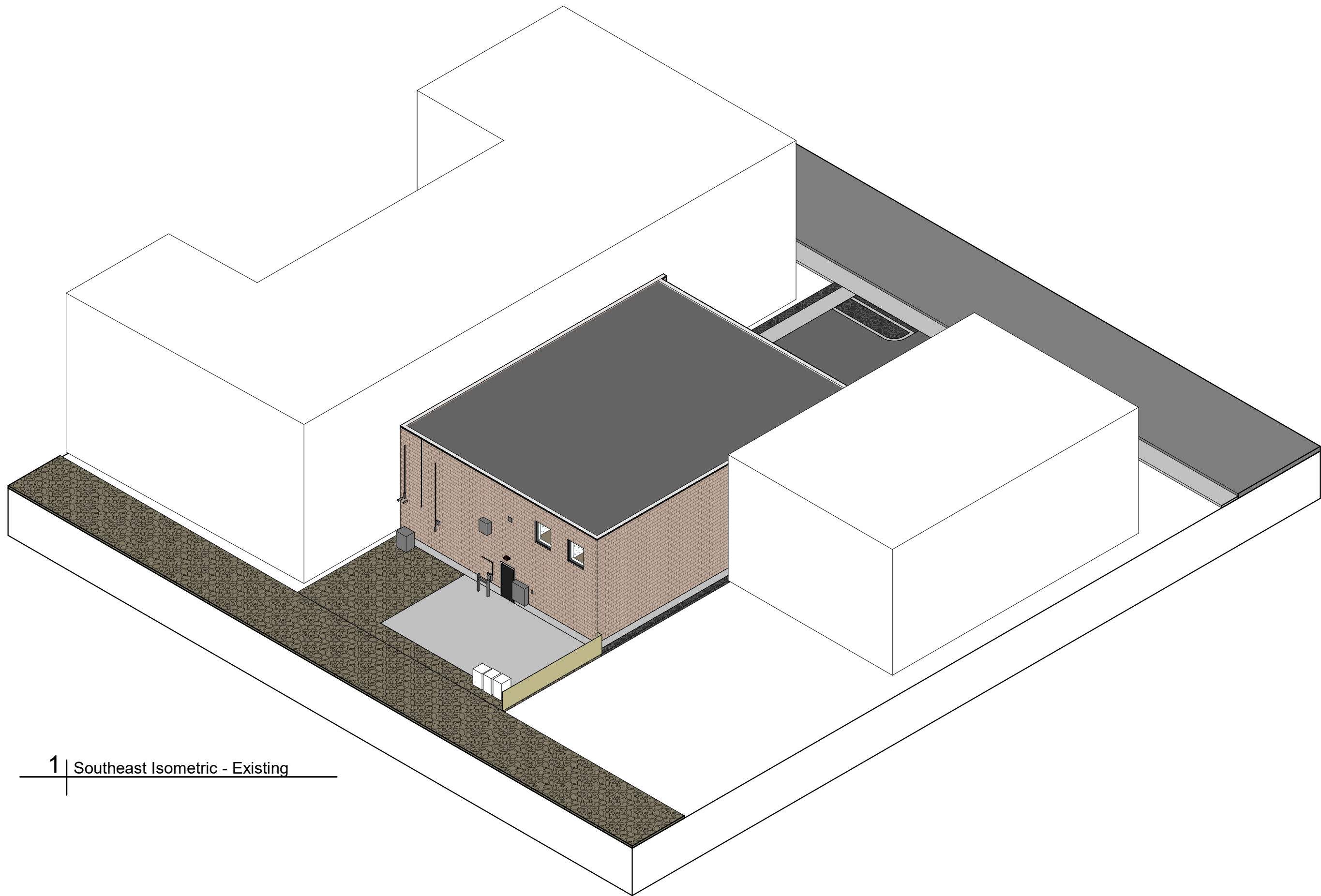
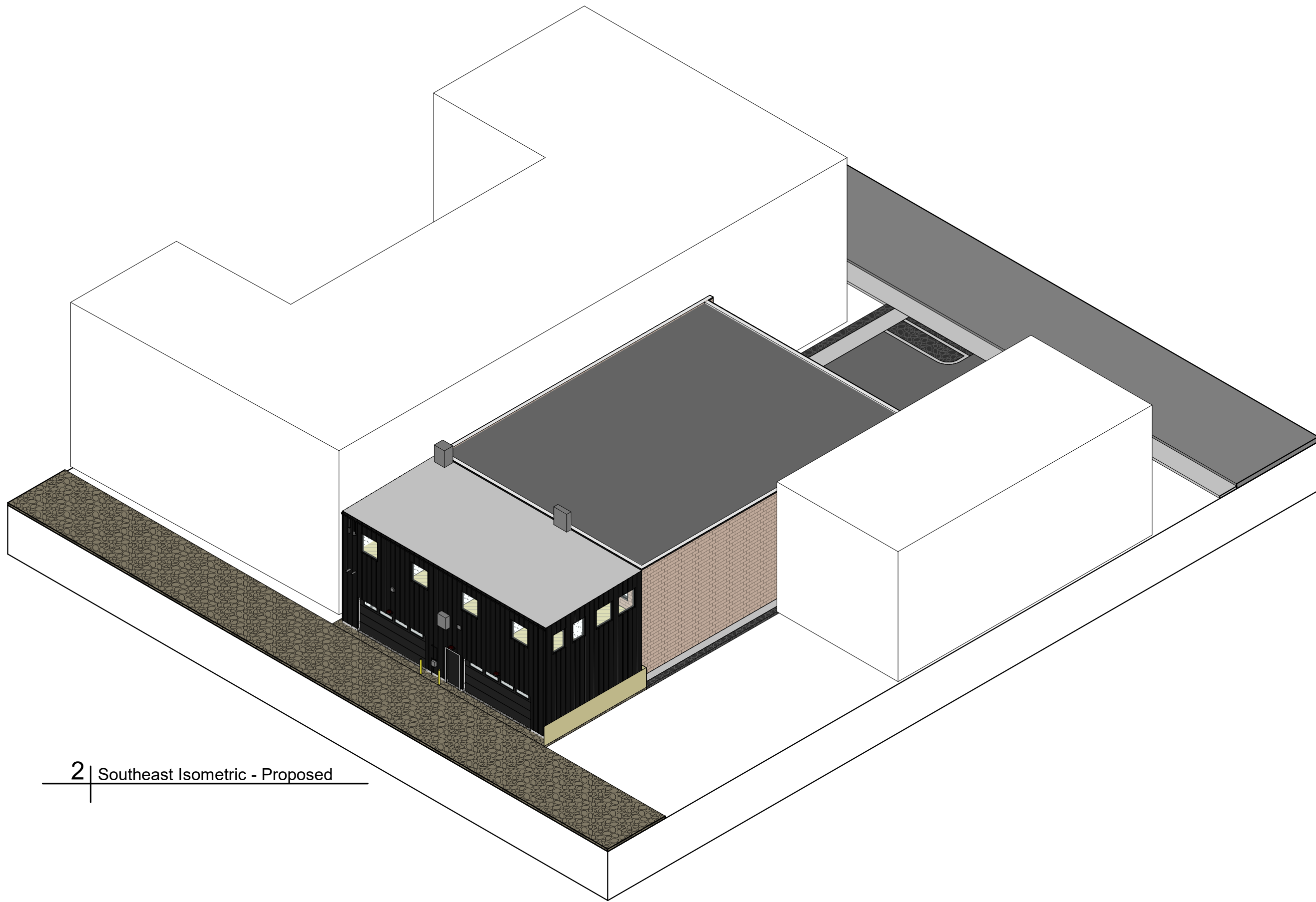




