scale.

NOTE:
Title information is based on the C. of T. 231,053,708 which was searched on the 26th day of December, 2025, and is subject to:
No Pertinent Registration.

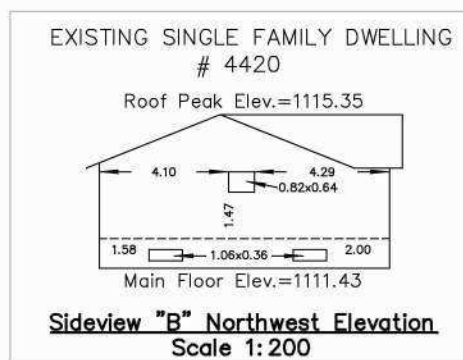
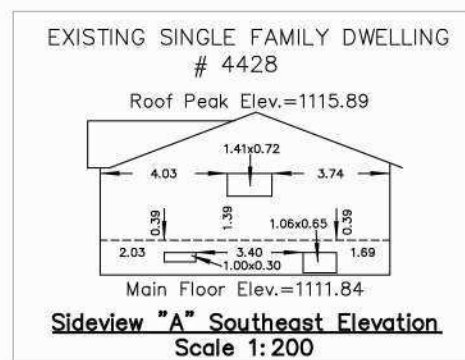
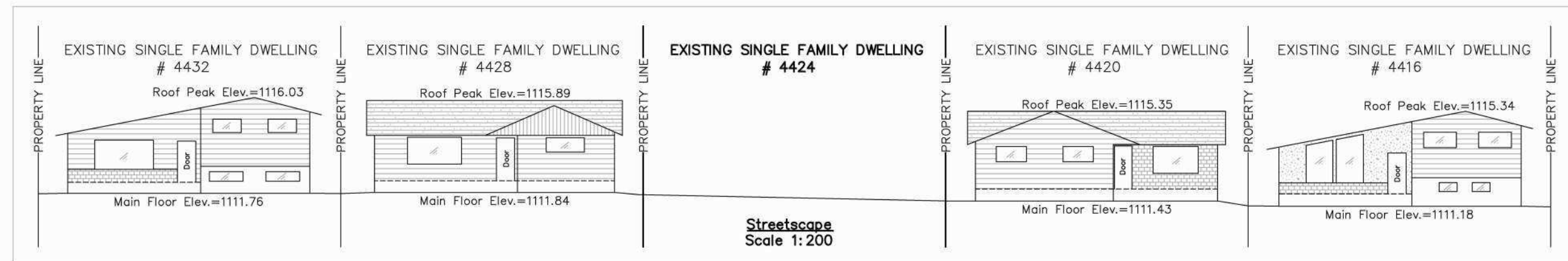
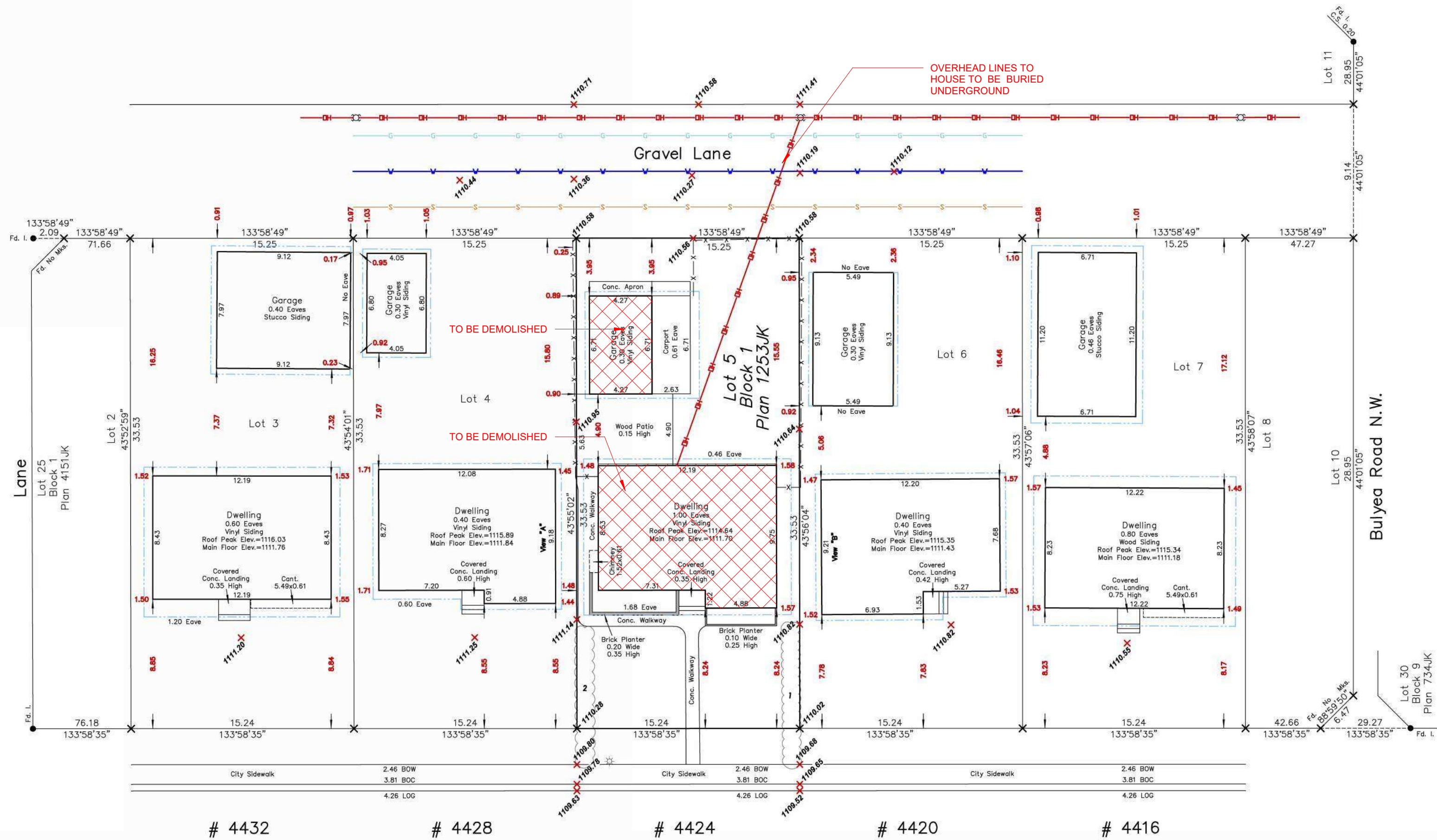
ABBREVIATIONS
A---Arc Length
Acc---Accessory
A/C---Air Conditioner
Bldg---Building
BOC---Back of Curb
BOW---Back of Walk
Calc---Calculated
Cant---Cantilever
Conc---Concrete
C.S---Countersunk
DH---Drill Hole
Enc---Encroaches
Fd---Found
I---Iron Post
I.B---Iron Bar
LOG---Lip of Gutter
M.A---Maintenance Access
Mk---Mark
M.N---Magnetic Nail
O.D---Overland Drainage
R---Radius
Reg---Registration
Ret---Retaining
R/W---Right of Way
W/O---Walkout Basement
W.W---Window Well

