



AMENDED DRAWINGS
DP No DP2026-01994 Date Received JULY 30 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

GLANMORGAN 4PLEX w/ SUITES

24 GISSING DR.SW, CALGARY, AB



A00



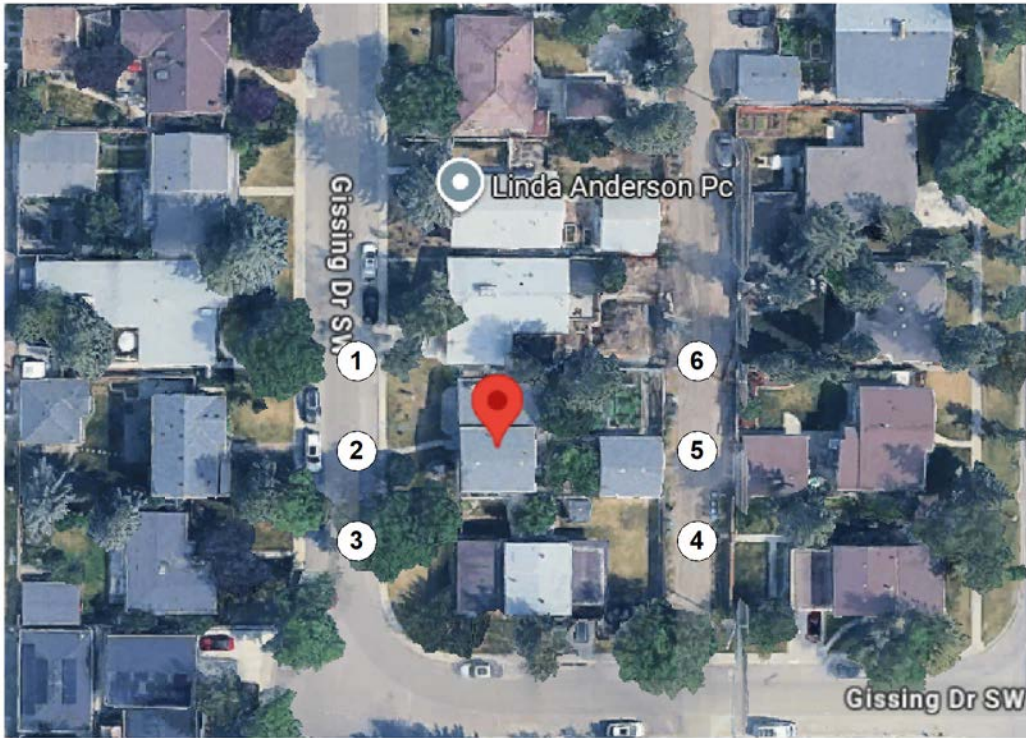
1 FRONT VIEW - NORTH NEIGHBOUR - 28 GISSING DR. SW



2 FRONT VIEW - SUBJECT PROPERTY - 24 GISSING DR. SW



3 FRONT VIEW - SOUTH NEIGHBOUR - 20 GISSING DR. SW



0 AERIAL VIEW



5 REAR VIEW - NORTH NEIGHBOUR - 28 GISSING DR. SW



6 REAR VIEW - SUBJECT PROPERTY - 24 GISSING DR. SW



7 REAR VIEW - SOUTH NEIGHBOUR - 20 GISSING DR. SW

ARC1
DESIGN BUILD

PHONE
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(403)816-6342
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DISCLAIMER

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PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES

ADDRESS 24 GISSING DR. SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 7/30/2026 3:23:29 PM