1 | Southeast Isometric - Existing



2 | Southeast Isometric - Proposed



S-IAD

Synergy Initiative of Architecture + Design

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CPHD, LEED AP BD+C

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1918 9 Ave SE, Calgary, AB T2G 0V2

DATUM HOMES

REAR ATTACHED GARAGE ADDITION

DRAWING TITLE:
Axonometric

DATE:
2026 04 27

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ISSUE FOR:
Development
Permit - Rev 1

SHEET

A0.0

REVISION

#	Description	Date
Revision Schedule		

- SITE LEGEND:**
- PROPERTY LINE
 - SETBACK LINE
 - SRW EASEMENT
 - OVERHEAD POWER LINE
 - OVERHEAD TELECOMMUNICATION
 - 1 IN 100 YEAR INUNDATION LIMIT
 - SITE COVERAGE AREA
 - UTILITY STORM
 - UTILITY WATER
 - UTILITY SANITARY
 - UTILITY GAS
 - ASPHALT
 - DRIVEWAY AND LANDSCAPE GRAVEL
 - GRASS CLEARING
 - FORESTED AREA

LOT SUMMARY:

ADDRESS:
1918 9 AVE SE, CALGARY, AB T2G 0V2

OWNER NAME:
DATUM HOMES

LEGAL DESCRIPTION:
LOTS 12 + 13
BLOCK 12
PLAN 3577P

PARCEL SIZE:
0.0605 HECTARES
6,508.03 SF
604.62 m²

ZONING:
Direct Control
4Z93 SITE 6

MAX HEIGHT:
20 m

SETBACKS:
FRONT: 0.0 m
SIDE: 0.0 m
REAR: 5.0 m (When adjacent to a residential district.)
*However Adjacent Precedent would suggest 0.0 m

PARCEL COVERAGE:
EXISTING: 3,007.34 SF / 46%
PROPOSED: 4,088.10 SF / 62.8%

GFA:
ALLOWED - 2 (13,016.06 SF)
EXISTING - 0.92 (6,014.68 SF)
PROPOSED - 1.26 (8,176.20 SF)