This plan represents the best information at the time of survey. Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.
Call Alberta One-Call: 1-800-242-3447

--- denotes Coniferous
--- denotes Deciduous

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia.	Height
1	Bush	---	1.00	1.20
2	Bush	---	1.00	1.20



SITE SURVEY BY OTHERS N.T.S

DEMOLITION NOTES

- EXISTING DETACHED GARAGE TO BE COMPLETELY DEMOLISHED AND REMOVED FROM SITE, INCLUDING ALL FOUNDATIONS, SLABS, AND ASSOCIATED STRUCTURES.
- EXISTING BUNGALOW STRUCTURE TO BE DEMOLISHED DOWN TO FOUNDATION LEVEL.
- EXISTING FOUNDATION WALLS ARE TO REMAIN AND BE REUSED FOR THE CONSTRUCTION OF THE NEW DWELLING, SUBJECT TO VERIFICATION OF STRUCTURAL INTEGRITY AND COMPLIANCE WITH APPLICABLE BUILDING CODES.
- CONTRACTOR SHALL PROTECT ALL PORTIONS OF THE FOUNDATION TO REMAIN DURING DEMOLITION. ANY DAMAGED SECTIONS SHALL BE REPAIRED OR REPLACED AS REQUIRED.
- ALL DEMOLITION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH APPLICABLE MUNICIPAL BYLAWS AND BUILDING CODES.