DRAWING

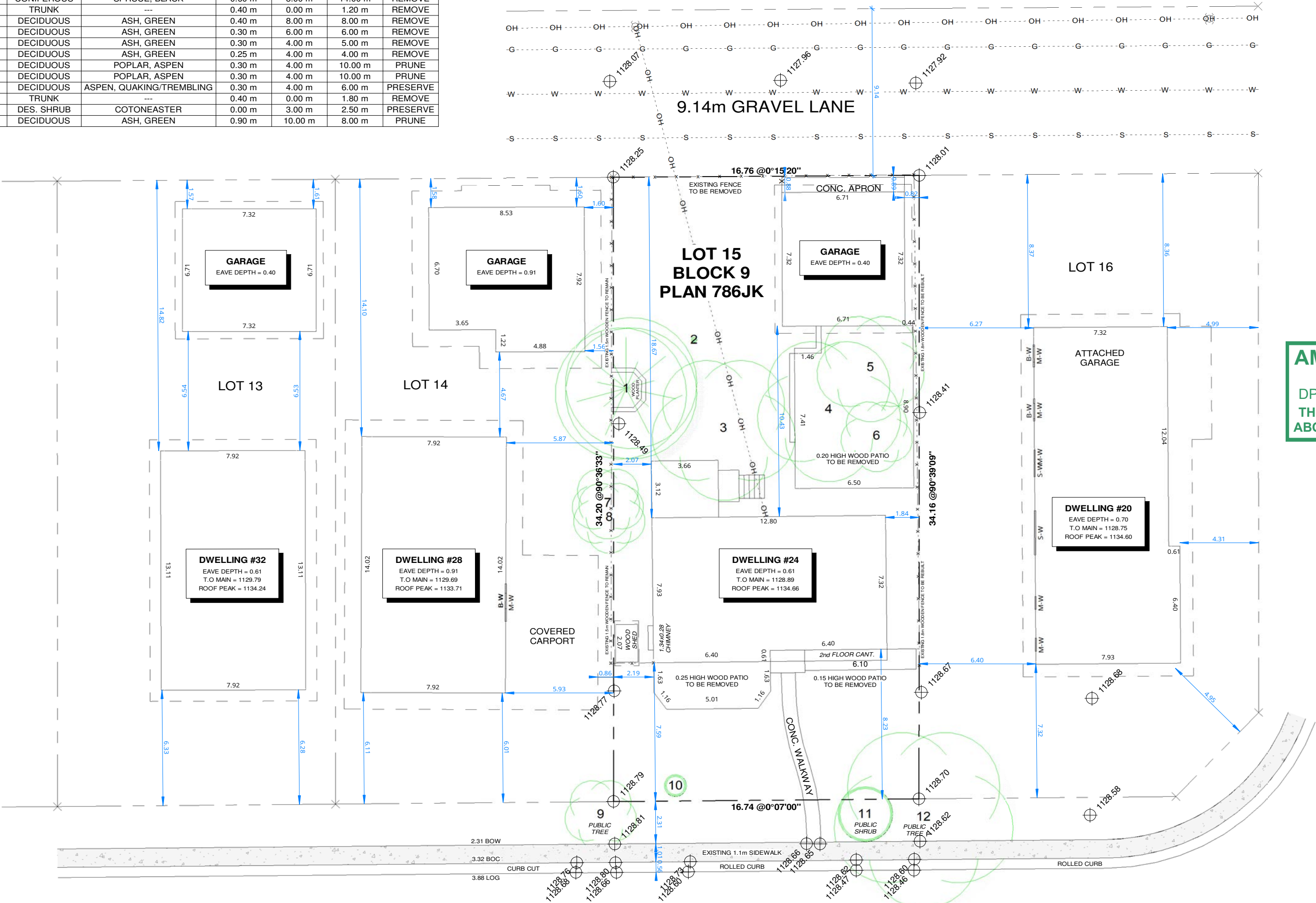
SITE PHOTOS

DRAWN BY SS
CHECKED BY SS
SHEET

A02

SCALE 1/2" = 1'-0"

TREE SCHEDULE						
#	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION
1	CONIFEROUS	SPRUCE, BLACK	0.60 m	8.00 m	14.00 m	REMOVE
2	TRUNK	---	0.40 m	0.00 m	1.20 m	REMOVE
3	DECIDUOUS	ASH, GREEN	0.40 m	8.00 m	8.00 m	REMOVE
4	DECIDUOUS	ASH, GREEN	0.30 m	6.00 m	6.00 m	REMOVE
5	DECIDUOUS	ASH, GREEN	0.30 m	4.00 m	5.00 m	REMOVE
6	DECIDUOUS	ASH, GREEN	0.25 m	4.00 m	4.00 m	REMOVE
7	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
8	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
9	DECIDUOUS	ASPEN, QUAKING/TREMBLING	0.30 m	4.00 m	6.00 m	PRESERVE
10	TRUNK	---	0.40 m	0.00 m	1.80 m	REMOVE
11	DES. SHRUB	COTONEASTER	0.00 m	3.00 m	2.50 m	PRESERVE
12	DECIDUOUS	ASH, GREEN	0.90 m	10.00 m	8.00 m	PRUNE



