

# HIGHLAND PARK MULTI-RESIDENTIAL

# DEVELOPMENT PERMIT SET

2026/04/10

PROJECT NUMBER:

## 20.14

**PARCEL ADDRESS:**

LEGAL: AREA 'A', PLAN 921 2522

MUNICIPAL: 4111 1 STREET N.E.,  
CALGARY, AB

**DRAWING LIST:**  
INDEX: ARCHITECTURE

FAAS

601 - 1812 4 ST SW, CALGARY, AB T2S 1W

|        |                           |
|--------|---------------------------|
| DP.000 | TITLE SHEET               |
| DP.001 | BLOCK PLAN                |
| DP.002 | ARTISTIC RENDERED VIEWS   |
| DP.003 | SITE DETAILS              |
| DP.100 | SITE PLAN                 |
| DP.200 | PARKADE LEVEL 01 PLAN     |
| DP.201 | MAIN FLOOR PLAN           |
| DP.202 | SECOND FLOOR PLAN         |
| DP.203 | THIRD FLOOR PLAN          |
| DP.204 | FORTH FLOOR PLAN          |
| DP.205 | FIFTH FLOOR PLAN          |
| DP.206 | SIXTH FLOOR PLAN          |
| DP.207 | ROOF PLAN                 |
| DP.300 | BUILDING SECTION          |
| DP.301 | BUILDING SECTION          |
| DP.400 | ELEVATIONS                |
| DP.401 | ELEVATIONS                |
| DP.500 | AMENITY BUILDING DRAWINGS |
| L.100  | LANDSCAPE PLAN            |
| LSK-1  | SOUTH PARCEL CONCEPT      |
| LSK-2  | SOUTH PARCEL CONCEPT      |
| S.01   | SURVEY PLAN               |

**PROJECT INFORMATION:**

**PARCEL ADDRESS:**

LEGAL: AREA 'A' - PLAN 921 2522  
MUNICIPAL: 4111 1ST STREET NE., CALGARY, AB  
COMMUNITY: HIGHLAND PARK

**PROPOSED GROSS BUILDING AREA:**

|                         |                                        |
|-------------------------|----------------------------------------|
| <b>MAIN BUILDING</b>    |                                        |
| PARKADE LEVEL 01        | 1951.22 SQ.M. / 21002.79 SQ.FT.        |
| PARKADE LEVEL 02 / MAIN | 191.12 SQ.M. / 21002.79 SQ.FT.         |
| SECOND                  | 161.55 SQ.M. / 17342.27 SQ.FT.         |
| THIRD                   | 1655.55 SQ.M. / 17820.20 SQ.FT.        |
| FOURTH                  | 1655.55 SQ.M. / 17820.20 SQ.FT.        |
| FIFTH                   | 1655.55 SQ.M. / 17820.20 SQ.FT.        |
| SIXTH                   | 1655.55 SQ.M. / 17820.20 SQ.FT.        |
| SUBTOTAL:               | 12135.80 SQ.M. / 130628.65 SQ.FT.      |
| <b>TOTAL:</b>           | <b>9261.94 SQ.M. / 99694.72 SQ.FT.</b> |

**AMENITY ACCESSORY BUILDING**  
MAIN FLOOR 60.89 SQ.M. / 655.43 SQ.FT.

**BLDG. CLASSIFICATION & TECHNICAL OVERVIEW:**

- BASED ON THE **NATIONAL BUILDING CODE 2023 (ALBERTA EDITION)**  
PART 9 SECTION 9.10.14. SPATIAL SEPARATION BETWEEN BUILDINGS.  
MAJOR OCCUPANCY GROUP-C WITH UNIT OVER UNIT.
- THIS APPLIES TO BUILDINGS OTHER THAN THOSE TO WHICH  
SUBSECTION 9.10.15. APPLIES.
- BUILDING REQUIRES A FIRE SUPPRESSION SYSTEM.
- BUILDING REQUIRES A FIREWALL.