PARKING STALLS EXISTING: 8
PARKING STALLS PROPOSED: 7

FLOODWAY: NO
PROTECTED FLOOD FRINGE: YES
INUNDATION: 1:75 YEARS

1918 9 Ave SE, Calgary, AB T2G 0V2
DATUM HOMES
REAR ATTACHED GARAGE ADDITION

DRAWING TITLE:
Site Plan

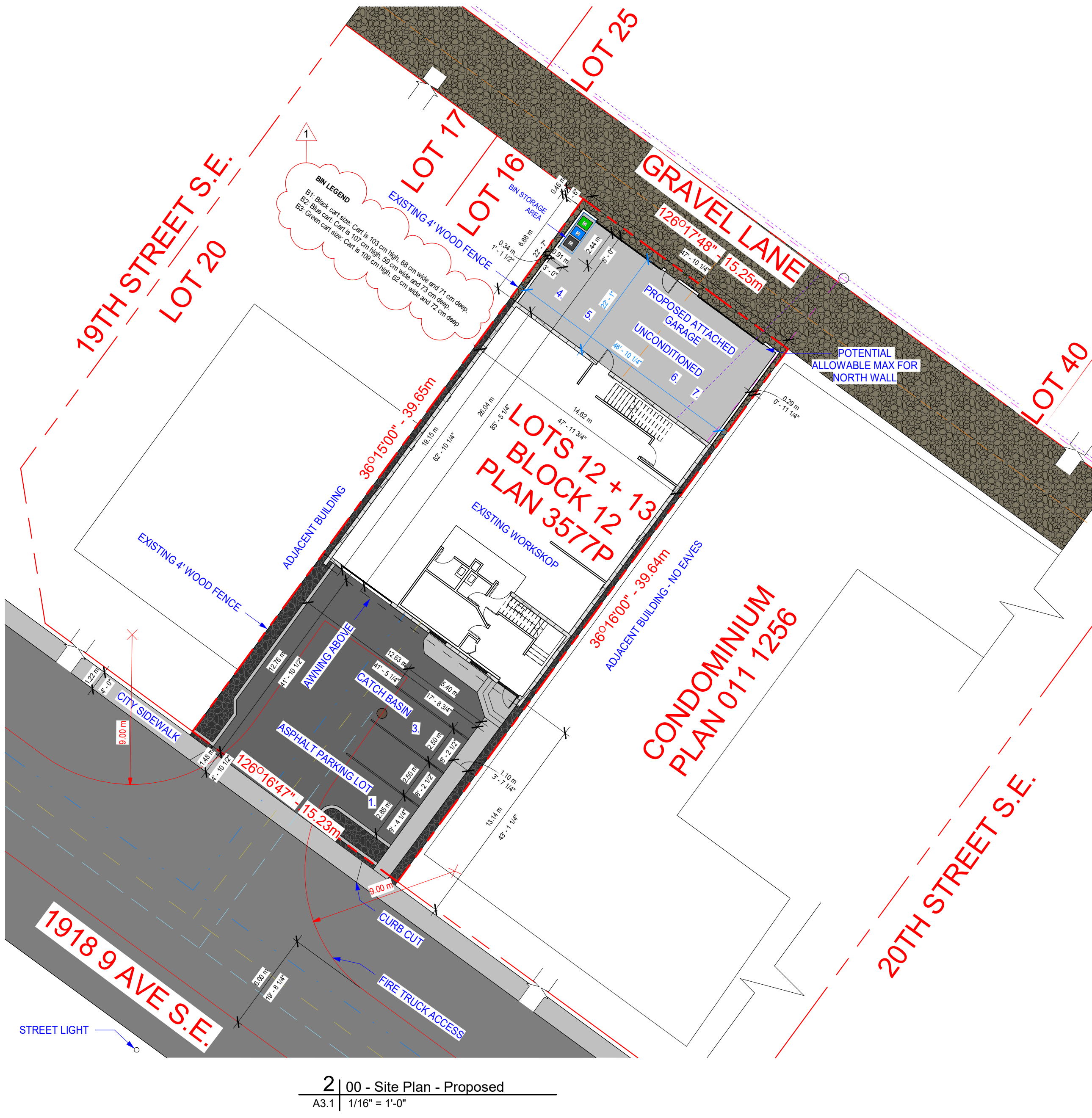
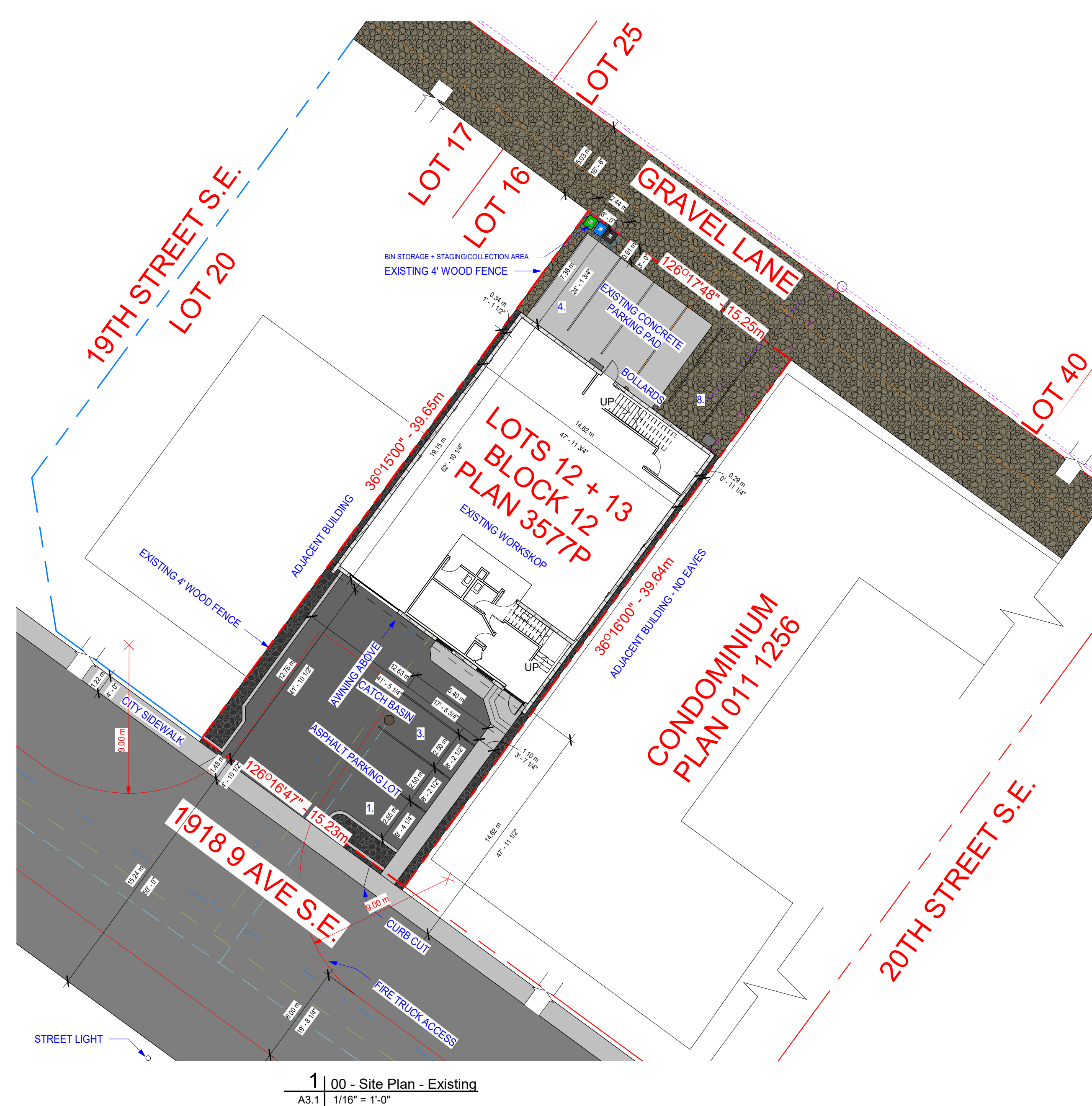
DATE:
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A1.1