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DRAWING

BLOCK/SITE PLAN - EXISTING

DRAWN BY SS

CHECKED BY SS

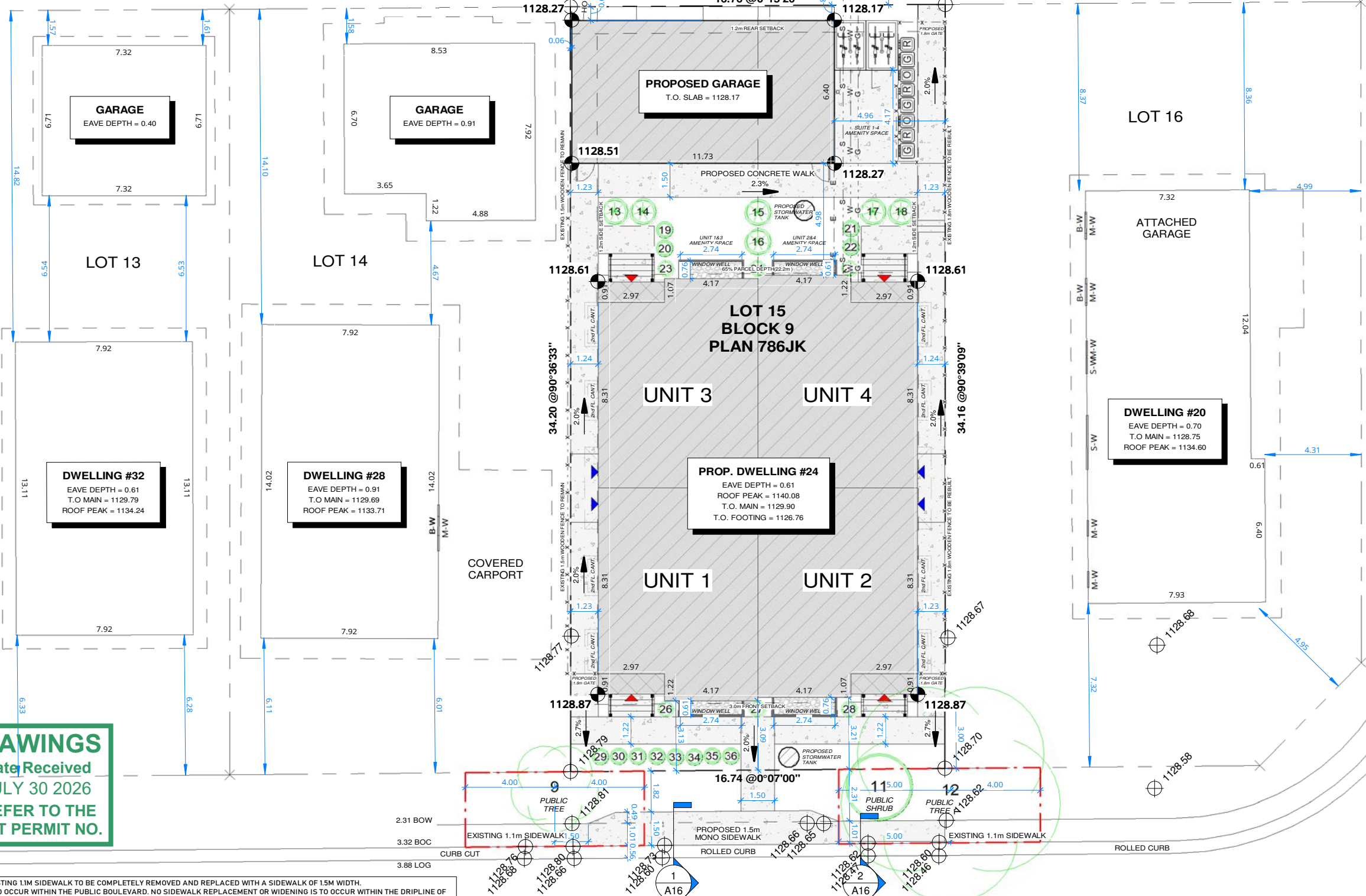
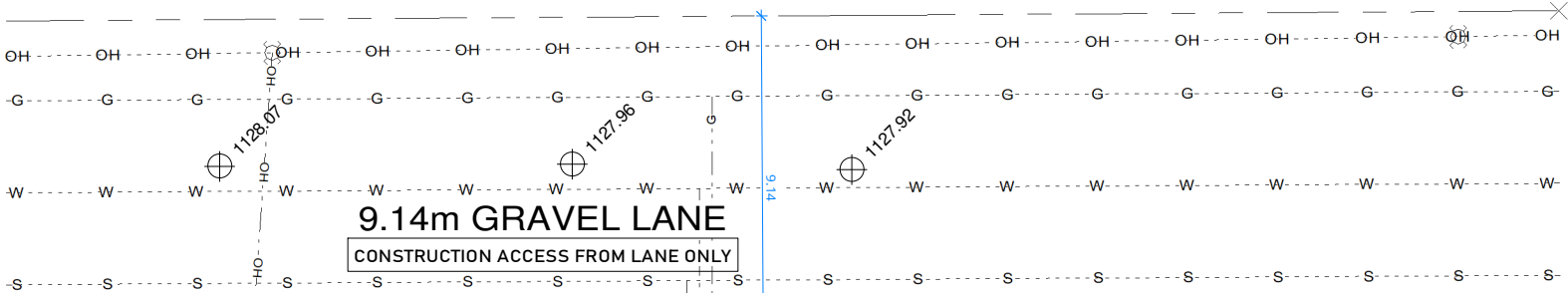
SHEET

A03

SCALE

1 : 200

TREE SCHEDULE						
#	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION
1	CONIFEROUS	SPRUCE, BLACK	0.60 m	8.00 m	14.00 m	REMOVE
2	TRUNK	---	0.40 m	0.00 m	1.20 m	REMOVE
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4	DECIDUOUS	ASH, GREEN	0.30 m	6.00 m	6.00 m	REMOVE
5	DECIDUOUS	ASH, GREEN	0.30 m	4.00 m	5.00 m	REMOVE
6	DECIDUOUS	ASH, GREEN	0.25 m	4.00 m	4.00 m	REMOVE
7	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
8	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
9	DECIDUOUS	ASPEN, QUAKING/TREMBLING	0.30 m	4.00 m	6.00 m	PRESERVE
10	TRUNK	---	0.40 m	0.00 m	1.80 m	REMOVE
11	DES. SHRUB	COTONEASTER	0.00 m	3.00 m	2.50 m	PRESERVE
12	DECIDUOUS	ASH, GREEN	0.90 m	10.00 m	8.00 m	PRUNE
13-18	CONIFEROUS	ROCKY MOUNTAIN JUNIPER			2.00 m	PLANT
19-22	DECIDUOUS	WOLF WILLOW		0.60 m		PLANT
23-28	CONIFEROUS	MUGO PINE		0.60 m		PLANT
29-36	DECIDUOUS	WOLF WILLOW		0.60 m		PLANT



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EXISTING 1.1M SIDEWALK TO BE COMPLETELY REMOVED AND REPLACED WITH A SIDEWALK OF 1.5M WIDTH.
NO GRADE CHANGES ARE TO OCCUR WITHIN THE PUBLIC BOULEVARD. NO SIDEWALK REPLACEMENT OR WIDENING IS TO OCCUR WITHIN THE DRIPLINE OF
TREE T9 AND TREE T12. PRIOR TO CONSTRUCTION, AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE TO MITIGATE POSSIBLE ROOT DAMAGE TO ADJACENT
PUBLIC TREES DURING WALKWAY INSTALLATION. CONTACT URBAN FORESTRY AT 311 A MINIMUM TWO BUSINESS DAYS PRIOR TO MEETING ONSITE .