**BYLAW REGULATIONS:**

**BUILDING SETBACKS:**

| CURRENT LAND USE ZONING          | M-H1      |
|----------------------------------|-----------|
| <b><u>BUILDING SETBACKS:</u></b> |           |
| FRONT (NORTH, EAST, SOUTH, WEST) | PERMITTED |
| SIDE (ADD ORIENTATION)           | 0.0m      |
| REAR (ADD ORIENTATION)           | 0.0m      |
| SIDE (ADD ORIENTATION)           | 0.0m      |

**PARCEL COVERAGE:**

PARCEL AREA: 2328 SQ.M. / 25049 SQ.FT. / 0.23 HA  
PARCEL COVERAGE: 75.91%  
BUILDING FOOT PRINT: 1766.44 SQ.M. / 19013.82 SQ.FT.

FLOOR AREA RATIO:

|                  |     |
|------------------|-----|
| MAXIMUM ALLOWED: | 4.0 |
| PROPOSED:        | 4.0 |

UNITS:

PROPOSED: 134 UNITS

AMENITY SPACE:

|                                       |                                |
|---------------------------------------|--------------------------------|
| MINIMUM REQUIRED:                     | 5.0 SQ.M. / 53.8 SQ.FT. / UNIT |
| = 5.0m x 134 UNITS                    |                                |
| = <b>670.0 SQ.M.</b>                  |                                |
| PROPOSED:                             | 5.1 SQ.M. / 54.9 SQ.FT. / UNIT |
| <b>677.46 SQ.M. OF COMMON AMENITY</b> |                                |

**VEHICULAR PARKING:**

|                                                                    |                                  |
|--------------------------------------------------------------------|----------------------------------|
| REQUIRED RESIDENTIAL STALLS<br>0.625 STALLS / UNIT                 | 134 x 0.625 = 84 STALLS REQUIRED |
| 25% REDUCTION FOR BEING 200m<br>OF PRIMARY TRANSIT (CENTRE STREET) | 84 STALLS x 0.75 = 63 STALLS     |
| <b>63 STALLS PROVIDED (-21)</b>                                    |                                  |

**BICYCLE PARKING:**

|                                   |                                      |
|-----------------------------------|--------------------------------------|
| MINIMUM REQUIRED:                 |                                      |
| 0.5 CLASS 1 BICYCLE STALLS / UNIT | 134 UNITS x 0.5 = 67 STALLS REQUIRED |
| <b>68 STALLS PROVIDED</b>         |                                      |
| 0.1 CLASS 2 BICYCLE STALLS / UNIT | 134 UNITS x 0.1 = 14 STALLS REQUIRED |

**WASTE & RECYCLING:**

MINIMUM REQUIRED: 0.24 m<sup>3</sup> PER UNIT / WEEK  
134 UNITS x 0.24 m<sup>3</sup> = 32.16 m<sup>3</sup> / WEEK)

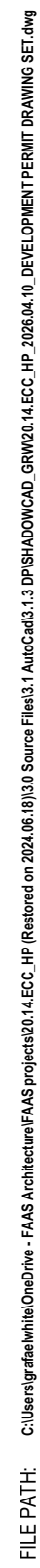
PROVIDED:

2x / WEEK W+R PICK-UP

|                                                                    |                                                  |
|--------------------------------------------------------------------|--------------------------------------------------|
| 6 x 3.0 m <sup>3</sup> WHEEL-ABLE CONTAINERS = 18.0 m <sup>3</sup> |                                                  |
| WASTE:                                                             | 3 x 3.0 m <sup>3</sup> BINS = 9.0 m <sup>3</sup> |
| RECYCLING:                                                         | 2 x 3.0 m <sup>3</sup> BINS = 6.0 m <sup>3</sup> |
| ORGANICS:                                                          | 1 x 3.0 m <sup>3</sup> BINS = 3.0 m <sup>3</sup> |



FORMED ALLIANCE ARCHITECTURE STUDIO



LOT 5, BLOCK 29, PLAN 7330 HA

**CONDO PLAN**  
**771 0245**

LANE

LOT 41,  
BLOCK 9,  
PLAN 1351 IB

1 STREET N.E.

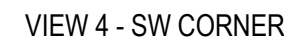
1. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
2. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
3. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
4. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.