REVISION



1	Added Info Related to Bin Storage + Collection	2026 04 24
#	Description	Date
Revision Schedule		



SOUTHEAST CORNER OF PROPERTY



STREET FRONTAGE FROM 9TH AVE



SOUTHWEST CORNER OF PROPERTY



NORTHWEST CORNER OF PROPERTY



NORTH FACADE FROM REAR LANE



NORTHEAST CORNER OF PROPERTY



OVERHEAD UTILITY LINE CONNECTION TO BUILDING



OVERHEAD POWER LINE/POLE

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1918 9 Ave SE, Calgary, AB T2G 0V2

DATUM HOMES

REAR ATTACHED GARAGE ADDITION

DRAWING TITLE:
Site Photos

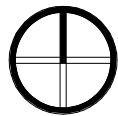
DATE:
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A1.2

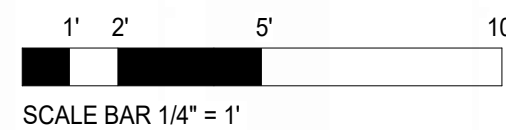
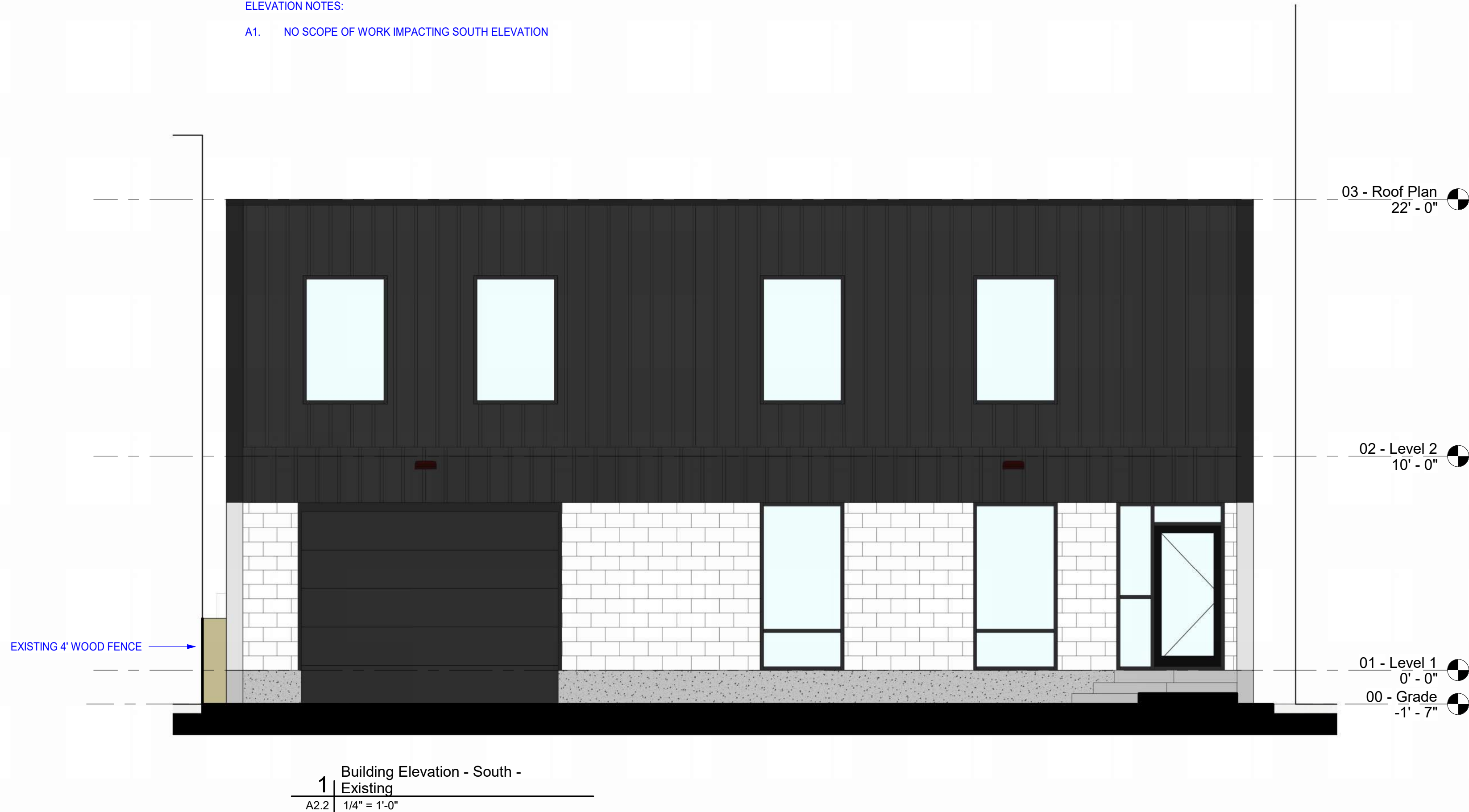
REVISION



#	Description	Date
Revision Schedule		

ELEVATION NOTES:

A1. NO SCOPE OF WORK IMPACTING SOUTH ELEVATION



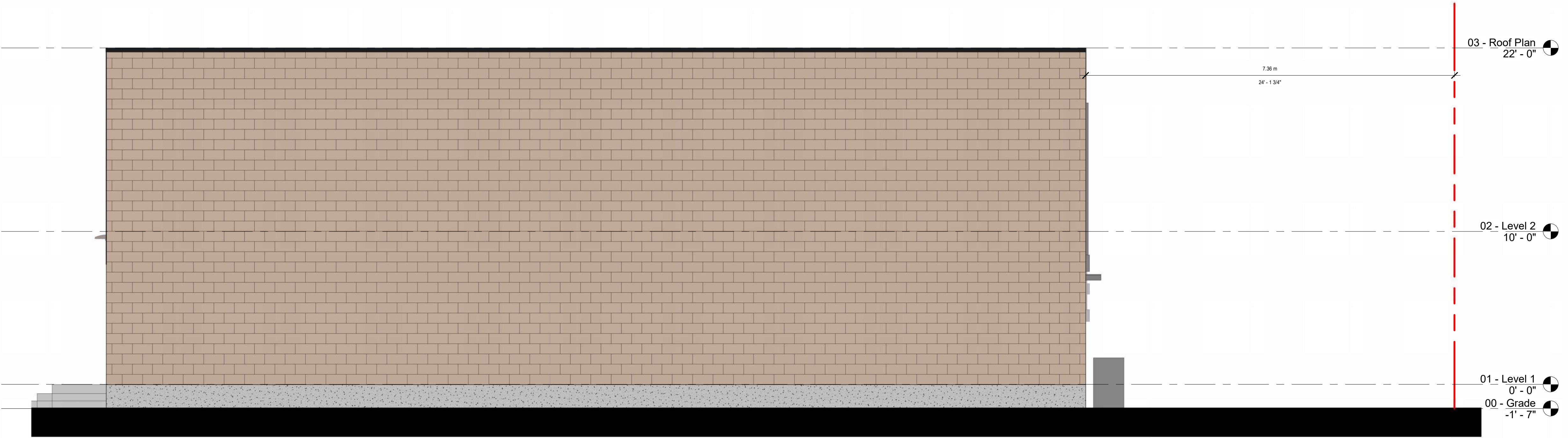
#	Description	Date
Revision Schedule		

Material Takeoff - Exterior Finishes		
Name	Description	Area
Exterior Finishes - Datum - 13 1/2" FormaSteel B+B Metal Panel	M2 - Black Metal Siding	1557.98 ft²
Grand total: 3		1557.98 ft²

