



GLANMORGAN 4PLEX w/ SUITES

24 GISSING DR.SW, CALGARY, AB



SHEET LIST		
SHEET#	SHEET NAME	ISSUED
A00	COVER PAGE	7/16/2026
A01	NOTES & LEGENDS	7/16/2026
A02	SITE PHOTOS	7/16/2026
A03	BLOCK/SITE PLAN - EXISTING	7/16/2026
A04	BLOCK/SITE PLAN - PROPOSED	7/16/2026
A05	LANDSCAPE PLAN	7/16/2026
A06	BASEMENT PLAN	7/16/2026
A06E	BASEMENT - ELECTRICAL	7/16/2026
A07	MAIN FLOOR PLAN	7/16/2026
A07E	MAIN - ELECTRICAL	7/16/2026
A08	SECOND FLOOR PLAN	7/16/2026
A08E	SECOND - ELECTRICAL	7/16/2026
A09	THIRD FLOOR PLAN	7/16/2026
A09E	THIRD - ELECTRICAL	7/16/2026
A10	ROOF PLAN	7/16/2026
A11	FRONT & REAR ELEVATIONS	7/16/2026
A12	LEFT ELEVATION	7/16/2026
A13	RIGHT ELEVATION	7/16/2026
A14	SECTION 1	7/16/2026
A15	SECTION 2	7/16/2026
A16	SECTION 3	7/16/2026
A17	GARAGE 1	7/16/2026
A18	GARAGE 2	7/16/2026
A19	DETAILS 1	7/16/2026
A20	DETAILS 2	7/16/2026
A21	DETAILS 3	7/16/2026
A22	DETAILS 4	7/16/2026

FLOOR PLAN LEGEND	
	INTERIOR WALLS (2x4)
	INTERIOR PLUMBING WALLS (2x6)
	INTERIOR SMOKE SEPARATION WALLS (2x6)
	EXTERIOR FOUNDATION WALLS
	EXTERIOR WALLS (2x6)
	TALL WALLS
	PARTY WALLS (2-2x4)
	FIRE WALL (8" CONCRETE) (2-2x6)

ELEVATION LEGEND	
	OPERABLE WINDOW
	CLEAR GLASS
	OBSCURED GLASS
	PROTECTED OPENINGS (WIRED GLASS OR FIRE SHUTTERS)

MECHANICAL LEGEND	
	TANKLESS WATER HEATER
	FLOOR DRAIN
	SUMP PUMP
	HOT WATER TANK
	RADON DEPRESSURIZATION
	COMBUSTION AIR & FRESH AIR VENTS
	HEAT RECOVERY VENTILATOR (HRV)
	HIGH EFFICIENCY FURNACE

SITE LEGEND	
	SUBJECT PROPERTY
	ADJACENT PROPERTY
	SETBACKS
	ROOF OVERHANG
	WINDOW WELLS
	UNDERGROUND ELECTRICAL
	OVERHEAD ELECTRICAL
	GAS
	WATER
	SANITARY
	STORM
	FENCE
	TREE PROTECTION ZONE
	LIMIT OF LAND DISTURBANCE
	RETAINING WALLS

	EXISTING BUILDINGS
	DWELLING, GARAGE & M.F. PROJECTIONS
	COVERED PORCH & ROOF DEPTH >1.0m
	WOOD DECK
	EXISTING LANDSCAPING
	SOD on 130mm TOPSOIL
	MULCH BED
	CONCRETE PAD/WALK
	EXPOSED AGGREGATE
	GRAVEL
	BRICK WALK
	CONSTRUCTION MATERIAL STORAGE
	VISIBILITY TRIANGLE

	EXISTING GEODETTICS
	PROPOSED GEODETTICS
	CONIFEROUS TREES
	DECIDUOUS TREES
	CONIFEROUS SHRUBS
	DECIDUOUS SHRUBS
	GARBAGE, RECYCLING, & ORGANICS BINS
	DWELLING ACCESS
	SECONDARY SUITE ACCESS

	BACK OF SIDEWALK BACK OF CURB LIP OF GUTTER
	TOP OF WALL BOTTOM OF WALL
	BASEMENT, MAIN, SECOND & THIRD FLOOR WINDOW
	BASEMENT, MAIN, SECOND & THIRD FLOOR DOOR
	FRONT SETBACK REAR SETBACK SIDE SETBACK

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	SWITCH - SINGLE
	SWITCH - 3-WAY
	SWITCH - 4-WAY
	SWITCH - DIMMER
	OUTLET - 110V
	OUTLET - FLOOR MOUNTED
	OUTLET - SWITCHED
	OUTLET - WEATHERPROOF
	OUTLET - GROUND FAULT INTERRUPT
	OUTLET - 220V
	DIRECT CONNECTION
	CABLE TV
	DATA/PHONE
	MOTION DETECTOR
	THERMOSTAT
	LIGHT - CEILING MOUNTED
	LIGHT - POT
	LIGHT - PULL CHAIN
	LIGHT - WALL MOUNTED
	LIGHT - TRACK
	LIGHT - UNDER CABINET
	LIGHT - WRAP AROUND
	LIGHT - PANEL
	SMOKE DETECTOR
	SMOKE & CO DETECTOR
	EXIT LIGHT c/w BATTERY PACK
	BATHROOM FAN
	VACUFLOW
	ELECTRICAL PANEL
	ELECTRICAL WIRE

PROJECT DATA/BYLAW/CODE REVIEW		
ITEM	DESCRIPTION	REFERENCE
LAND USE (EXISTING)	R-CG (RESIDENTIAL - GRADE-ORIENTED INFILL)	
PROJECT TYPE	TOWNHOUSE (4-UNITS), SECONDARY SUITES, ACCESSORY RESIDENTIAL BUILDING	
FLOOD PROTECTION ZONE	N/A	
AVPA	N/A	
LANDFILL SETBACK	N/A	
ABANDONED WELLS	N/A	
HERITAGE STATUS	N/A	
APPLICABLE BYLAW	CITY OF CALGARY LUB1P2007	09/10/2025
PERMITTED USES	SECONDARY SUITES, ACCESSORY RESIDENTIAL BUILDING	526
DISCRETIONARY USES	TOWNHOUSE (4-UNITS)	527
DENSITY	MAX. 75 UNITS/HECTARE, PARCEL 572.2m² => MAX. 4 UNITS	529
PARCEL COVERAGE	4 UNITS, MAX 60.0%	534
BUILDING DEPTH AND SEPARATION	65% OF PARCEL DEPTH, 22.2m	534
BUILDING SETBACKS	FRONT: 3.0m	537
	SIDES: 1.2m	539(1)
	REAR: 1.2m (LANED PARCEL)	539(2)
BUILDING HEIGHT	MAX. 11.0m FROM GRADE	541(1)
	MAX. 8.6m BETWEEN GREATER OF 60% BUILDING DEPTH OR CONTEXTUAL BUILDING DEPTH AVERAGE AND REAR PROPERTY LINE	541(4)
	NOTE: ROWHOUSE PROPOSED ON ADJACENT SOUTH PROPERTY	
LANDSCAPING REQUIREMENTS	SOFT SURFACE MIN. 30%, PROVIDED: 35.8%	542
PLANTING REQUIREMENTS	MIN. 1 TREE & 3 SHRUBS/110m² => 572.20m²/110m² MIN. 6 TREES/18 SHRUBS, PROVIDED: 6 TREES/18 SHRUBS	542.2
AMENITY SPACE	PROVIDED: 381 ft²	543
MV PARKING STALLS	MIN. 4.0	546
STANDARDS FOR MV STALLS	MIN. 5.9m D x 3.1m W	122(4)
BICYCLE PARKING STALLS	MIN. [(4UNITS+4SUITES-4STALLS)x1.0=4], PROVIDED: 4	546.2
WASTE, RECYCLING & ORGANICS	PROVIDED SCREENED AREA FOR 8 BINS	546.3
APPLICABLE BUILDING CODE	NATIONAL BUILDING CODE OF CANADA - ALBERTA ED.	2023

CONSTRUCTION NOTES	
GENERAL	
1. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL. ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION. ONCE CONSTRUCTION COMMENCES, IT IS ASSUMED THAT THE OWNER AND/OR CONTRACTOR HAVE ACCEPTED THE DRAWINGS AS TRUE, CORRECT AND COMPLETE.	
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND ANY OTHER APPLICABLE ENGINEERING DRAWINGS AND SPECIFICATIONS PROVIDED FOR THIS PROJECT.	
3. MANUFACTURER'S SPECIFICATIONS ARE TO TAKE PRECEDENCE OVER TYPICAL DETAILS SHOWN IN THESE DRAWINGS.	
4. ALL BUILDING OUTLINES, ELEVATIONS AND LEVELS ARE INDICATIVE ONLY. ALLOW FOR MINOR VARIATIONS DUE TO MARGIN OF ERROR OF THE SURVEYED INFORMATION, GROUND MOVEMENT AND ACTUAL MATERIAL SIZE. MINOR VARIATIONS ARE CONSIDERED TO BE +/- 25mm (1").	
5. CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.	
6. ALL BUILDING DIMENSIONS ARE TO FACE OF CONCRETE, STUD, OR SHEATHING.	
7. ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.	
8. ALL FRAMING TO BE S.P.F. #2 OR BETTER.	