TO BE DEMOLISHED



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Surveyed: SS | Drawn: JW/JW | Checked by: JG | Scale: 1:200 | File No.: 255056

PROJECT NO. R2025_003

EXISTING BLOCK PLAN

DRAWN BY: K.K

DRAWING NO.

SCALE: 1" = 20'-0"

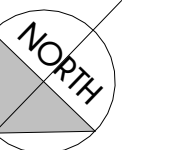
DATE: 2026-04-06

A1.0



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THE NORTH



DRAWING LEGEND

424 BRENTWOOD GREEN
W[illegible]

ECT NO. R2025_003

TE PLAN PROPOSED

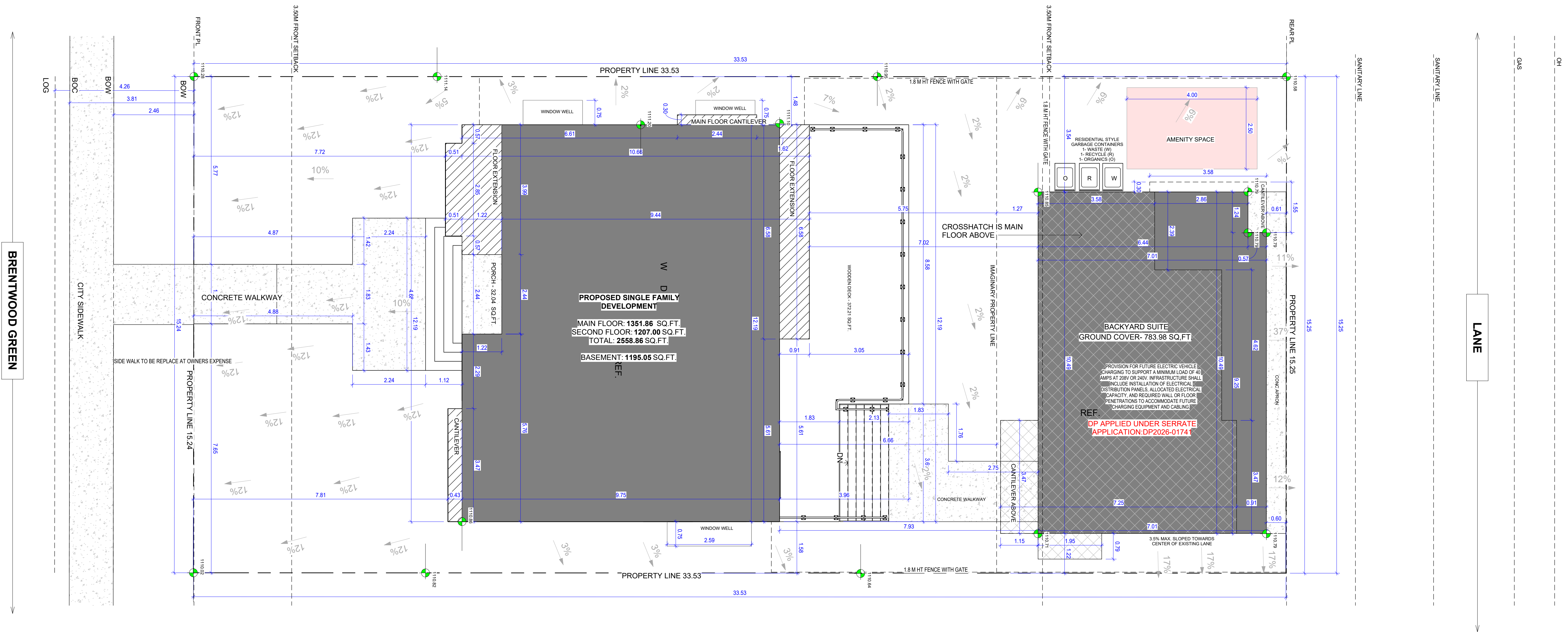
WRITTEN BY: K.K

DRAWING NO:

E: $3/16'' = 1'-0''$

2026-04-06

A.1.1



SITE PLAN

$$3/16'' = 1' - 0'$$

LOT COVERAGE

SITE AREA 5503.03 FT² OR 511.27 M² OR 0.0511 HA

TOTAL UNITS : 1
MAX PERMITTED LOT COVERAGE(45%) 2476.36 FT² (230.61 M²)

BUILDING AREA	1343.86 FT ² (181.32M ²)
CAR PARKING	872.05 FT ² (75.14 M ²)
PORCH COVERED	32.04 FT ² (3.43 M ²)
TOTAL LOT COVERAGE(45%)	2247.95 FF (259.89 M²)
LOT COVERAGE %	40.84%

PARKING

PARKING PROVIDED: 3 STALLS

NOTE: BUILDER TO ENSURE MINIMUM OF 2% POSITIVE SLOPE IS PROVIDED AWAY FROM THE DWELLING UNIT & TOWARDS STREETS/LANES.



FRONT ELEVATION
3/8" = 1'-0"

MATERIAL SCHEDULE	
MATERIAL TAG	DESCRPTION
01	HARDIE SIDING
02	SAMRTBOARD TRIMS
03	ALUMINIUM FASCIA
04	STONE
05	METAL ROOF
06	WOOD SOOFIT
07	ROOF SHINGLE
08	GREY STUCCO
09	WHITE STUCCO
10	BLACK VINYL WINDOW
11	WOODEN DECK
12	VINYL PLANK SIDING

NOTE: CONTRACTOR SHALL CONDUCT A MATERIAL SELECTION MEETING WITH THE CLIENT PRIOR TO FINALIZING ANY MATERIALS. ALL MATERIAL SELECTIONS MUST BE REVIEWED AND APPROVED BY THE CLIENT BEFORE PROCUREMENT AND INSTALLATION.



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TRUE NORTH

DRAWING LEGEND

4424 BRENTWOOD GREEN
NW

No.	Date	Issued For	By

PROJECT NO. R2025_003

ELEVATIONS

DRAWN BY: Author

SCALE: 3/8" = 1'-0"

DATE: 2026-04-06

DRAWING NO.

A4.1



REAR ELEVATION
3/8" = 1'-0"

MATERIAL SCHEDULE	
MATERIAL TAG	DESCRPRTION
01	HARDIE SIDING
02	SAMRTBOARD TRIMS
03	ALUMINIUM FASCIA
04	STONE
05	METAL ROOF
06	WOOD SOOFIT
07	ROOF SHINGLE
08	GREY STUCCO
09	WHITE STUCCO
10	BLACK VINYL WINDOW
11	WOODEN DECK
12	VINYL PLANK SIDING