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PARCEL COVERAGE (59.80%)

AREA TYPE	(m²)	(ft²)
PARCEL AREA	572.2 m²	6159.0 ft²
BUILDINGS		
BOXOUT	1.3 m²	13.7 ft²
COVERED PORCH	10.9 m²	117.0 ft²
DWELLINGS	254.9 m²	2743.8 ft²
GARAGES	75.1 m²	808.6 ft²

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BLOCK/SITE PLAN - PROPOSED

DRAWN BY SS

CHECKED BY SS

SHEET

A04

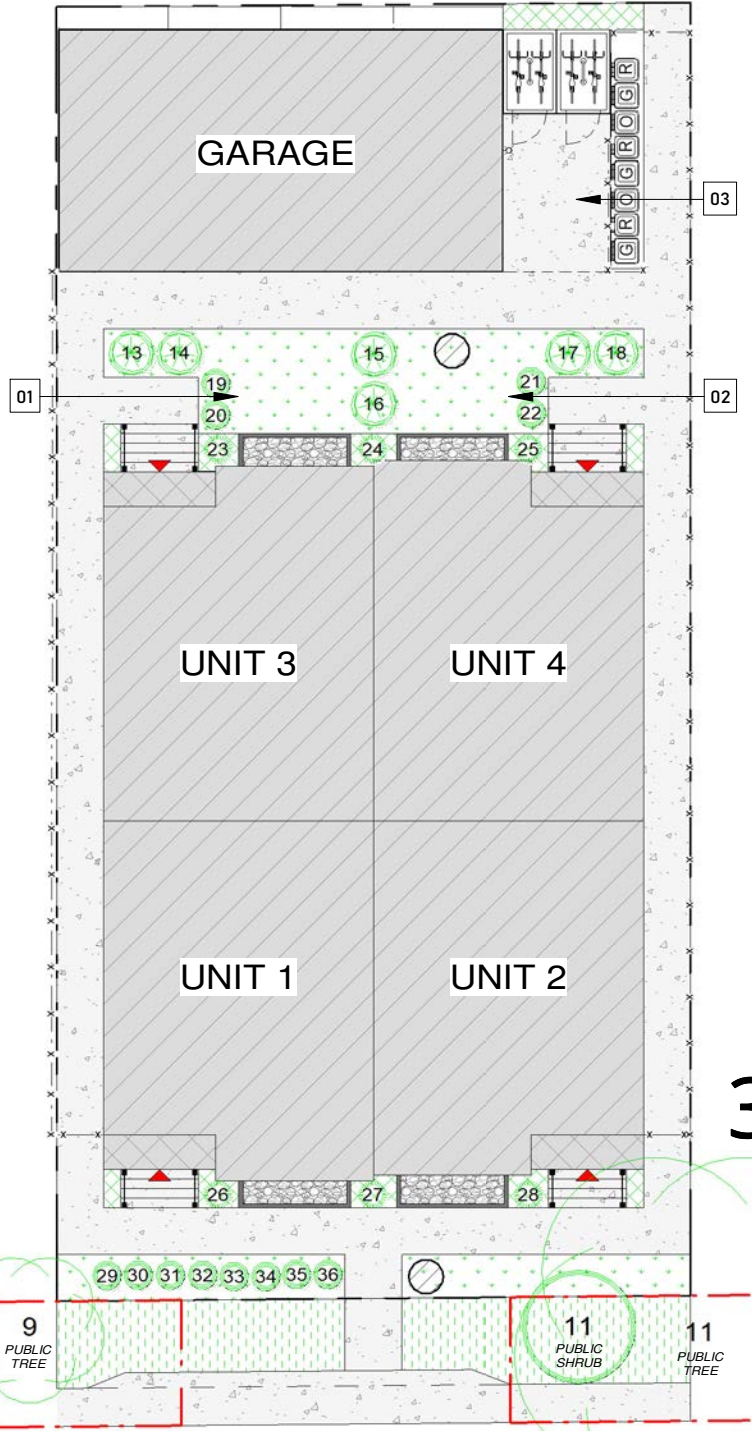
SCALE 1 : 200

LANDSCAPING NOTES

- PLANTING**
1. ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.
 2. ALL TREE AND SHRUB AREAS (PLANTING BEDS) TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. CONTRACTOR TO SUPPLY AND INSTALL AUTOMATIC IRRIGATION CONTROLLER(S) AS REQUIRED TO ADEQUATELY IRRIGATE TREES AND SHRUBS ONLY AS DEFINED BY CITY OF CALGARY LOW WATER IRRIGATION SYSTEM REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING IRRIGATION SCHEDULE DURING GROW IN STAGE AND ADJUST RUN TIMES ACCORDINGLY THROUGHOUT THE MAINTENANCE PERIOD. IRRIGATION MAINTENANCE SHALL INCLUDE ONE FALL WINTERIZATION AND SPRING START UP.
 3. ALL CONIFEROUS TREE BEDS AND ALL SHRUB BEDS TO BE WOOD MULCHED.
 4. DIFFERENT VARIETIES OF TREE AND SHRUB SPECIES WILL BE PROVIDED TO AVOID MONO-CULTURE AND REDUCE RISK OF INSECT DAMAGE AND DISEASE. IT WILL ALSO PROVIDE SEASONAL VARIETY AND ENHANCE VISUAL INTEREST.
 5. ALL LANDSCAPE CONSTRUCTION TO BE IN ACCORDANCE W/ CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION - CURRENT EDITION.
 6. CONTRACTOR TO ENSURE THE LOCATION OF ALL UNDERGROUND UTILITIES ARE MARKED PRIOR TO CONSTRUCTION START (CALL BEFORE YOU DIG 1-800-242-3447).
 7. ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM, SPECIMEN GRADE SINGLE STEM STOCK - UNLESS OTHERWISE SPECIFIED AND SHALL BE DUG AND INSTALLED TO CURRENT CNLA STANDARDS - CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR ONE YEAR.
 8. ALL PLANTING BEDS TO BE MULCHED WITH MIN. 50mm DEPTH CLEAN BARK MULCH.
 9. PROVIDE MIN. SOIL DEPTH OF 600mm FOR PLANTING BEDS WITH SHRUBS AND 300mm IN ALL OTHER AREAS.
 10. ALL TURF AREAS TO BE SOD INSTALLED ON 300mm MIN. OF TOPSOIL.
 11. ALL SODDED AREAS ARE TO BE PLANTED WITH DROUGHT TOLERANT GRASS SPECIES.
 12. TOPSOIL TO BE ROCK PICKED & CLEANED TO CITY OF CALGARY SPECS. PRIOR TO SOD INSTALLATION.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE PROTECTION MEASURES TO PREVENT RABBIT DAMAGE.