SITE	
1. ALL DIMENSIONS ARE IN METERS, UNLESS OTHERWISE SHOWN.	
2. THIS PROPERTY DOES NOT FALL WITHIN THE FLOODWAY, FLOOD FRINGE, OR OVERLAND FLOW REGION ACCORDING TO THE www.calgary.ca FLOOD HAZARD MAP.	

AIR BARRIER SYSTEM	
1. ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT.	
2. HOUSE WRAP APPROACH (HWA).	

BASEMENT	
1. CONTRACTOR TO DETERMINE IF SOIL CONDITIONS ARE SUITABLE BEFORE START OF CONSTRUCTION.	
2. ALL FOOTINGS TO BE PLACED ON UNDISTURBED NATIVE SOIL AND BE A MIN OF 4" BELOW GRADE. STEP FOOTING AS REQUIRED.	
3. POSTS AND COLUMNS SHALL BE CENTERED ON CONCRETE PADS. SIZES TO BE DETERMINED BY STRUCTURAL ENGINEER.	
4. PROVIDE SLEEVES THROUGH CONCRETE FOR FURNACE C/A & F/A VENTS.	

ELECTRICAL	
1. ELECTRICAL LAYOUT SHOWN IS ONLY TO BE USED AS A GUIDELINE.	
2. FINAL LAYOUT TO BE CONFIRMED WITH THE CLIENT DURING THE PRE-INSTALLATION WALK-THROUGH. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN MEETS MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES.	
ELEVATION	
1. FINAL GRADES MAY ALTER EXTERIOR APPEARANCE.	
2. TOP OF DECK TO BE 3" BELOW TOP OF FLOOR UNLESS NOTED.	

EXTERIOR WINDOWS, DOORS AND SKYLIGHTS

1.	THERMAL CHARACTERISTICS			
	MAX. U-VALUE	MIN. RSI-VALUE	MAX. U-VALUE	MIN. ENERGY RATING
	WINDOWS & DOORS	0.625	1.61	25
	SKYLIGHTS	0.370	2.75	
	VEHICLE ACCESS DOOR	1.100	0.91	

2.	FENESTRATION PERFORMANCE REQUIREMENTS	
	TERRAIN TYPE	ROUGH
	PERFORMANCE CLASS	R
	PERFORMANCE GRADE	PG 25
	MIN. POSITIVE DESIGN PRESSURE	1,200 PA
	MIN. NEGATIVE DESIGN PRESSURE	1,200 PA
	MIN. WATER PENETRATION RESISTANCE TEST PRESSURE	260 PA
	MIN. CANADIAN AIR INFILTRATION/EXFILTRATION	A2

3. GLAZING INSTALLED OVER STAIRS, RAMPS AND LANDINGS THAT IS LESS THAN 900mm (3') ABOVE THE SURFACE OF THE TREADS, RAMP OR LANDING SHALL BE PROTECTED BY GUARDS OR BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LATERAL LOADS FOR BALCONY GUARDS AS PROVIDED IN ARTICLE 4.1.5.14 OF THE NBC 2023-AE.

4. LINTELS FOR OPENINGS UP TO 6'-0" TO BE 2-2x8 SPF #2, AND OVER 6'-0" TO BE 2-2x10 SPF #2 (UNLESS OTHERWISE NOTED).

5. ALL WINDOW AND DOOR TOPS TO HAVE FLASHING.

CONSTRUCTION NOTES	
MECHANICAL	
1. HVAC	- AC, SPLIT SYSTEM: SEER = 14.5 - GAS-FIRED BOILER: AFUE ≥ 90% - GAS-FIRED FURNACE: AFUE ≥ 95%
2. HEAT RECOVERY VENTILATOR (HRV)	MIN. SENSIBLE HEAT RECOVERY, EFFICIENCY OF 60%
3. SERVICE WATER & IN-FLOOR HEATING	- ELECTRIC, STORAGE: SL ≤ 35+(0.20V) - GAS-FIRED STORAGE: UEF ≥ 0.3456-(0.00053V) - GAS-FIRED TANKLESS: UEF ≥ 0.86

ROOF	
1. TRUSS MANUFACTURER MUST VERIFY ALL ROOF SLOPES AND THE CEILING HEIGHTS/SLOPES IN EACH ROOM PRIOR TO MATERIAL ORDER.	
2. ROOF SHALL BE VENTED AS PER THE NBC 2023-AE.	
3. 24" OVERHANG c/w ROUGH FASCIA & SOFFIT UNLESS NOTED.	
4. 22"x30" SKYLIGHTS AND ROOF ACCESS HATCH TO FIT WITHIN THE 22.5" CLEARANCE BETWEEN TRUSSES.	
5. ROOFING MATERIALS MUST MEET OR EXCEED THE IMPACT RESISTANCE OF A CLASS 4 RATED ROOFING SYSTEM WITH IMPACT RATING FOR UL2218 or FM4473.	

SECONDARY SUITES	
1. SECONDARY SUITE EXTERIOR ENTRY DOORS TO BE INSULATED HOLLOW METAL DOORS WITH A 45 MIN. FIRE RATING, AND BE PROVIDED WITH SELF-CLOSING DEVICES.	
2. DOORS LOCATED IN SMOKE SEALED WALLS TO BE MIN. 45mm THICK SOLID CORE WOOD, C/W SELF-CLOSING DEVICE, SWEEP, AND A PERIMETER SMOKE SEAL.	

SOLAR READINESS	
1. ALL DWELLING UNITS ARE TO BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS FOR ELECTRICITY GENERATION WITH A MIN.: 2.5cm (1") Ø RIGID OR FLEXIBLE METAL CONDUIT, ELECTRICAL METALLIC TUBING, OR CABLES WITH A METAL ARMOUR OR METAL SHEATH, or 2" Ø VACUUM TUBE WITH TWINE PULLED THROUGH AND A CARD ON EACH END TO ACCOMMODATE FUTURE INSTALLATION.	

ARC1

DESIGN BUILD

PHONE

(403)816-6342

EMAIL

info@arc1design.ca

DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.

ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAME

GLANMORGAN 4PLEX w/ SUITES

ADDRESS

24 GISSING DR.SW
CALGARY, AB

LEGAL

LOT 15, BLOCK 9, 786 JK

USE

RC-G

PRINT DATE

7/16/2026 7:18:00 AM

DRAWING

NOTES & LEGENDS

DRAWN BY

SS

CHECKED BY

SS

SHEET

A01

SCALE

As indicated



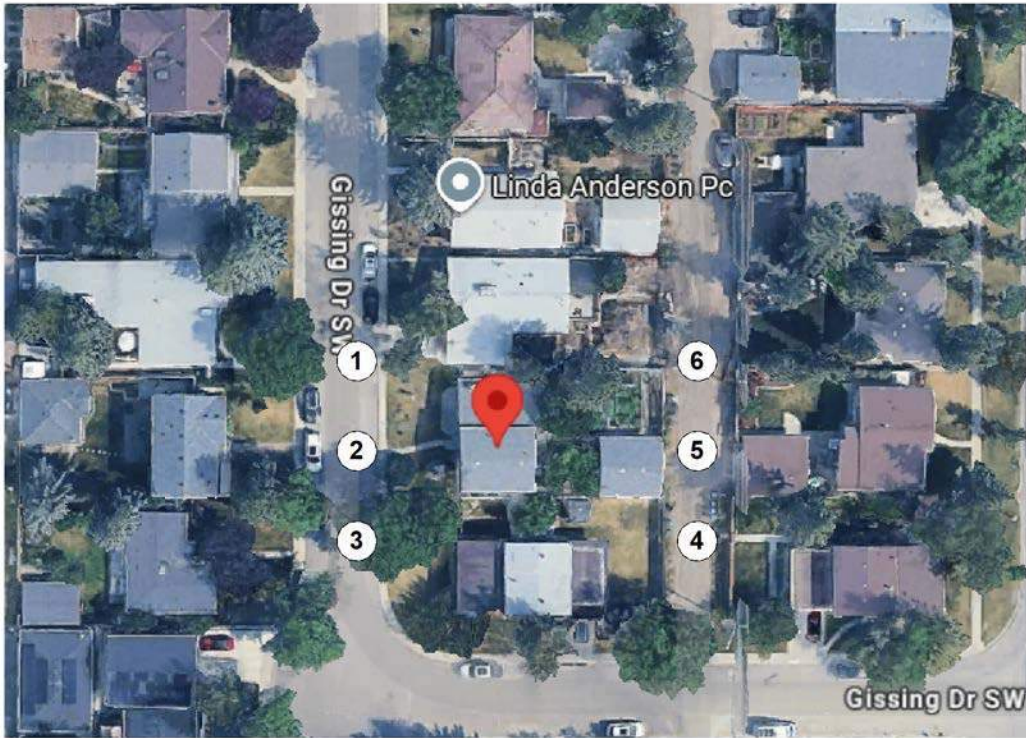
1 FRONT VIEW - NORTH NEIGHBOUR - 28 GISSING DR. SW



2 FRONT VIEW - SUBJECT PROPERTY - 24 GISSING DR. SW



3 FRONT VIEW - SOUTH NEIGHBOUR - 20 GISSING DR. SW



0 AERIAL VIEW



5 REAR VIEW - NORTH NEIGHBOUR - 28 GISSING DR. SW



6 REAR VIEW - SUBJECT PROPERTY - 24 GISSING DR. SW



7 REAR VIEW - SOUTH NEIGHBOUR - 20 GISSING DR. SW

DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.



ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES

ADDRESS 24 GISSING DR. SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 7/16/2026 7:18:01 AM

DRAWING

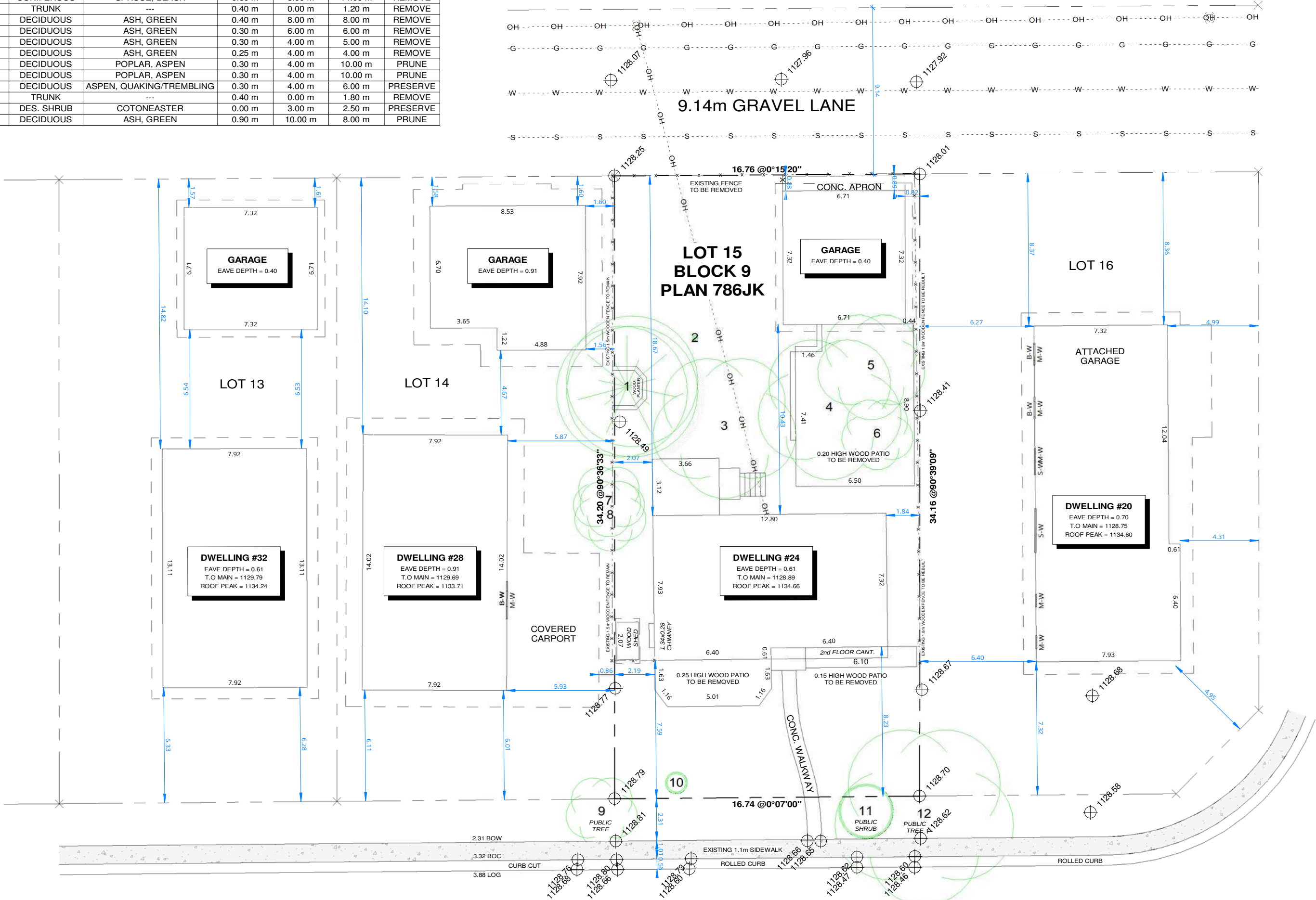
SITE PHOTOS

DRAWN BY SS
CHECKED BY SS
SHEET

A02

SCALE 1/2" = 1'-0"

TREE SCHEDULE						
#	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION
1	CONIFEROUS	SPRUCE, BLACK	0.60 m	8.00 m	14.00 m	REMOVE
2	TRUNK	---	0.40 m	0.00 m	1.20 m	REMOVE
3	DECIDUOUS	ASH, GREEN	0.40 m	8.00 m	8.00 m	REMOVE
4	DECIDUOUS	ASH, GREEN	0.30 m	6.00 m	6.00 m	REMOVE
5	DECIDUOUS	ASH, GREEN	0.30 m	4.00 m	5.00 m	REMOVE
6	DECIDUOUS	ASH, GREEN	0.25 m	4.00 m	4.00 m	REMOVE
7	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
8	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
9	DECIDUOUS	ASPEN, QUAKING/TREMBLING	0.30 m	4.00 m	6.00 m	PRESERVE
10	TRUNK	---	0.40 m	0.00 m	1.80 m	REMOVE
11	DES. SHRUB	COTONEASTER	0.00 m	3.00 m	2.50 m	PRESERVE
12	DECIDUOUS	ASH, GREEN	0.90 m	10.00 m	8.00 m	PRUNE



ARC1

DESIGN BUILD

PHONE

(403)816-6342

EMAIL

info@arc1design.ca

DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.

ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAMEGLANMORGAN 4PLEX w/ SUITES