|             |                                                                                                                            |
|-------------|----------------------------------------------------------------------------------------------------------------------------|
| <b>N.01</b> | PROPOSED ENMAX TRANSFORMER LOCATION                                                                                        |
| <b>N.02</b> | PARKADE ENTRY                                                                                                              |
| <b>N.03</b> | PRIMARY ENTRANCE                                                                                                           |
| <b>N.04</b> | PROPOSED DRIVEWAY / CURB CUT                                                                                               |
| <b>N.05</b> | HATCHED AREA INDICATES ASPHALT SURFACE FOR LOADING / STAGING AREA AND TIMED VISITOR PARKING CAPABLE OF SUPPORTING 25000 KG |
| <b>N.06</b> | OPEN AIR LOADING AND STAGING AREA WITH MINIMUM DEPTH OF 9.2M AND 6.8M IN HEIGHT                                            |
| <b>N.07</b> | CURRENTLY R-CG ZONE, HOWEVER DUE TO EXTENT OF UTILITIES, TREATED AS A UTILITY RIGHT OF WAY, AS PER PREVIOUS SUBMISSION     |
| <b>N.08</b> | PROPOSED LANDSCAPE PLANTER                                                                                                 |
| <b>N.09</b> | PRIVATE AMENITY                                                                                                            |
| <b>N.10</b> | COMMON AMENITY                                                                                                             |
| <b>N.11</b> | COMMUNAL KITCHEN SEATING AREA                                                                                              |
| <b>N.12</b> | PROPOSED CITY SIDEWALK                                                                                                     |
| <b>N.13</b> | WINDOW WELL                                                                                                                |
| <b>N.14</b> | PARKADE ACCESS PEDESTAL                                                                                                    |
| <b>N.15</b> | EXISTING CURB                                                                                                              |
| <b>N.16</b> | EXISTING POWER POLL & POWELINE TO BE REMOVED / REDIRECTED                                                                  |
| <b>N.17</b> | PROPOSED RETAINING WALL                                                                                                    |

|                                                                                       |                             |
|---------------------------------------------------------------------------------------|-----------------------------|
|  | EXISTING GEODETIC ELEVATION |
|  | PROPOSED GEODETIC ELEVATION |
|  | ELECTRICAL METER LOCATION   |
|  | GAS METER LOCATION          |
|  | WATER METER LOCATION        |



|        |             |
|--------|-------------|
| 2      | SITE IMAGES |
| DP.100 | SCALE: NTS  |



FORMED ALLIANCE ARCHITECTURE STUDIO

SEAL

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CONSTRUCTION

YYYY.MM.DD

[illegible]

## HIGHLAND PARK

**MUNICIPAL ADDRESS**  
4111 1 ST N.E., CALGARY AB

LEGAL ADDRESS  
B: AREA 'A' P: 9212522

PROJECT NO.  
20.14

|       |         |
|-------|---------|
| DRAWN | CHECKED |
| GRW   | GK      |

| DATE       | SCALE   |
|------------|---------|
| 2026.02.20 | AS NOTE |

DRAWING TITLE  
BLOCK PLAN

|                |
|----------------|
| DRAWING NUMBER |
|----------------|

DP.001

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DP.002 | NTS



(ARTISTIC REPRESENTATION ONLY)

2 VIEW FROM 41 AVE  
DP.002 NTS



DP.002 | NTS



(ARTISTIC REPRESENTATION ONLY)

4 VIEW OF KITCHEN AMENITY  
DP.002 NTS



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YYYY.MM.DD

| RELEASES |               |            |
|----------|---------------|------------|
| NO.      | DESCRIPTION   | DATE       |
| 01       | ISSUED FOR DP | 2026-04-10 |
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- ☐ CONSTRUCTION
- ☐ TENDER
- ☐ BUILDING PERMIT
- PROJECT NAME

HIGHLAND PARK

MUNICIPAL ADDRESS  
4111 1 ST N.E., CALGARY AB

LEGAL ADDRESS  
B: AREA "A" P: 9212322

PROJECT NO.  
20.14

DRAWN      CHECKED  
GRW      GK

DATE      SCALE  
2026.03.20      AS NOTED

DRAWING TITLE  
ARTISTIC RENDERERS

DRAWING NUMBER

DP.002

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## GENERAL NOTES

1. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
2. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
3. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
4. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.