 14. CONTRACTOR SHALL BE RESPONSIBLE FOR CARE, MAINTENANCE AND ESTABLISHMENT OF SITE THROUGH THE C.C.C.
 15. MAINTENANCE OF SITE FROM C.C.C. TO F.A.C. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 16. TREES SHALL NOT BE PLACED WITHIN ANY UTILITY RIGHTS-OF-WAY.
 17. MAINTAIN 4.0m SETBACK FROM BUS PADS, MAILBOXES, & STREETLIGHTS; 2.5m SETBACK FROM LOT SERVICING UTILITIES; 2.5m SETBACK FROM HYDRANTS; 3.0m SETBACK FROM DEEP UTILITY MAINLINES; 2.0m SETBACK FROM SHALLOW UTILITIES (ATCO, ENMAX, TV, PHONE); AND 1.0m SETBACK FROM DRIVEWAYS. A REVISED SETBACK OF 3.0m FROM UTILITIES MAY BE REQUIRED AT THE DISCRETION OF THE UTILITY OWNER.
- PUBLIC TREE PROTECTION**
1. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
 2. ALL STAGING, HOARDING AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.
 3. AN URBAN FORESTRY TECHNICIAN (3-1-1) SHALL BE CONTACTED TO BE ON-SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:
 - i. COMMENCEMENT
 - ii. WHEN EXISTING WALKWAY IS REMOVED
 - iii. WHEN CLEARANCE PRUNING COMMENCES
 4. TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION:
 - i. BRANCH PRUNING, IF REQUIRED FOR CLEARANCE OF NEW BUILDING.
 - ii. IF ELEVATION PRUNING IS REQUIRED FOR INSTALLATION OF SERVICES, AN INDEMNIFIED CONTRACTOR FROM THE CITY APPROVED CONTRACTORS LIST MUST BE USED AND WRITTEN APPROVAL MUST BE GIVEN FROM PARKS URBAN FORESTRY PRIOR TO PRUNING.
 - iii. ROOT PRUNING AS REQUIRED DURING FOUNDATION EXCAVATIONS.
 - iv. APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE.
 - v. SUPPLEMENTAL WATERING, WHEN REQUIRED.
 - vi. SOIL AERATION, WHERE REQUIRED.
 - vii. PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENCR OACH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
 5. TREE PROTECTION MEASURES POST CONSTRUCTION:
 - i. SUPPLEMENTAL WATERING, WHEN REQUIRED.
 - ii. SOIL AERATION, WHERE REQUIRED.
 6. ON-SITE TREE PROTECTION ADMINISTRATOR:
 - i. _____
 - ii. CONTACT # _____
 7. THE TREE PROTECTION ADMINISTRATOR SHALL ENSURE ALL CONSTRUCTION WORK ADHERES TO THE APPROVED TREE PROTECTION PLAN AND THAT ALL CONTRACTED STAFF WORKING ON-SITE ARE AWARE OF THE TREE PROTECTION BYLAW AND THE APPROVED TREE PROTECTION PLAN.