ADDRESS24 GISSING DR.SW
CALGARY, AB

LEGALLOT 15, BLOCK 9, 786 JK

USERC-G

PRINT DATE7/16/2026 7:18:01 AM

DRAWING

BLOCK/SITE PLAN - EXISTING

DRAWN BYSS

CHECKED BYSS

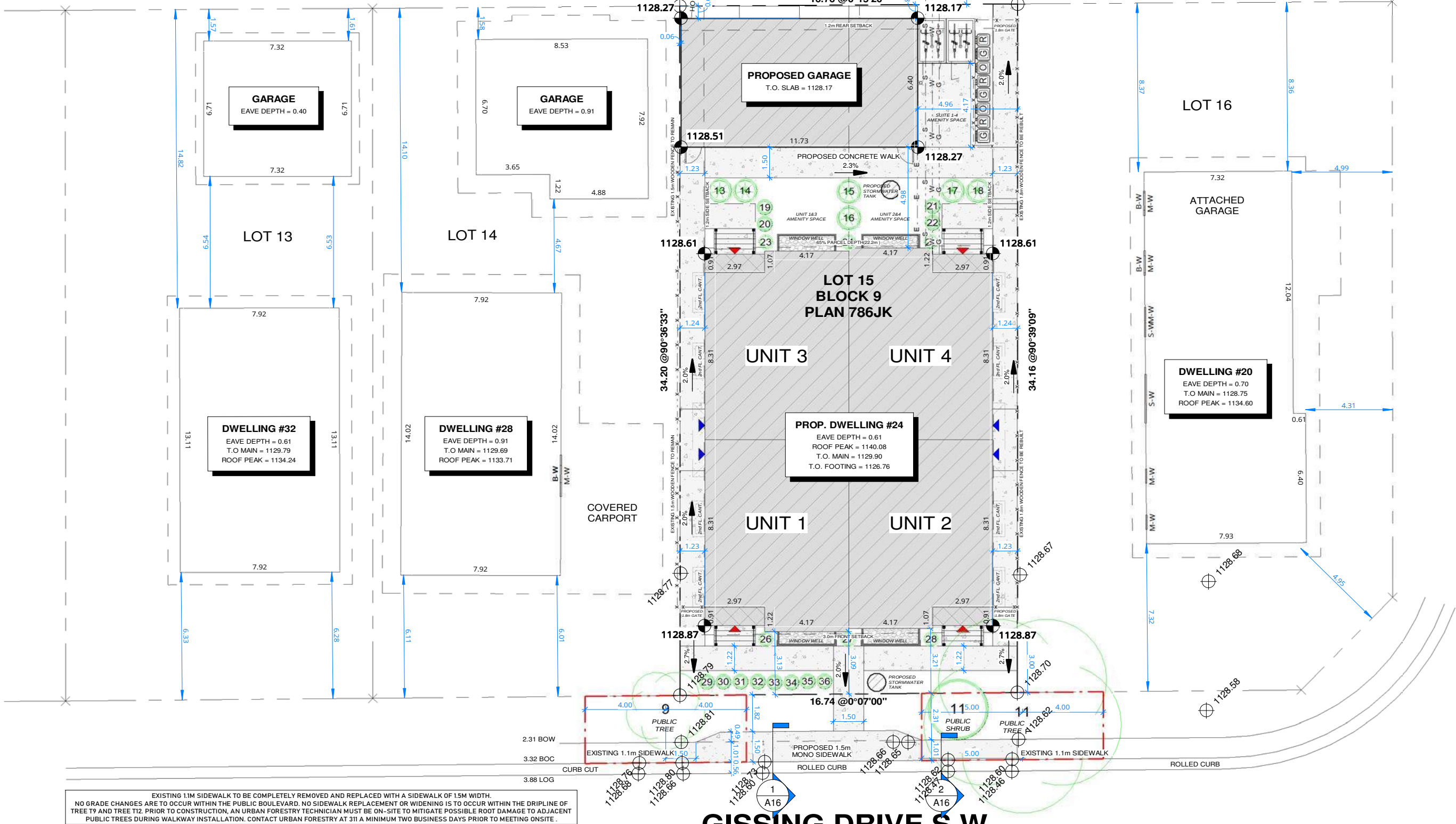
SHEET

A03

SCALE

1 : 200

TREE SCHEDULE						
#	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION
1	CONIFEROUS	SPRUCE, BLACK	0.60 m	8.00 m	14.00 m	REMOVE
2	TRUNK	---	0.40 m	0.00 m	1.20 m	REMOVE
3	DECIDUOUS	ASH, GREEN	0.40 m	8.00 m	8.00 m	REMOVE
4	DECIDUOUS	ASH, GREEN	0.30 m	6.00 m	6.00 m	REMOVE
5	DECIDUOUS	ASH, GREEN	0.30 m	4.00 m	5.00 m	REMOVE
6	DECIDUOUS	ASH, GREEN	0.25 m	4.00 m	4.00 m	REMOVE
7	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
8	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
9	DECIDUOUS	ASPEN, QUAKING/TREMBLING	0.30 m	4.00 m	6.00 m	PRESERVE
10	TRUNK	---	0.40 m	0.00 m	1.80 m	REMOVE
11	DES. SHRUB	COTONEASTER	0.00 m	3.00 m	2.50 m	PRESERVE
12	DECIDUOUS	ASH, GREEN	0.90 m	10.00 m	8.00 m	PRUNE
13-18	CONIFEROUS	ROCKY MOUNTAIN JUNIPER			2.00 m	PLANT
19-22	DECIDUOUS	WOLF WILLOW		0.60 m		PLANT
23-28	CONIFEROUS	MUGO PINE		0.60 m		PLANT
29-36	DECIDUOUS	WOLF WILLOW		0.60 m		PLANT



DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.



PARCEL COVERAGE (59.80%)		
AREA TYPE	(m²)	(ft²)

PARCEL AREA		
PARCEL AREA	572.2 m²	6159.0 ft²
	572.2 m²	6159.0 ft²

BUILDINGS		
BOXOUT	1.3 m²	13.7 ft²
COVERED PORCH	10.9 m²	117.0 ft²
DWELLINGS	254.9 m²	2743.8 ft²
GARAGES	75.1 m²	808.5 ft²
	342.2 m²	3682.9 ft²

ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES

ADDRESS 24 GISSING DR.SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 7/16/2026 7:18:02 AM