## SHEET NOTES

- |             |                                                                                                                            |
|-------------|----------------------------------------------------------------------------------------------------------------------------|
| <b>N.01</b> | PROPOSED ENMAX TRANSFORMER LOCATION                                                                                        |
| <b>N.02</b> | PARKADE ENTRY                                                                                                              |
| <b>N.03</b> | PRIMARY ENTRANCE                                                                                                           |
| <b>N.04</b> | PROPOSED DRIVEWAY / CURB CUT                                                                                               |
| <b>N.05</b> | HATCHED AREA INDICATES ASPHALT SURFACE FOR LOADING / STAGING AREA AND TIMED VISITOR PARKING CAPABLE OF SUPPORTING 25000 KG |
| <b>N.06</b> | OPEN AIR LOADING AND STAGING AREA WITH MINIMUM DEPTH OF 9.2M AND 6.8M IN HEIGHT                                            |
| <b>N.07</b> | CURRENTLY R-CG ZONE, HOWEVER DUE TO EXTENT OF UTILITIES, TREATED AS A UTILITY RIGHT OF WAY, AS PER PREVIOUS SUBMISSION     |
| <b>N.08</b> | PROPOSED LANDSCAPE PLANTER                                                                                                 |
| <b>N.09</b> | PRIVATE AMENITY                                                                                                            |
| <b>N.10</b> | COMMON AMENITY                                                                                                             |
| <b>N.11</b> | COMMUNAL KITCHEN SEATING AREA                                                                                              |
| <b>N.12</b> | PROPOSED CITY SIDEWALK                                                                                                     |
| <b>N.13</b> | WINDOW WELL                                                                                                                |
| <b>N.14</b> | PARKADE ACCESS PEDESTAL                                                                                                    |
| <b>N.15</b> | EXISTING CURB                                                                                                              |
| <b>N.16</b> | EXISTING POWER POLL & POWELINE TO BE REMOVED / REDIRECTED                                                                  |
| <b>N.17</b> | PROPOSED RETAINING WALL                                                                                                    |

- |                                                                                       |                              |
|---------------------------------------------------------------------------------------|------------------------------|
|  | EXISTING GEODETTIC ELEVATION |
|  | PROPOSED GEODETTIC ELEVATION |
|  | ELECTRICAL METER LOCATION    |
|  | GAS METER LOCATION           |
|  | WATER METER LOCATION         |

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| <input type="checkbox"/> CONSTRUCTION    | YYYY-MM-DD |
| <input type="checkbox"/> TENDER          | YYYY-MM-DD |
| <input type="checkbox"/> BUILDING PERMIT | YYYY-MM-DD |
| PROJECT NAME                             |            |