TREE SCHEDULE						
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11	DES. SHRUB	COTONEASTER	0.00 m	3.00 m	2.50 m	PRESERVE
12	DECIDUOUS	ASH, GREEN	0.90 m	10.00 m	8.00 m	PRUNE

9.14m GRAVEL LANE



GISSING DRIVE S.W.

LANDSCAPED AREAS		
TYPE	AREA	AREA

HARD SURFACED		
GRAVEL	81 ft²	7.6 m²
CONCRETE	1,329 ft²	123.5 m²
	1,411 ft²	131 m²

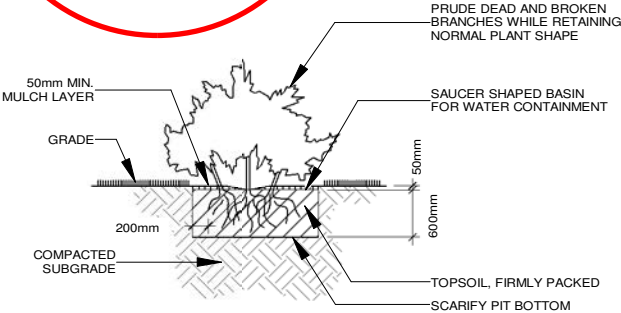
SOFT SURFACED		
SOD	584 ft²	54.3 m²
MULCH	203 ft²	18.9 m²
	787 ft²	73.1 m²

TOTAL AREA	2,198 ft²	204.2 m²
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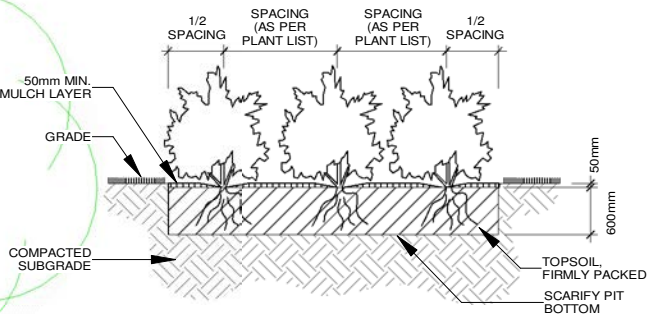
AMENITY SPACES		
#	TYPE	AREA

1	SHARED - UNITS 1&3	138 ft²
2	SHARED - UNITS 2&4	138 ft²
3	SHARED - SUITES 1-4	105 ft²
TOTAL		381 ft²

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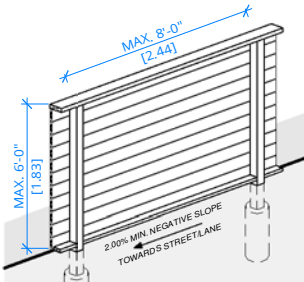
3 SHRUB PLANTING DETAIL - PIT
1/8" = 1'-0"



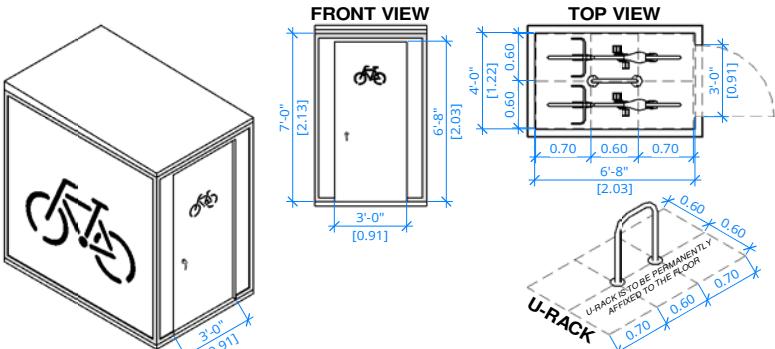
4 SHRUB PLANTING DETAIL - BED
1/8" = 1'-0"

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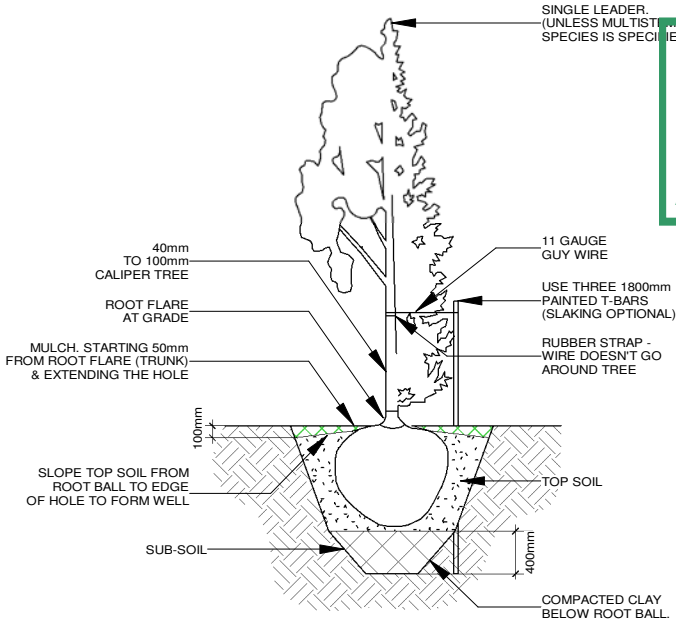
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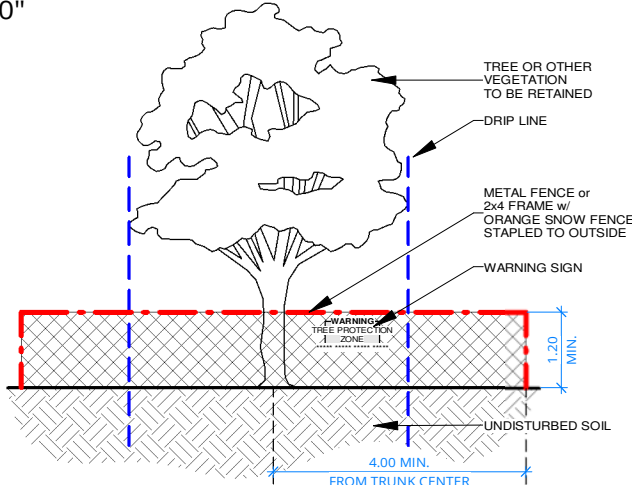
1 FENCE DETAIL
1/8" = 1'-0"