DRAWING

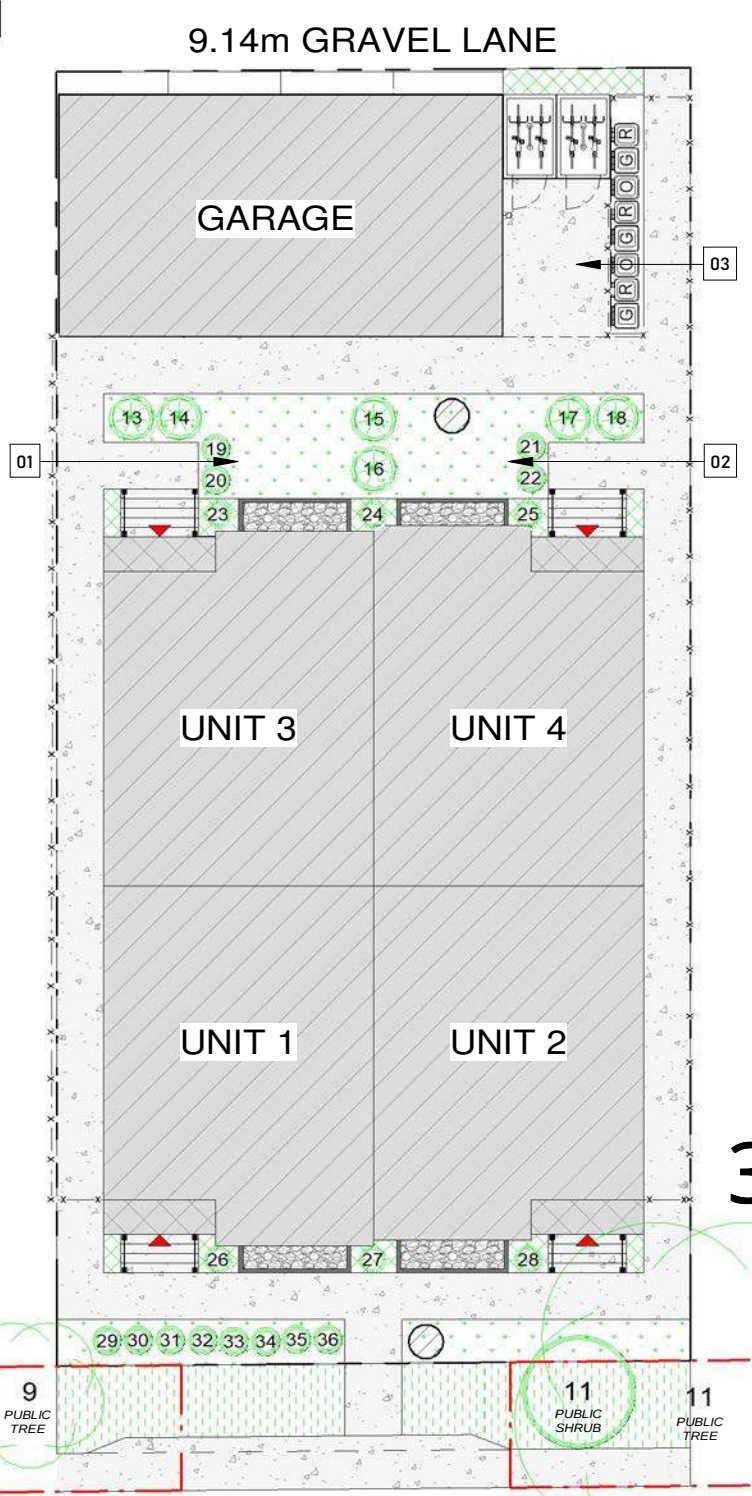
BLOCK/SITE PLAN - PROPOSED

DRAWN BY	SS
CHECKED BY	SS
SHEET	

LANDSCAPING NOTES

- PLANTING**
1. ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.
 2. ALL TREE AND SHRUB AREAS (PLANTING BEDS) TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. CONTRACTOR TO SUPPLY AND INSTALL AUTOMATIC IRRIGATION CONTROLLER(S) AS REQUIRED TO ADEQUATELY IRRIGATE TREES AND SHRUBS ONLY AS DEFINED BY CITY OF CALGARY LOW WATER IRRIGATION SYSTEM REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING IRRIGATION SCHEDULE DURING GROW IN STAGE AND ADJUST RUN TIMES ACCORDINGLY THROUGHOUT THE MAINTENANCE PERIOD. IRRIGATION MAINTENANCE SHALL INCLUDE ONE FALL WINTERIZATION AND SPRING START UP.
 3. ALL CONIFEROUS TREE BEDS AND ALL SHRUB BEDS TO BE WOOD MULCHED.
 4. DIFFERENT VARIETIES OF TREE AND SHRUB SPECIES WILL BE PROVIDED TO AVOID MONO-CULTURE AND REDUCE RISK OF INSECT DAMAGE AND DISEASE. IT WILL ALSO PROVIDE SEASONAL VARIETY AND ENHANCE VISUAL INTEREST.
 5. ALL LANDSCAPE CONSTRUCTION TO BE IN ACCORDANCE W/ CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION - CURRENT EDITION.
 6. CONTRACTOR TO ENSURE THE LOCATION OF ALL UNDERGROUND UTILITIES ARE MARKED PRIOR TO CONSTRUCTION START (CALL BEFORE YOU DIG 1-800-242-3447).
 7. ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM, SPECIMEN GRADE SINGLE STEM STOCK - UNLESS OTHERWISE SPECIFIED AND SHALL BE DUG AND INSTALLED TO CURRENT CNLA STANDARDS - CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR ONE YEAR.
 8. ALL PLANTING BEDS TO BE MULCHED WITH MIN. 50mm DEPTH CLEAN BARK MULCH.
 9. PROVIDE MIN. SOIL DEPTH OF 600mm FOR PLANTING BEDS WITH SHRUBS AND 300mm IN ALL OTHER AREAS.
 10. ALL TURF AREAS TO BE SOD INSTALLED ON 300mm MIN. OF TOPSOIL.
 11. ALL SODDED AREAS ARE TO BE PLANTED WITH DROUGHT TOLERANT GRASS SPECIES.
 12. TOPSOIL TO BE ROCK PICKED & CLEANED TO CITY OF CALGARY SPECS. PRIOR TO SOD INSTALLATION.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE PROTECTION MEASURES TO PREVENT RABBIT DAMAGE.
 14. CONTRACTOR SHALL BE RESPONSIBLE FOR CARE, MAINTENANCE AND ESTABLISHMENT OF SITE THROUGH THE C.C.C.
 15. MAINTENANCE OF SITE FROM C.C.C. TO F.A.C. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 16. TREES SHALL NOT BE PLACED WITHIN ANY UTILITY RIGHTS-OF-WAY.
 17. MAINTAIN 4.0m SETBACK FROM BUS PADS, MAILBOXES, & STREETLIGHTS; 2.5m SETBACK FROM LOT SERVICING UTILITIES; 2.5m SETBACK FROM HYDRANTS; 3.0m SETBACK FROM DEEP UTILITY MAINLINES; 2.0m SETBACK FROM SHALLOW UTILITIES (ATCO, ENMAX, TV, PHONE); AND 1.0m SETBACK FROM DRIVEWAYS. A REVISED SETBACK OF 3.0m FROM UTILITIES MAY BE REQUIRED AT THE DISCRETION OF THE UTILITY OWNER.
- PUBLIC TREE PROTECTION**
1. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
 2. ALL STAGING, HOARDING AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.
 3. AN URBAN FORESTRY TECHNICIAN (3-1-1) SHALL BE CONTACTED TO BE ON-SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:
 - i. COMMENCEMENT
 - ii. WHEN EXISTING WALKWAY IS REMOVED
 - iii. WHEN CLEARANCE PRUNING COMMENCES
 4. TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION:
 - i. BRANCH PRUNING, IF REQUIRED FOR CLEARANCE OF NEW BUILDING.
 - ii. IF ELEVATION PRUNING IS REQUIRED FOR INSTALLATION OF SERVICES, AN INDEMNIFIED CONTRACTOR FROM THE CITY APPROVED CONTRACTORS LIST MUST BE USED AND WRITTEN APPROVAL MUST BE GIVEN FROM PARKS URBAN FORESTRY PRIOR TO PRUNING.
 - iii. ROOT PRUNING AS REQUIRED DURING FOUNDATION EXCAVATIONS.
 - iv. APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE.
 - v. SUPPLEMENTAL WATERING, WHEN REQUIRED.
 - vi. SOIL AERATION, WHERE REQUIRED.
 - vii. PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENCR OACH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
 5. TREE PROTECTION MEASURES POST CONSTRUCTION:
 - i. SUPPLEMENTAL WATERING, WHEN REQUIRED.
 - ii. SOIL AERATION, WHERE REQUIRED.
 6. ON-SITE TREE PROTECTION ADMINISTRATOR:
 - i. _____
 - ii. CONTACT # _____
 7. THE TREE PROTECTION ADMINISTRATOR SHALL ENSURE ALL CONSTRUCTION WORK ADHERES TO THE APPROVED TREE PROTECTION PLAN AND THAT ALL CONTRACTED STAFF WORKING ON-SITE ARE AWARE OF THE TREE PROTECTION BYLAW AND THE APPROVED TREE PROTECTION PLAN.

TREE SCHEDULE						
#	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION
1	CONIFEROUS	SPRUCE, BLACK	0.60 m	8.00 m	14.00 m	REMOVE
2	TRUNK	---	0.40 m	0.00 m	1.20 m	REMOVE
3	DECIDUOUS	ASH, GREEN	0.40 m	8.00 m	8.00 m	REMOVE
4	DECIDUOUS	ASH, GREEN	0.30 m	6.00 m	6.00 m	REMOVE
5	DECIDUOUS	ASH, GREEN	0.30 m	4.00 m	5.00 m	REMOVE
6	DECIDUOUS	ASH, GREEN	0.25 m	4.00 m	4.00 m	REMOVE
7	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
8	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
9	DECIDUOUS	ASPEN, QUAKING/TREMBLING	0.30 m	4.00 m	6.00 m	PRESERVE
10	TRUNK	---	0.40 m	0.00 m	1.80 m	REMOVE
11	DES. SHRUB	COTONEASTER	0.00 m	3.00 m	2.50 m	PRESERVE
12	DECIDUOUS	ASH, GREEN	0.90 m	10.00 m	8.00 m	PRUNE



GISSING DRIVE S.W.

LANDSCAPED AREAS		
TYPE	AREA	AREA

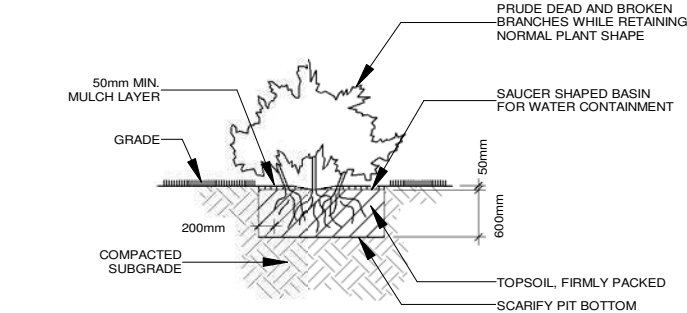
HARD SURFACED		
GRAVEL	81 ft²	7.6 m²
CONCRETE	1,329 ft²	123.5 m²
	1,411 ft²	131 m²

SOFT SURFACED		
SOD	584 ft²	54.3 m²
MULCH	203 ft²	18.9 m²
	787 ft²	73.1 m²

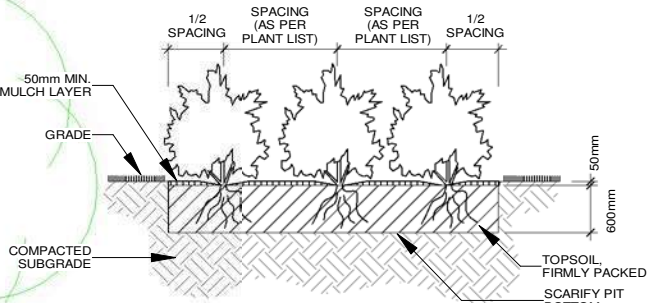
TOTAL AREA	2,198 ft²	204.2 m²
------------	-----------	----------

AMENITY SPACES		
#	TYPE	AREA

1	SHARED - UNITS 1&3	138 ft²
2	SHARED - UNITS 2&4	138 ft²
3	SHARED - SUITES 1-4	105 ft²
TOTAL		381 ft²



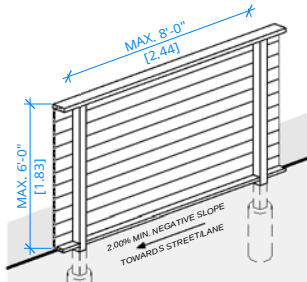
3 SHRUB PLANTING DETAIL - PIT
1/8" = 1'-0"



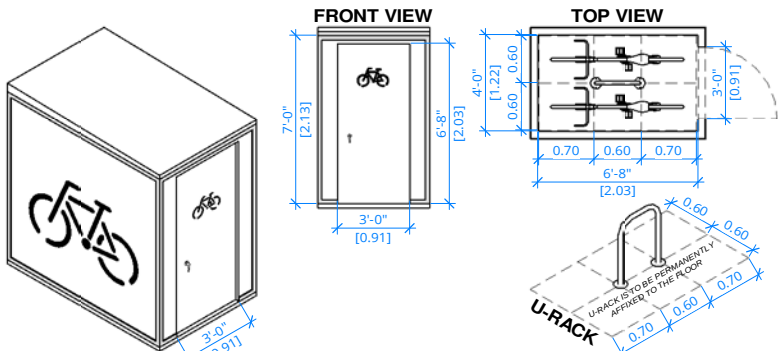
4 SHRUB PLANTING DETAIL - BED
1/8" = 1'-0"