## HIGHLAND PARK

**MUNICIPAL ADDRESS**  
4111 1 ST N.E., CALGARY AB

**LEGAL ADDRESS**  
B: AREA 'A' P: 9212522

|             |
|-------------|
| PROJECT NO. |
| 20.14       |

|       |         |
|-------|---------|
| DRAWN | CHECKED |
| GRW   | GK      |

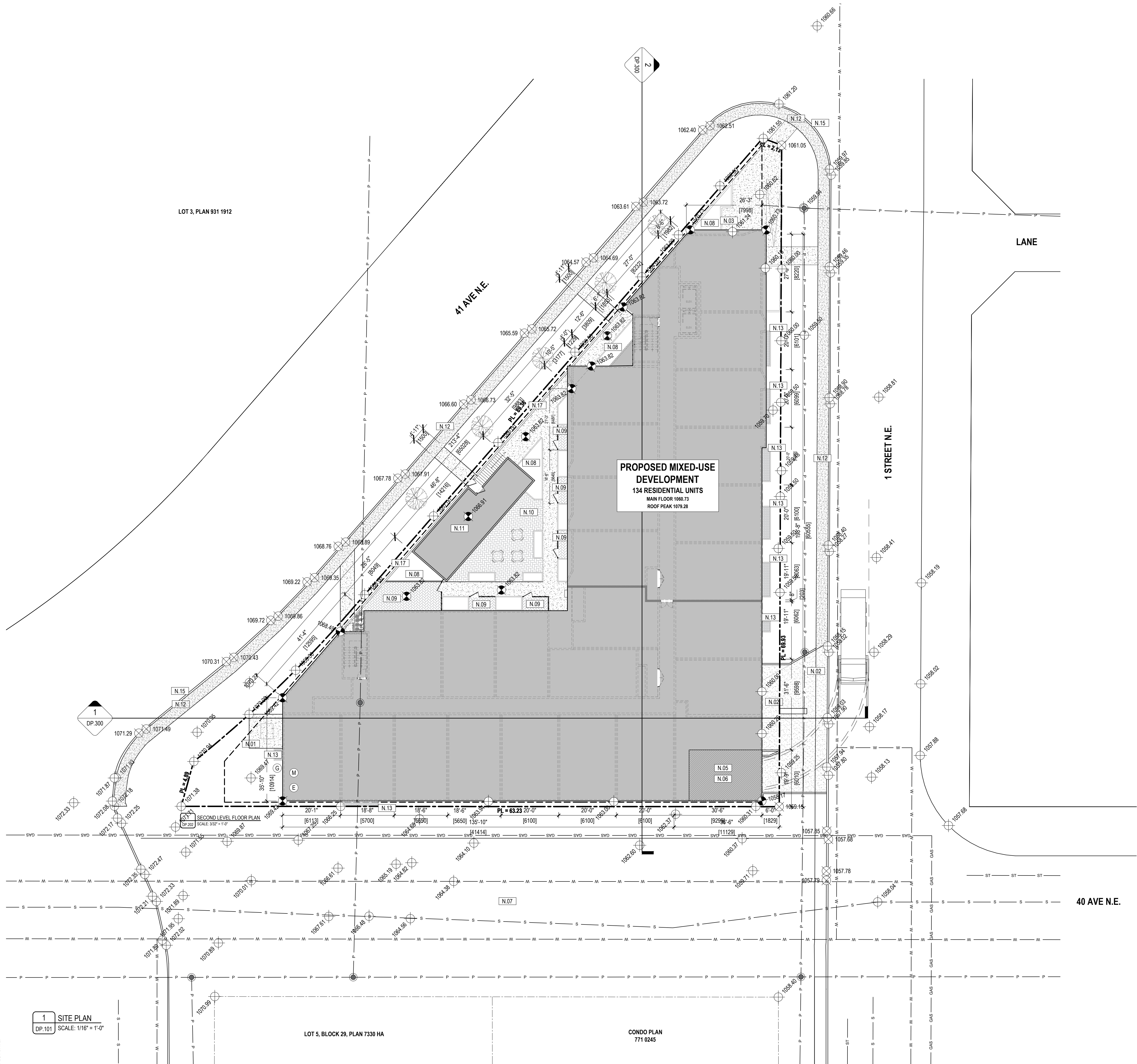
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| DATE       | SCALE    |
| 2026.03.20 | AS NOTED |

DRAWING TITLE  
**SITE PLAN**

DRAWING NUMBER

DP.101

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| <input type="checkbox"/> CONSTRUCTION    | YYYY-MM-DD |
| <input type="checkbox"/> TENDER          | YYYY-MM-DD |
| <input type="checkbox"/> BUILDING PERMIT | YYYY-MM-DD |
| PROJECT NAME                             |            |

**MUNICIPAL ADDRESS**  
4111 1ST NE, CALGARY AB

LEGAL ADDRESS  
L: AREA 'A' PLAN 921 2522

|             |
|-------------|
| PROJECT NO. |
| 20.10       |

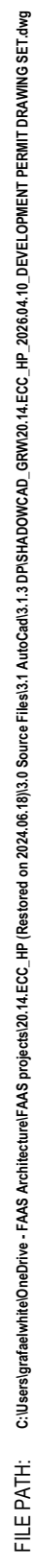
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|-------|---------|
| DRAWN | CHECKED |
| GRW   | GK      |

|            |          |
|------------|----------|
| DATE       | SCALE    |
| 2026.03.20 | AS NOTED |

|               |            |
|---------------|------------|
| DRAWING TITLE | ELEVATIONS |
|---------------|------------|

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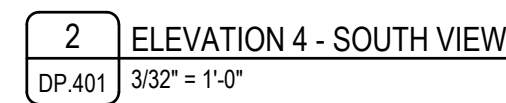
Page 10 of 10