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TRUE NORTH

DRAWING LEGEND

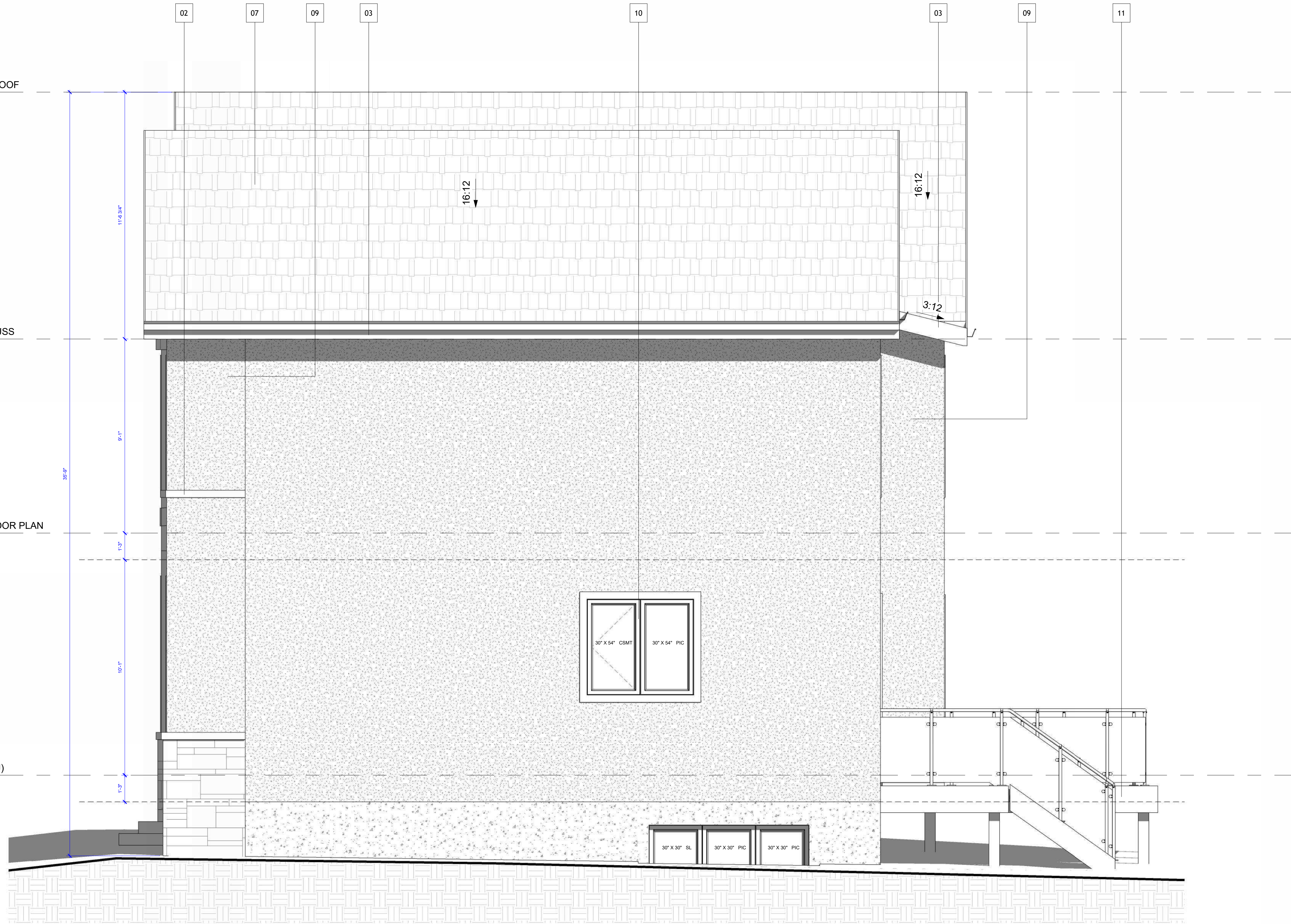
4424 BRENTWOOD GREEN
NW

No.	Date	Issued For	By

PROJECT NO. R2025_003

ELEVATIONS

DRAWN BY: Author	DRAWING NO. A4.2
SCALE: 3/8" = 1'-0"	
DATE: 2026-04-06	



RIGHT ELEVATION
3/8" = 1'-0"

MATERIAL SCHEDULE	
MATERIAL TAG	DESCPRTION
01	HARDIE SIDING
02	SAMRTBOARD TRIMS
03	ALUMINIUM FASCIA
04	STONE
05	METAL ROOF
06	WOOD SOOFIT
07	ROOF SHINGLE
08	GREY STUCCO
09	WHITE STUCCO
10	BLACK VINYL WINDOW
11	WOODEN DECK
12	VINYL PLANK SIDING

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TRUE NORTH

DRAWING LEGEND

4424 BRENTWOOD GREEN
NW

No.	Date	Issued For	By

PROJECT NO. R2025_003

ELEVATIONS

DRAWN BY Author

SCALE: 3/8" = 1'-0"

DATE: 2026-04-06

DRAWING NO.