TREE SCHEDULE						
#	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION

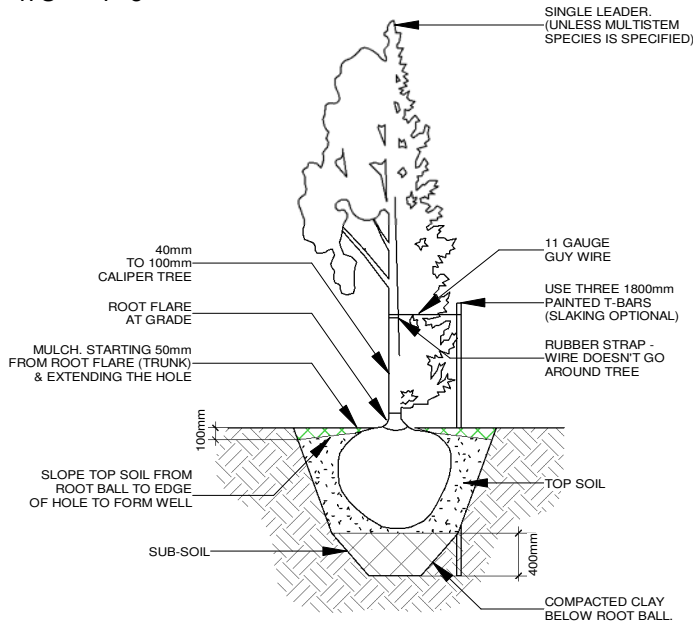
13-18	CONIFEROUS	ROCKY MOUNTAIN JUNIPER			2.00 m	PLANT
19-22	DECIDUOUS	WOLF WILLOW		0.60 m		PLANT
23-28	CONIFEROUS	MUGO PINE		0.60 m		PLANT
29-36	DECIDUOUS	WOLF WILLOW		0.60 m		PLANT



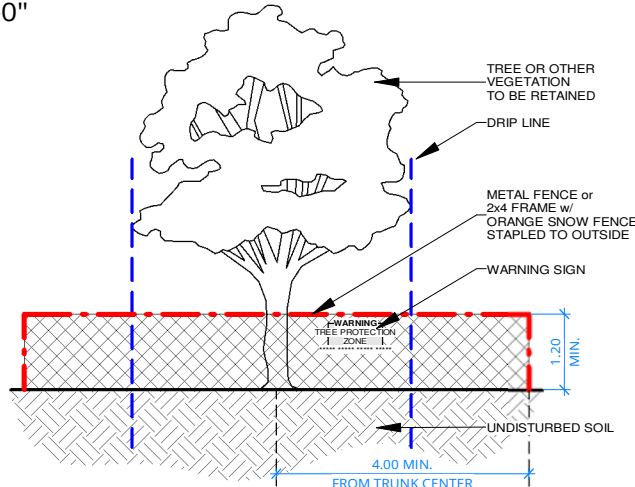
1 FENCE DETAIL
1/8" = 1'-0"



2 BICYCLE LOCKER - HORIZONTAL (DOUBLE)
1/8" = 1'-0"



5 TREE PLANTING DETAIL - SPADE DUG
1" = 10'-0"



6 TREE PROTECTION ZONE DETAIL
1" = 10'-0"

ARC1
DESIGN BUILD

PHONE (403)816-6342
EMAIL info@arc1design.ca

DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.



ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES

ADDRESS 24 GISSING DR.SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 7/16/2026 7:18:03 AM

DRAWING

LANDSCAPE PLAN

DRAWN BY SS

CHECKED BY SS

SHEET

A05

SCALE As indicated



1 FRONT ELEVATION
1/8" = 1'-0"

2 REAR ELEVATION
1/8" = 1'-0"

ARC1

DESIGN BUILD

PHONE

(403)816-6342

EMAIL

info@arc1design.ca

DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ALL ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.

EXTERIOR FINISHES	
TAG #	DESCRIPTION
01	HARDIEBOARD HORIZONTAL SIDING, WARM DUNE
02	HARDIEBOARD VERTICAL SIDING, WARM DUNE
03	SMARTBOARD PANELS, BURNT ORANGE
04	ALUMINUM FASCIA, DARK GREY
05	SMARTBOARD TRIM, TEAKWOOD
06	ASPHALT SHINGLES, DARK GREY

ISSUED FOR		
NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES

ADDRESS 24 GISSING DR.SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 7/16/2026 7:18:18 AM

DRAWING

FRONT& REAR ELEVATIONS

DRAWN BY TK

CHECKED BY SS

SHEET

A11

SCALE 1/8" = 1'-0"



ARC1
DESIGN BUILD

PHONE (403)816-6342
EMAIL info@arc1design.ca

DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ALL ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.

EXTERIOR FINISHES

TAG #	DESCRIPTION
01	HARDIEBOARD HORIZONTAL SIDING, WARM DUNE
02	HARDIEBOARD VERTICAL SIDING, WARM DUNE
03	SMARTBOARD PANELS, BURNT ORANGE
04	ALUMINUM FASCIA, DARK GREY
05	SMARTBOARD TRIM, TEAKWOOD
06	ASPHALT SHINGLES, DARK GREY

ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES

ADDRESS 24 GISSING DR.SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 7/16/2026 7:18:21 AM

DRAWING

LEFT ELEVATION

DRAWN BY TK

CHECKED BY SS

SHEET

A12

SCALE 1/8" = 1'-0"



DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ALL ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.

EXTERIOR FINISHES

TAG #	DESCRIPTION
01	HARDIEBOARD HORIZONTAL SIDING, WARM DUNE
02	HARDIEBOARD VERTICAL SIDING, WARM DUNE
03	SMARTBOARD PANELS, BURNT ORANGE
04	ALUMINUM FASCIA, DARK GREY
05	SMARTBOARD TRIM, TEAKWOOD
06	ASPHALT SHINGLES, DARK GREY

ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES

ADDRESS 24 GISSING DR.SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 7/16/2026 7:18:23 AM