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## HIGHLAND PARK

|                |
|----------------|
| DRAWING NUMBER |
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0.0 MATERIAL TAG DESCRIPTION

|      |                                                  |
|------|--------------------------------------------------|
| A1.1 | JAMES HARDIE PANEL / SMOOTH / ARCTIC WHITE       |
| A2.1 | JAMES HARDIE PANEL / SMOOTH / MIDNIGHT BLACK     |
| A3.1 | JAMES HARDIE LAP SIDING / SMOOTH/ MIDNIGHT BLACK |
| A4.1 | JAMES HARDIE ARTISAN / SMOOTH / KHAKI BROWN      |

|      |                         |
|------|-------------------------|
| B1.1 | FACE BRICK PANEL / GREY |
|------|-------------------------|

|      |                        |
|------|------------------------|
| C1.1 | METAL FLASHING / WHITE |
| C2.1 | METAL FLASHING / BLACK |

|      |                                            |
|------|--------------------------------------------|
| D1.1 | EASY TRIM / GREY                           |
| D2.1 | METAL TRIM / KHAKI BROWN (TO MATCH SIDING) |
| D3.1 | METAL TRIM / GREY                          |

G1.1 WINDOW / BLACK

|      |                           |
|------|---------------------------|
| H1.1 | METAL DOOR / BLACK        |
| H2.1 | METAL GARAGE DOOR / BLACK |

|      |                                       |
|------|---------------------------------------|
| J1.1 | ALUMINUM GUARDRAIL W/ PICKETS / BLACK |
|------|---------------------------------------|

|      |                        |
|------|------------------------|
| K1.1 | ADDRESS NUMBER / BLACK |
|------|------------------------|

|      |                        |
|------|------------------------|
| L1.1 | SOFFIT MOUNTED / BLACK |
|------|------------------------|

 EXISTING GEDODETIC ELEVATION  
 PROPOSED GEDODETIC ELEVATION



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CONSTRUCTION

|  |  |  |  |
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|                                          |            |
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| <input type="checkbox"/> CONSTRUCTION    | YYYY-MM-DD |
| <input type="checkbox"/> TENDER          | YYYY-MM-DD |
| <input type="checkbox"/> BUILDING PERMIT | YYYY-MM-DD |

DRAWING NUMBER

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| EXTERIOR FINISH LEGEND                                                                |                                                                |
|---------------------------------------------------------------------------------------|----------------------------------------------------------------|
| 0.0                                                                                   | MATERIAL TAG DESCRIPTION                                       |
| <b>A - FIBER CEMENT</b>                                                               |                                                                |
| A1.1                                                                                  | JAMES HARDIE PANEL / SMOOTH / ARCTIC WHITE                     |
| A2.1                                                                                  | JAMES HARDIE PANEL / SMOOTH / MIDNIGHT BLACK                   |
| A3.1                                                                                  | JAMES HARDIE LAP SIDING / SMOOTH/ MIDNIGHT BLACK / 6" EXPOSURE |
| A4.1                                                                                  | JAMES HARDIE ARTISAN / SMOOTH / KHAKI BROWN / V-GROOVE         |
| <b>B - MASONRY</b>                                                                    |                                                                |
| B1.1                                                                                  | FACE BRICK PANEL / GREY                                        |
| <b>C - METAL</b>                                                                      |                                                                |
| C1.1                                                                                  | METAL FLASHING / WHITE                                         |
| C2.1                                                                                  | METAL FLASHING / BLACK                                         |
| <b>D - TRIM</b>                                                                       |                                                                |
| D1.1                                                                                  | EASY TRIM / GREY                                               |
| D2.1                                                                                  | METAL TRIM / KHAKI BROWN (TO MATCH SIDING)                     |
| D3.1                                                                                  | METAL TRIM / GREY                                              |
| <b>G - WINDOWS</b>                                                                    |                                                                |
| G1.1                                                                                  | WINDOW / BLACK                                                 |
| <b>H - DOORS</b>                                                                      |                                                                |
| H1.1                                                                                  | METAL DOOR / BLACK                                             |
| H2.1                                                                                  | METAL GARAGE DOOR / BLACK                                      |
| <b>J - GUARDS &amp; RAILINGS</b>                                                      |                                                                |
| J1.1                                                                                  | ALUMINUM GUARDRAIL W/ PICKETS / BLACK                          |
| <b>K - SIGNAGE</b>                                                                    |                                                                |
| K1.1                                                                                  | ADDRESS NUMBER / BLACK                                         |
| <b>L - LIGHTS</b>                                                                     |                                                                |
| L1.1                                                                                  | SOFFIT MOUNTED / BLACK                                         |
|   | EXISTING GEDODETIC ELEVATION                                   |
|  | PROPOSED GEDODETIC ELEVATION                                   |