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1 | Building Elevation - East - Existing
A2.0 | 1/4" = 1'-0"



2 | Building Elevation - East - Proposed
A2.0 | 1/4" = 1'-0"

1918 9 Ave SE, Calgary, AB T2G 0V2

DATUM HOMES

REAR ATTACHED GARAGE ADDITION

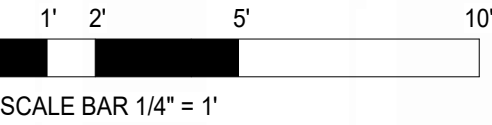
DRAWING TITLE:	DATE:
Building Elevation - East	2026 04 27

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SHEET	REVISION
A3.2	

#	Description	Date
Revision Schedule		



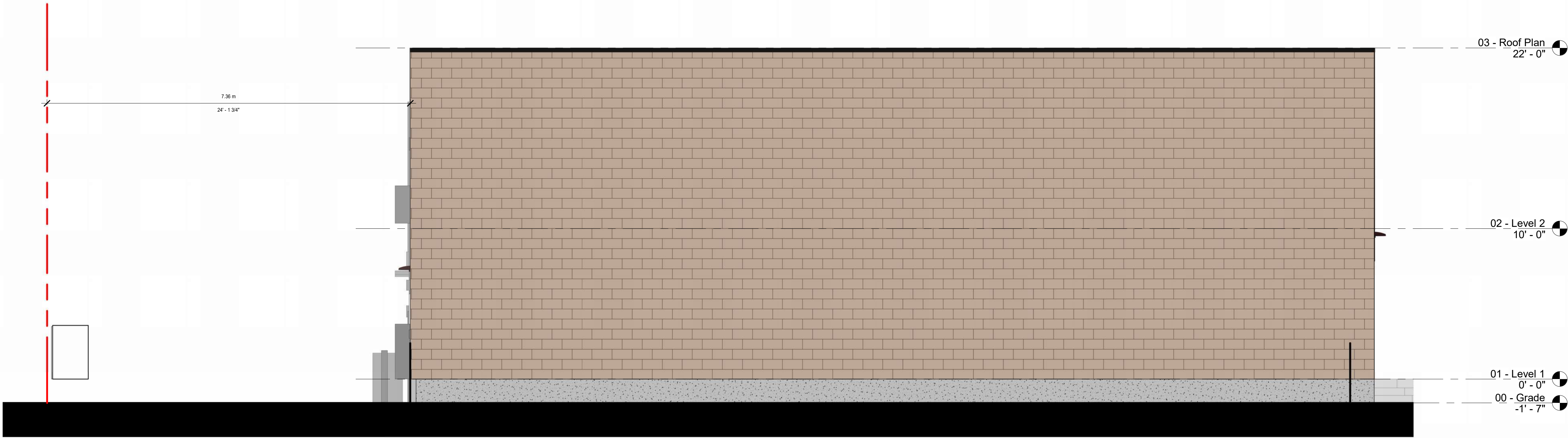
1918 9 Ave SE, Calgary, AB T2G 0V2
DATUM HOMES
REAR ATTACHED GARAGE ADDITION

DRAWING TITLE:	DATE:
Building Elevation - West	2026 04 27

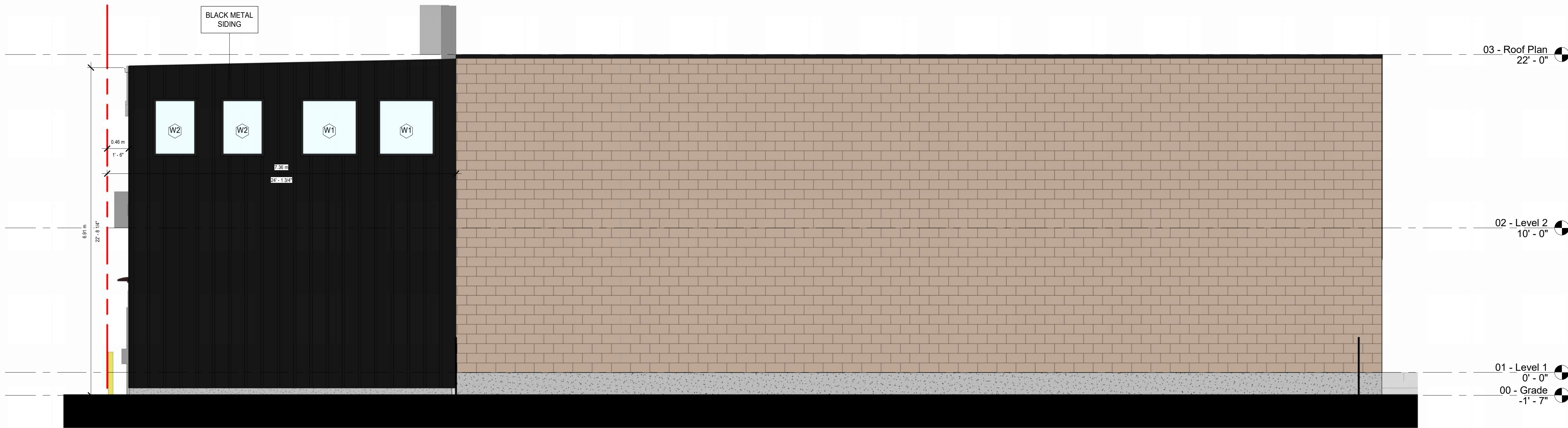
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SHEET	REVISION
A3.3	