DRAWING

RIGHT ELEVATION

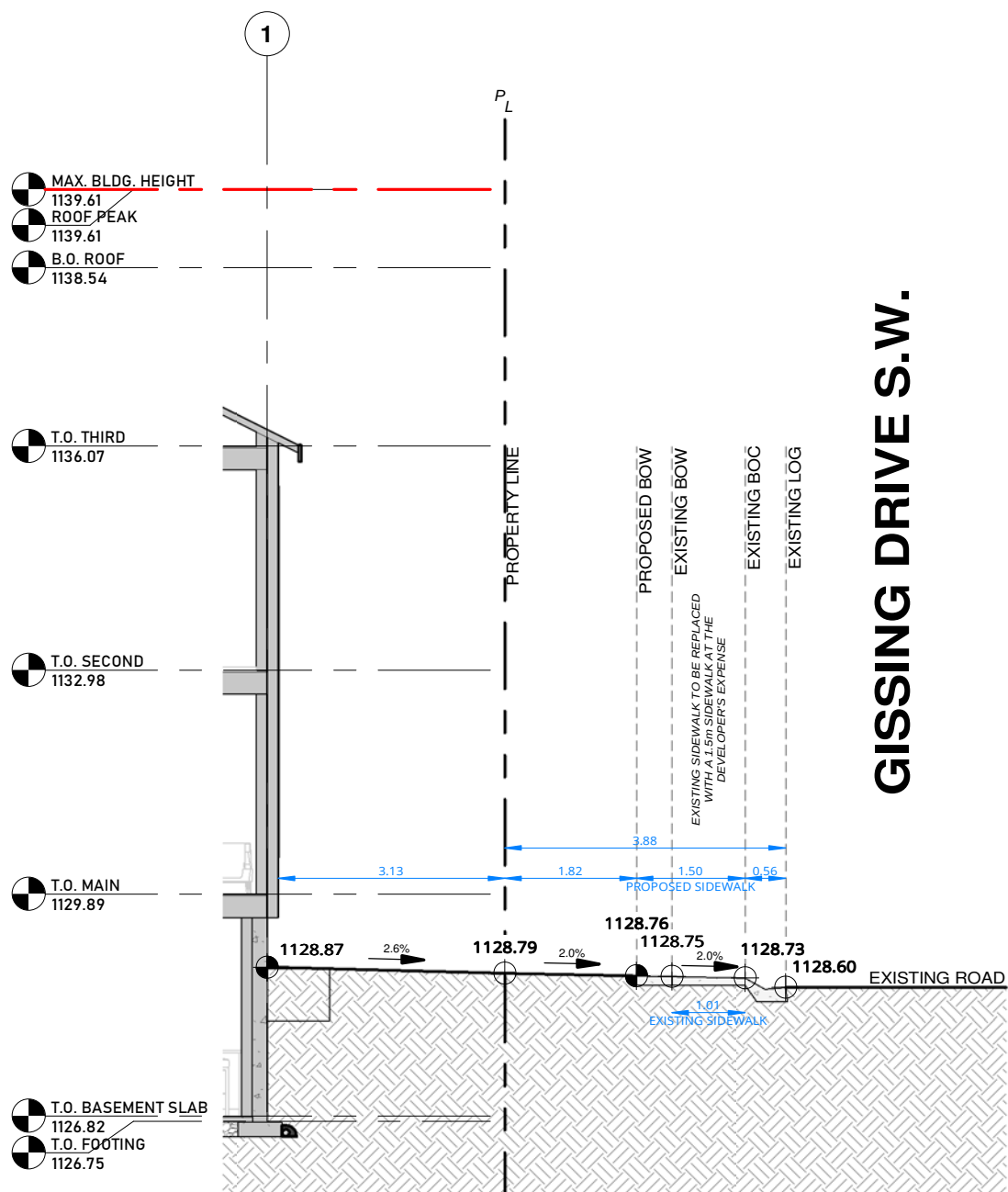
DRAWN BY TK

CHECKED BY SS

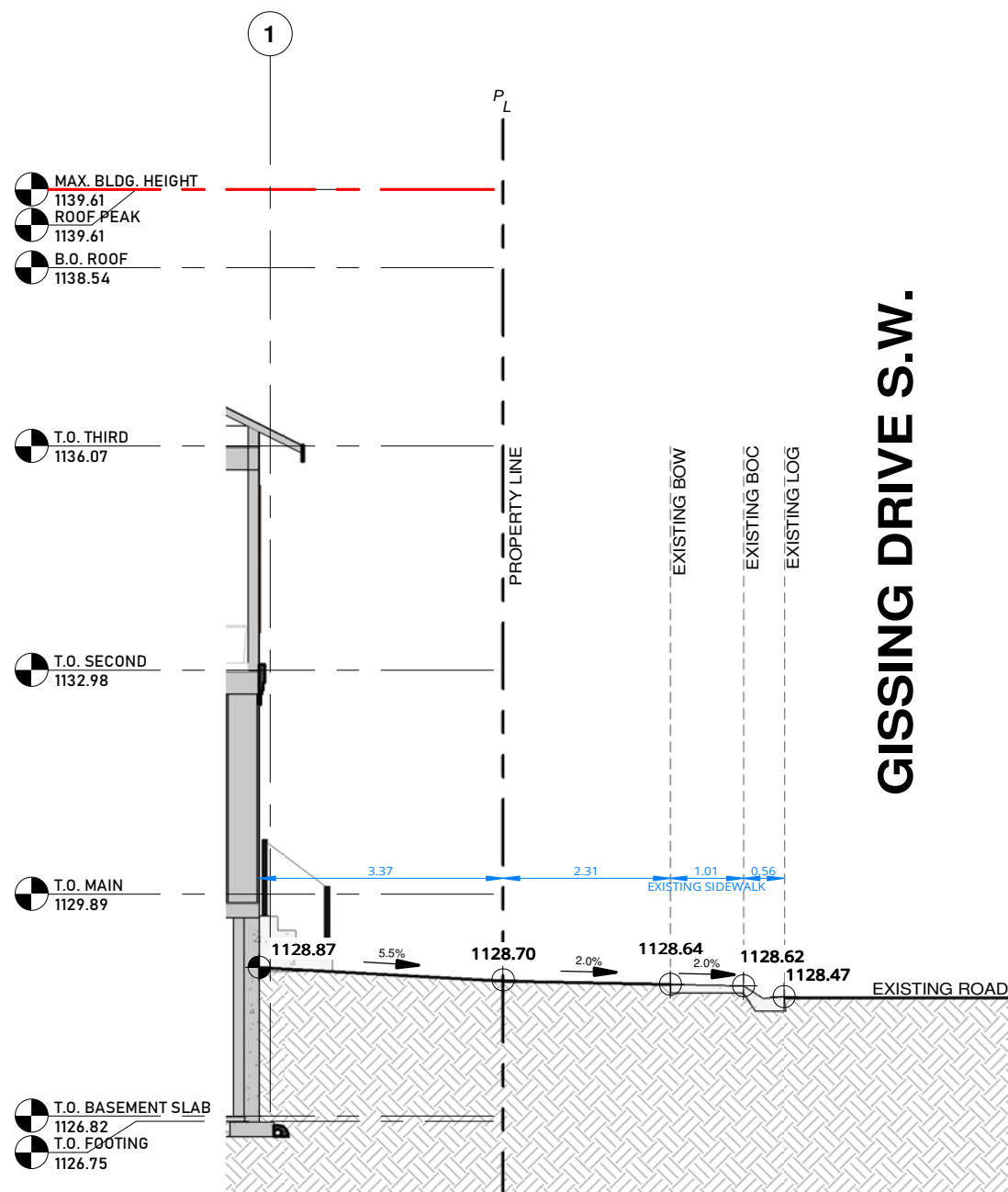
SHEET

A13

SCALE 1/8" = 1'-0"



1 BOULEVARD SECTION 1
1/8" = 1'-0"



2 BOULEVARD SECTION 2
1/8" = 1'-0"

ARC1
DESIGN BUILD

PHONE (403)816-6342
EMAIL info@arc1design.ca

DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ALL ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.

ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES
ADDRESS 24 GISSING DR.SW
CALGARY, AB
LEGAL LOT 15, BLOCK 9, 786 JK
USE RC-G
PRINT DATE 7/16/2026 7:18:28 AM