2 BICYCLE LOCKER - HORIZONTAL (DOUBLE)
1/8" = 1'-0"



5 TREE PLANTING DETAIL - SPADE DUG
1" = 10'-0"



6 TREE PROTECTION ZONE DETAIL
1" = 10'-0"

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DRAWING

LANDSCAPE PLAN

DRAWN BY SS

CHECKED BY SS

SHEET

A05

SCALE As indicated



1 FRONT ELEVATION
1/8" = 1'-0"

2 REAR ELEVATION
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EXTERIOR FINISHES

TAG #	DESCRIPTION
01	HARDIEBOARD HORIZONTAL SIDING, WARM DUNE
02	HARDIEBOARD VERTICAL SIDING, WARM DUNE
03	SMARTBOARD PANELS, BURNT ORANGE
04	ALUMINUM FASCIA, DARK GREY
05	SMARTBOARD TRIM, TEAKWOOD
06	ASPHALT SHINGLES, DARK GREY

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FRONT & REAR ELEVATIONS

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A11

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DRAWING	
LEFT ELEVATION	
DRAWN BY	TK
CHECKED BY	SS
SHEET	
A12	
SCALE	1/8" = 1'-0"



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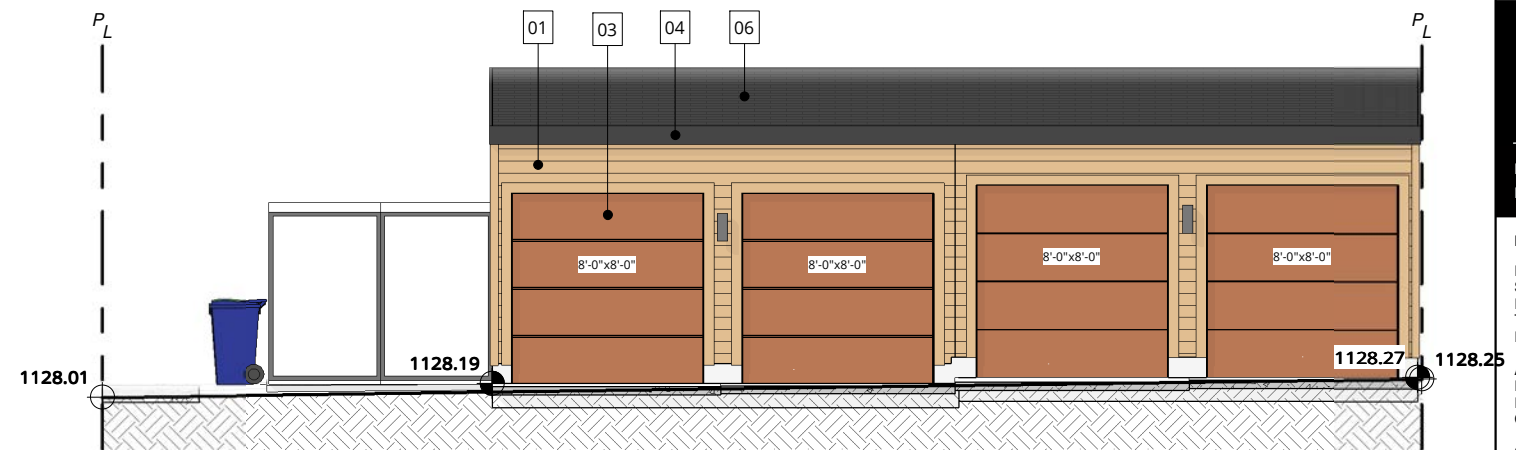
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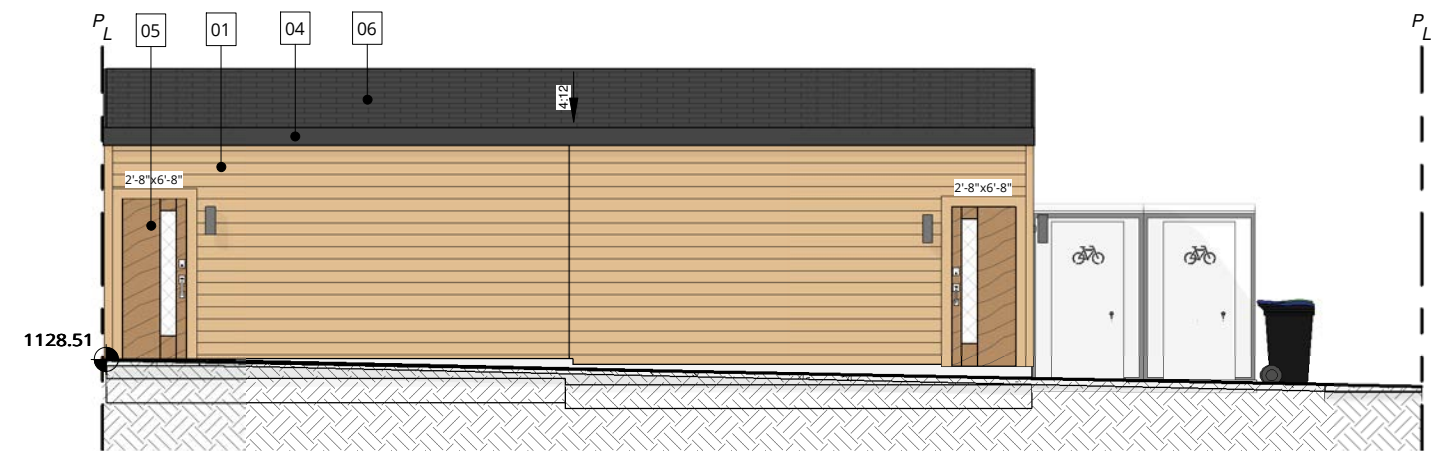
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DRAWING	
RIGHT ELEVATION	
DRAWN BY	TK
CHECKED BY	SS
SHEET	A13
SCALE	1/8" = 1'-0"