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CONSTRUCTION



|                                          |            |
|------------------------------------------|------------|
| <input type="checkbox"/> CONSTRUCTION    | YYYY-MM-DD |
| <input type="checkbox"/> TENDER          | YYYY-MM-DD |
| <input type="checkbox"/> BUILDING PERMIT | YYYY-MM-DD |
| PROJECT NAME                             |            |

DRAWING NUMBER

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| EXISTING TREES |           |                 |             |                |           |
|----------------|-----------|-----------------|-------------|----------------|-----------|
| NO.            | SPECIES   | CALIPER<br>(in) | CANOPY (in) | HEIGHT<br>(in) | NOTES     |
| T1             | DECIDUOUS | 0.10            | N/A         | N/A            | TO REMAIN |
| T2             | DECIDUOUS | 0.10            | N/A         | N/A            | TO REMAIN |
| T3             | DECIDUOUS | 0.10            | N/A         | N/A            | TO REMAIN |
| T4             | DECIDUOUS | 0.10            | N/A         | N/A            | TO REMAIN |
| T5             | DECIDUOUS | 0.10            | N/A         | N/A            | TO REMAIN |

## GENERAL NOTES

- A. AT-GRADE LANDSCAPED AREA = **\$43.94 SQ.M / 5854.89 SQ.FT PROVIDED**
- B. BYLAW 542 (7) MINIMUM 30% OF LANDSCAPED AREA MUST BE SOFT SURFACED LANDSCAPING = **\$29.18 SQ.M / 2789.75 SQ.FT PROVIDED (47.6% LANDSCAPED AREA)**
- C. BYLAW 542.2 (2): 1 TREE AND 3 SHRUBS REQUIRED PER 45.0 sq.m OF PARCEL AREA = **13 TREES & 25 SHRUBS. PROVIDED 13 TREES & 28 SHRUBS**
- D. LANDSCAPING TO BE LOW WATER PLANTING, DROUGHT TOLERANT.
- E. ALL SOFT SURFACE LANDSCAPED AREA WILL HAVE AN UNDERGROUND IRRIGATION SYSTEM.
- F. ALL SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- G. MINIMUM SOIL DEPTH OF 1200mm FOR TREES, 600mm FOR PLANTING BEDS WITH SHRUBS & 300mm IN ALL OTHER AREAS.
- H. REFER TO LANDSCAPE DESIGN OF R-GC PARCEL SOUTH OF PARCEL (REFER TO LSK-1)

| SHEET NOTES |                                                                                                         |
|-------------|---------------------------------------------------------------------------------------------------------|
| <b>N.01</b> | PROPOSED ENMAX TRANSFORMER                                                                              |
| <b>N.02</b> | PARKADE ENTRY                                                                                           |
| <b>N.03</b> | PRIMARY ENTRANCE                                                                                        |
| <b>N.04</b> | PROPOSED DRIVEWAY / CURB CUT                                                                            |
| <b>N.05</b> | HATCHED AREA INDICATES ASPHALT<br>LOADING / STAGING AREA AND TIMBER<br>CAPABLE OF SUPPORTING 25000 KILN |
| <b>N.06</b> | OPEN AIR LOADING AND STAGING AREA<br>DEPTH OF 9.2M AND 6.8M IN HEIGHT                                   |
| <b>N.07</b> | PARK / UTILITY RIGHT OF WAY                                                                             |
| <b>N.08</b> | PROPOSED LANDSCAPE PLANTER                                                                              |
| <b>N.09</b> | PRIVATE AMENITY                                                                                         |
| <b>N.10</b> | COMMUNAL AMENITY                                                                                        |
| <b>N.11</b> | COMMUNAL KITCHEN / LOUNGE AREA                                                                          |
| <b>N.12</b> | PROPOSED CITY SIDEWALK                                                                                  |
| <b>N.13</b> | WINDOW WELL                                                                                             |