A4.3

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TRUE NORTH

DRAWING LEGEND

4424 BRENTWOOD GREEN
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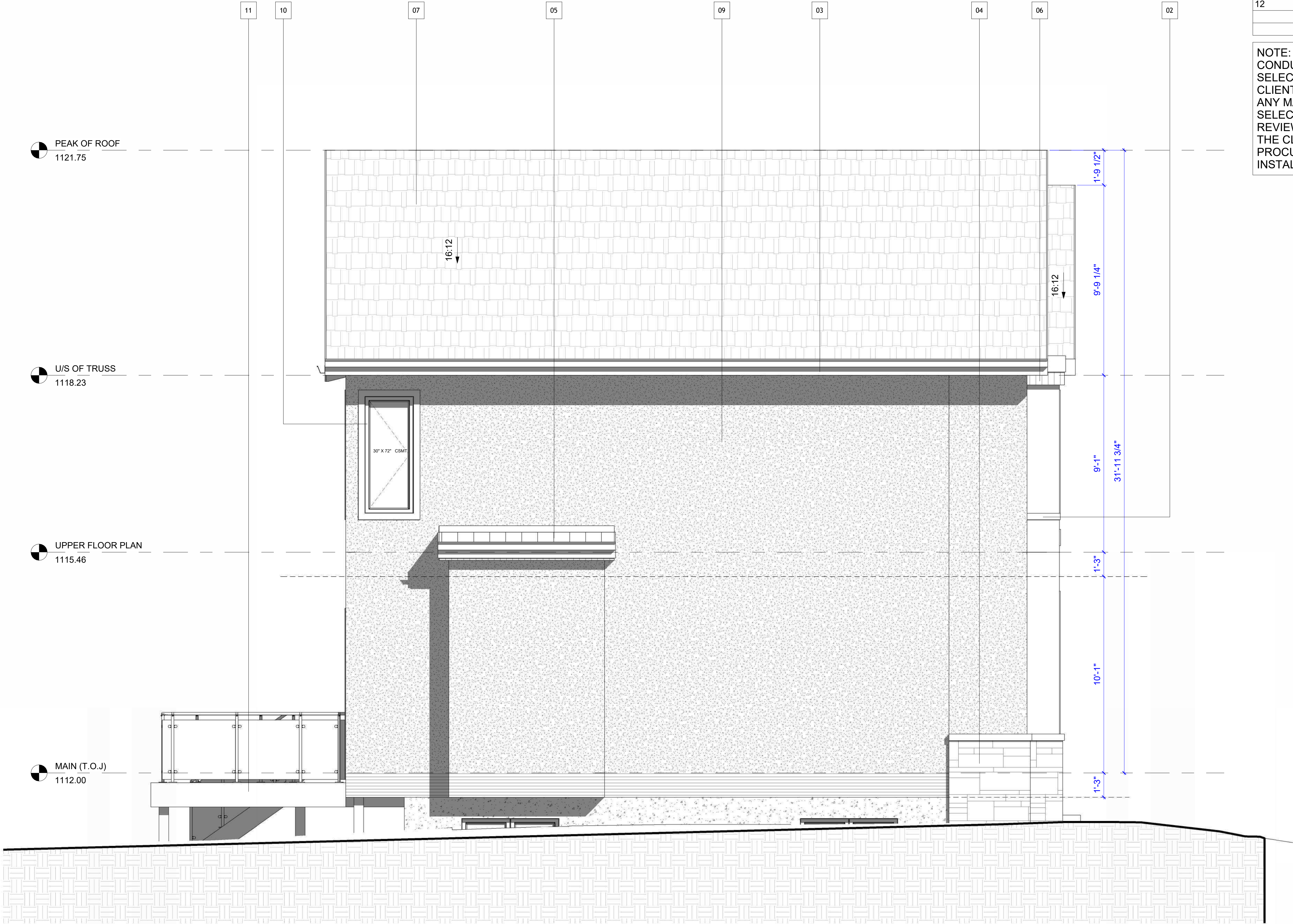
PROJECT NO. R2025_003

ELEVATIONS

DRAWN BY: Author	DRAWING NO. A4.4
SCALE: 3/8" = 1'-0"	
DATE: 2026-04-06	

MATERIAL SCHEDULE	
MATERIAL TAG	DESCRPTION
01	HARDIE SIDING
02	SAMRTBOARD TRIMS
03	ALUMINIUM FASCIA
04	STONE
05	METAL ROOF
06	WOOD SOOFIT
07	ROOF SHINGLE
08	GREY STUCCO
09	WHITE STUCCO
10	BLACK VINYL WINDOW
11	WOODEN DECK
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VIEWS FROM BRENTWOOD GREEN



VIEWS FROM THE REAR LANE

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TRUE NORTH

DRAWING LEGEND

4424 BRENTWOOD GREEN
NW

No.	Date	Issued For	By

PROJECT NO. R2025_003

SITE PICTURES

DRAWN BY: K.K	DRAWING NO: A7.1
SCALE:	
DATE: 2026-04-06	