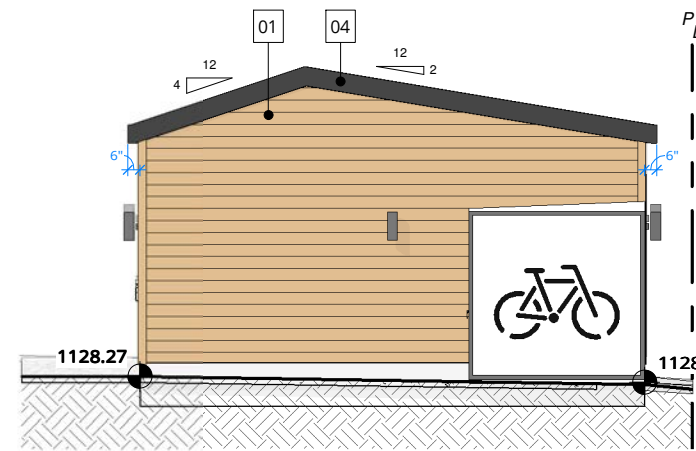


4 GARAGE - FRONT ELEVATION
1/8" = 1'-0"

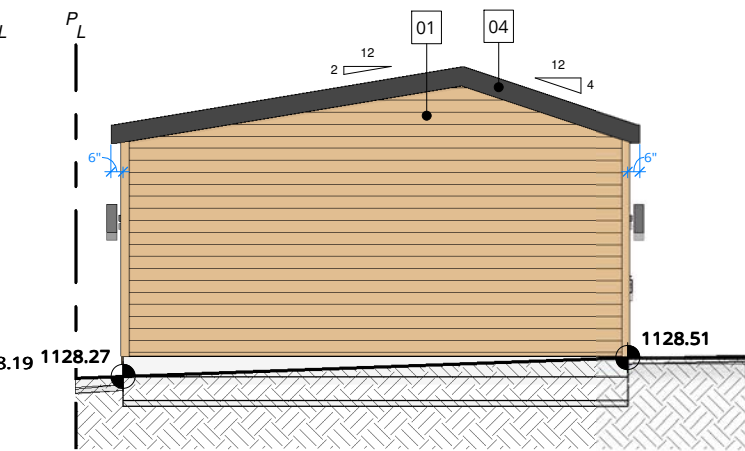


5 GARAGE - REAR ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES	
TAG #	DESCRIPTION
01	HARDIEBOARD HORIZONTAL SIDING, WARM DUNE
02	HARDIEBOARD VERTICAL SIDING, WARM DUNE
03	SMARTBOARD PANELS, BURNT ORANGE
04	ALUMINUM FASCIA, DARK GREY
05	SMARTBOARD TRIM, TEAKWOOD
06	ASPHALT SHINGLES, DARK GREY



6 GARAGE - LEFT ELEVATION
1/8" = 1'-0"



7 GARAGE - RIGHT ELEVATION
1/8" = 1'-0"

ARC1
DESIGN BUILD

PHONE (403)816-6342
EMAIL info@arc1design.ca

DISCLAIMER

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ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

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DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.11	7/30/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES

ADDRESS 24 GISSING DR.SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 7/30/2026 3:23:52 PM

DRAWING

GARAGE 1

DRAWN BY TK

CHECKED BY SS

SHEET

A17

SCALE 1/8" = 1'-0"

THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

TO BE BUILT AS PER SPV-003