 EXISTING GEODETIC ELEVATION  
 PROPOSED GEODETIC ELEVATION

| PLANTING PLANTS                                                                       |                 |                         |                        |                  |                             |             |
|---------------------------------------------------------------------------------------|-----------------|-------------------------|------------------------|------------------|-----------------------------|-------------|
| SYMBOL                                                                                | COMMON NAME     | BOTANICAL NAME          | SIZE @ PLANTING        | TPY SPREAD       | TPY HEIGHT                  | REQ. QTY.   |
| CONIFEROUS TREES                                                                      |                 |                         |                        |                  |                             |             |
|  | BLUE SPRUCE     | PICEA PULGENS           | 2 m HIGH               | 10'-20'          | 50'-75'                     | LOW WATER 1 |
|  | DWARF SPRUCE    | PICEA LAURICA           | 2 m HIGH               | 7'-10'           | 10'-13'                     | LOW WATER 5 |
| DECIDUOUS TREES                                                                       |                 |                         |                        |                  |                             |             |
|  | TOBA HAWTHORN   | CRATAEGUS MODIOENSIS    | 50mm CALLIPER<br>(BAR) | min 80mm<br>WIDE | MIN 550mm DEEP<br>ROOT BALL | 3           |
|  | HOT WINGS MAPLE | ACER TATARIAN "GARANNY" | 60mm CALLIPER<br>(BAR) | min 80mm<br>WIDE | MIN 550mm DEEP<br>ROOT BALL | 2           |
|  | USSURIAN PEAR   | PIRUS USSURIENSIS       | 60 mm CALLIPER         |                  |                             | LOW WATER 2 |

| PLANTING LEGEND                                                                       |                 |                  |                 |             |             |           |      |
|---------------------------------------------------------------------------------------|-----------------|------------------|-----------------|-------------|-------------|-----------|------|
| SYMBOL                                                                                | COMMON NAME     | BOTANICAL NAME   | SIZE @ PLANTING | TYP. SPREAD | TYP. HEIGHT | REQ.      | QTY. |
| DECIDUOUS SHRUBS                                                                      |                 |                  |                 |             |             |           |      |
|  | SAVINI JUNIPER  | JUNIPERUS SABINA | 0.60 m SPREAD   | 4'-0"       | 3' TO 6'    | LOW WATER | 8    |
|  | BOOMERANG LILAC | SYRINGA SPP.     | 0.60m SPREAD    |             |             | LOW WATER | 20   |

| PLANTING LEGEND                                                                       |                                  |                          |                 |             |             |           |      |
|---------------------------------------------------------------------------------------|----------------------------------|--------------------------|-----------------|-------------|-------------|-----------|------|
| SYMBOL                                                                                | COMMON NAME                      | BOTANICAL NAME           | SIZE @ PLANTING | TYP. SPREAD | TYP. HEIGHT | REQ.      | QTY. |
| ORNAMENTAL GRASSES                                                                    |                                  |                          |                 |             |             |           |      |
|  | ROCKY MOUNTAIN FESCUE            | FESTUCA SAXIMONTANA      | 0.60m SPREAD    |             | 4" TO 20"   | LOW WATER | 22   |
|  | KARL FORESTER FEATHER REED GRASS | CALAMAGROSTIS ACUTIP.ORA | 0.60m SPREAD    |             | 200mm       |           | 78   |





Eye level view from 1st Street NE



Aerial perspective of central lawn looking south



Central lawn perspective looking South



Perspective looking West from pathway



Central lawn perspective looking North



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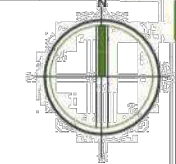
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**Key Plan**



development permit: 26.03.26  
Issued for: Date: yy-mm-dd

Project No: 13-003.2  
Project Title:  
**Highland Park Multifamily**  
Calgary, A.B.

Drawing Title:  
**South Parcel Concept**

Drawn by: cmp  
Checked by: cmp  
Scale: 1:125

Drawing No:  
**LSK-2**