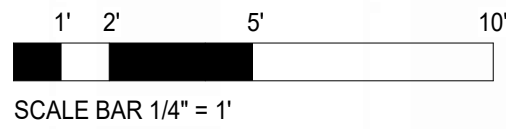


1 Building Elevation - West - Existing
A2.0 1/4" = 1'-0"

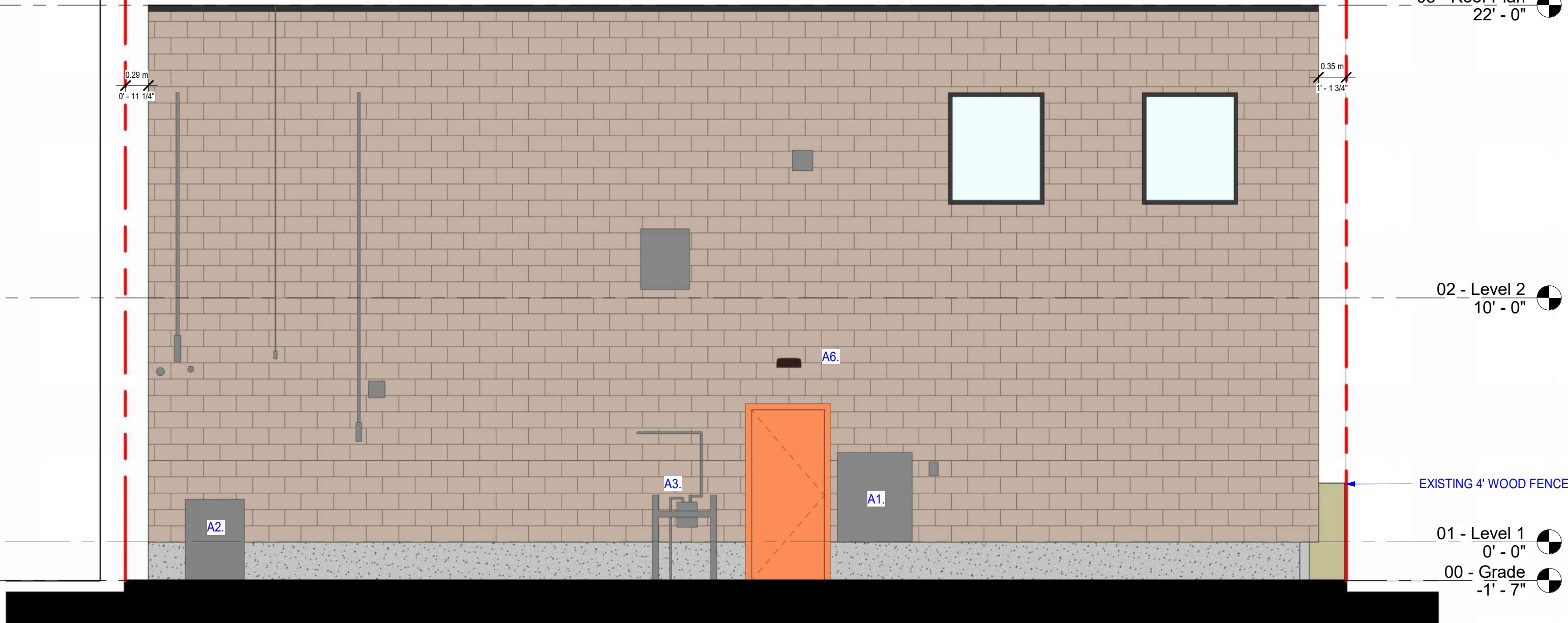


2 Building Elevation - West - Proposed
A2.0 1/4" = 1'-0"

#	Description	Date
Revision Schedule		

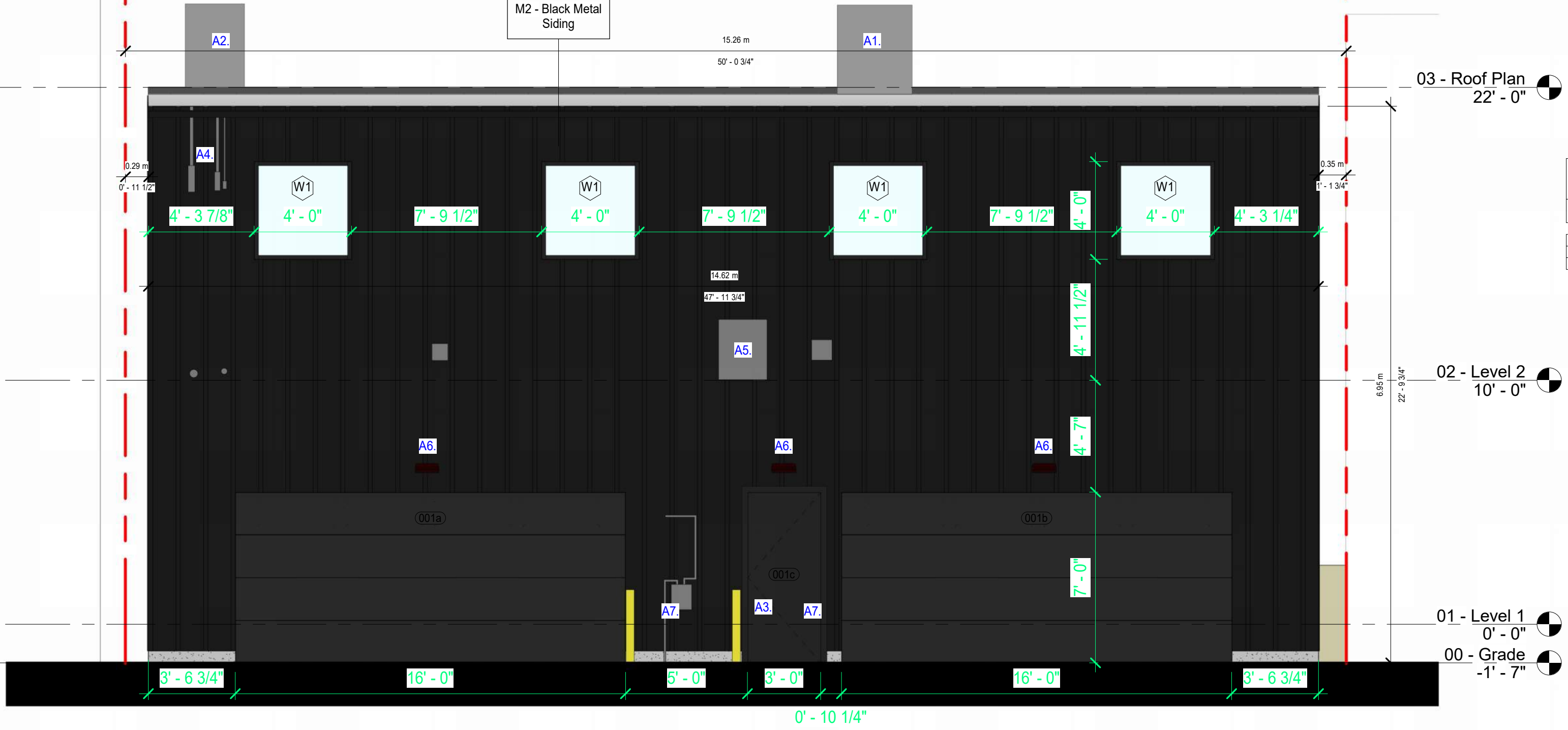


- ELEVATION NOTES:
- A1. EXISTING HEAT PUMP - RELOCATE TO ROOF
 - A2. EXISTING A/C CONDENSOR - RELOCATE TO ROOF
 - A3. EXISTING GAS METER - TO BE RELOCATED
 - A4. EXISTING ELECTRICAL/CABLE UTILITIES - - TO BE RELOCATED
 - A5. EXISTNG HVAC - - TO BE RELOCATED
 - A6. EXISTING SCONCE TO BE REMOVED



1 Building Elevation - North - Existing
A2.0 1/4" = 1'-0"

- ELEVATION NOTES:
- A1. RELOCATED HEAT PUMP
 - A2. RELOCATED A/C CONDENSOR
 - A3. RELOCATED GAS METER
 - A4. RELOCATED ELECTRICAL/CABLE UTILITIES
 - A5. RELOCATED EXISTING HVAC
 - A6. NEW EXTERIOR SCONCE
 - A7. CONCRETE BOLLARDS



2 Building Elevation - North - Proposed
A2.0 1/4" = 1'-0"

Door Schedule - Exterior													
Mark	Door		Operation	Door				Frame		Function	U-Value	SHCC	Details
	Width	Height		Material	Type	Glass	Finish	Material	Finish				
001a	16'-0"	7'-0"	OVER HEAD	Insulated Metal	Flush Panel	N/A	Black	Metal	Black	Exterior			1 HR FR
001b	16'-0"	7'-0"	OVER HEAD	Insulated Metal	Flush Panel	N/A	Black	Metal	Black	Exterior			1 HR FR
001c	3'-0"	7'-0"	SWING	Insulated Metal	Flush Panel	N/A	Black	Metal	Black	Exterior			1 HR FR

#	Description	Date
Revision Schedule		