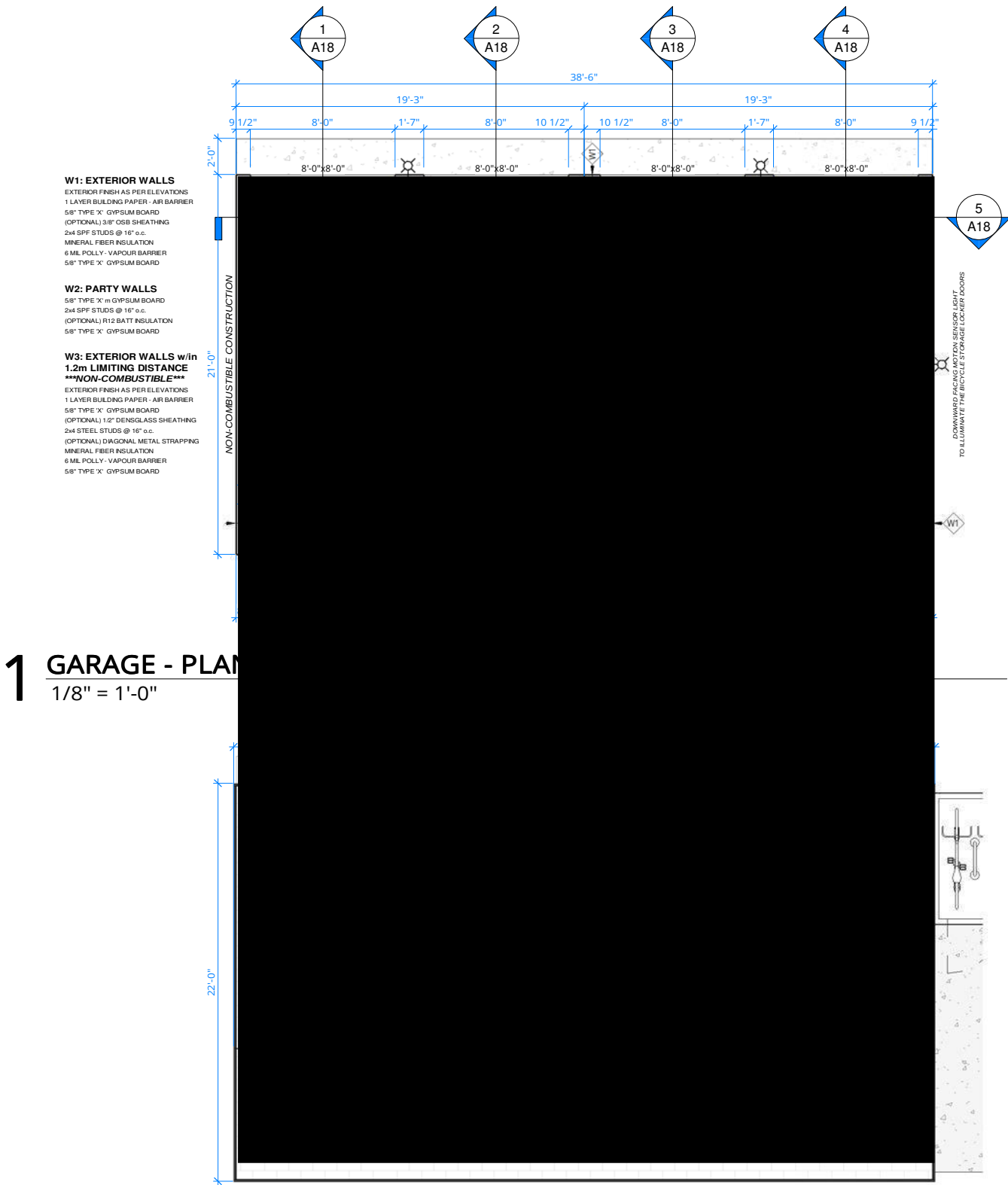
DRAWING

SECTION 3

DRAWN BY TK
CHECKED BY SS
SHEET

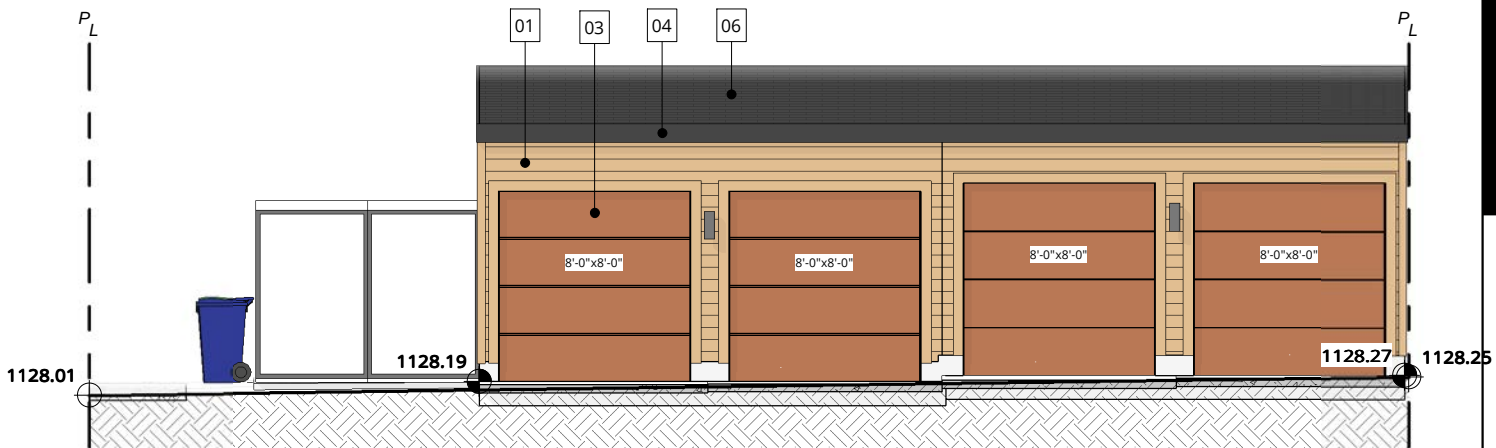
A16

SCALE 1/8" = 1'-0"

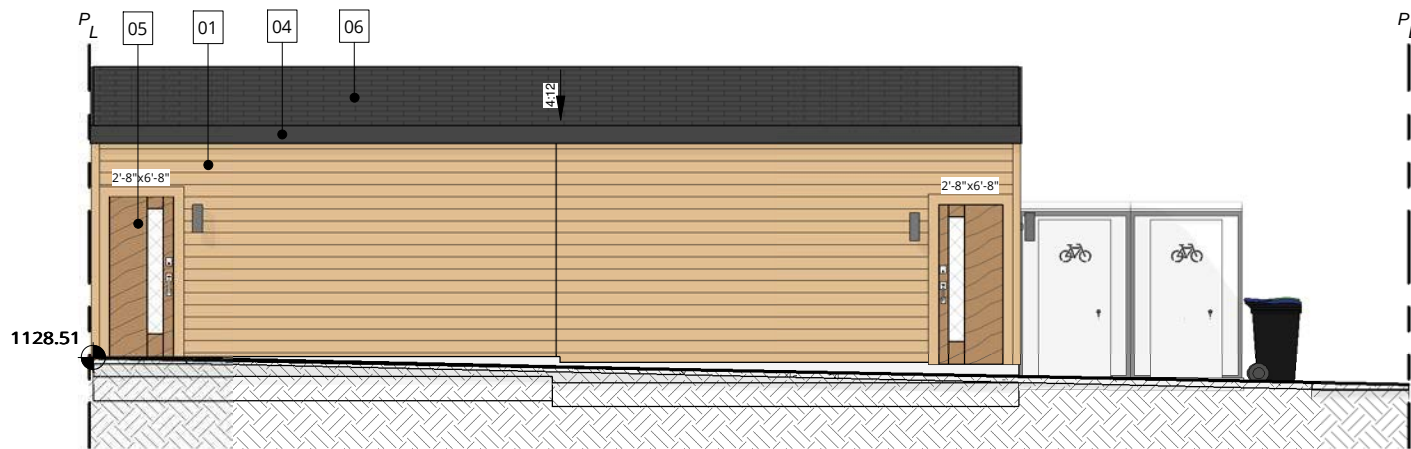


1 GARAGE - PLAN
1/8" = 1'-0"

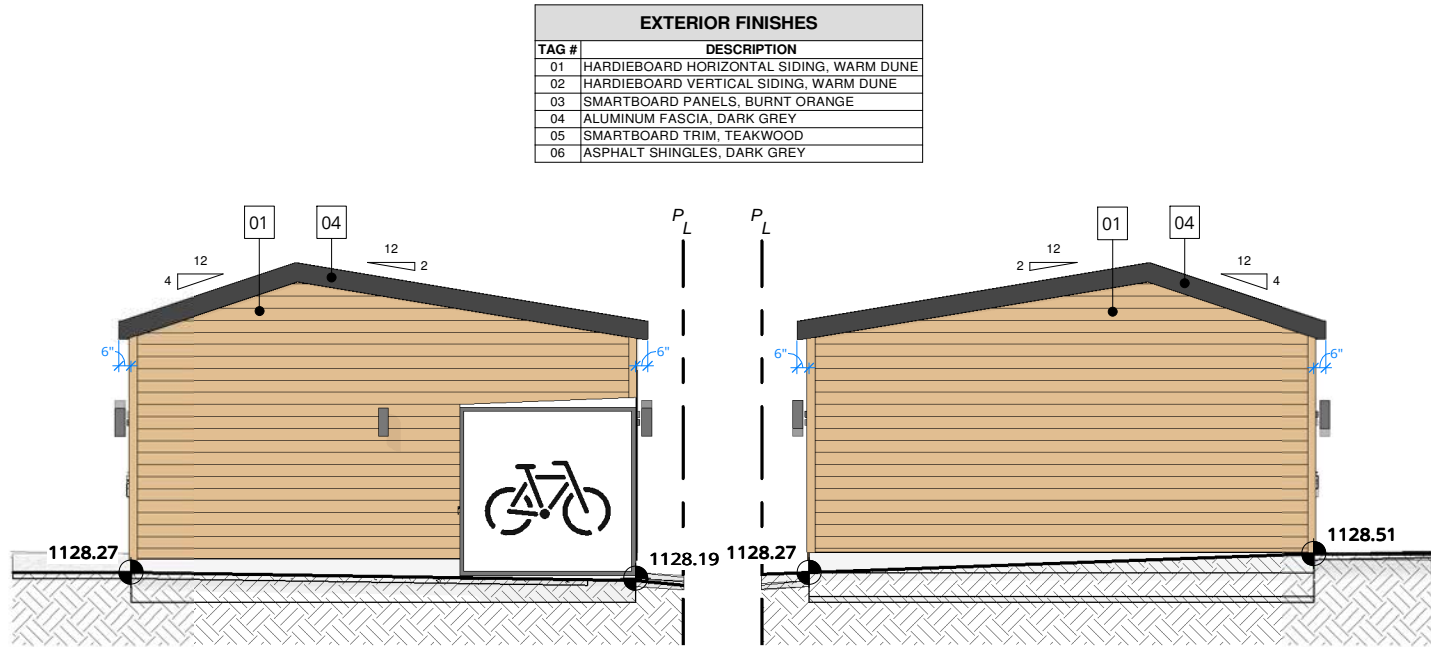
2 GARAGE - ROOF PLAN
1/8" = 1'-0"



4 GARAGE - FRONT ELEVATION
1/8" = 1'-0"



5 GARAGE - REAR ELEVATION
1/8" = 1'-0"



6 GARAGE - LEFT ELEVATION
1/8" = 1'-0"

7 GARAGE - RIGHT ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES	
TAG #	DESCRIPTION
01	HARDIEBOARD HORIZONTAL SIDING, WARM DUNE
02	HARDIEBOARD VERTICAL SIDING, WARM DUNE
03	SMARTBOARD PANELS, BURNT ORANGE
04	ALUMINUM FASCIA, DARK GREY
05	SMARTBOARD TRIM, TEAKWOOD
06	ASPHALT SHINGLES, DARK GREY

TO BE BUILT AS PER SPV-003

ARC1
DESIGN BUILD

PHONE (403)816-6342
EMAIL info@arc1design.ca

DISCLAIMER

DO NOT SCALE THE DRAWING AS THE SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.

ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION.

CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS.

COPYRIGHT

THIS DRAWING AND ITS CONTENT IS PROTECTED BY COPYRIGHT LAW, AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ARC1 DESIGN.



ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.9	7/16/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES
ADDRESS 24 GISSING DR. SW
CALGARY, AB
LEGAL LOT 15, BLOCK 9, 786 JK
USE RC-G

PRINT DATE 7/16/2026 7:18:29 AM
DRAWING

GARAGE 1

DRAWN BY TK
CHECKED BY SS
SHEET

A17

SCALE 1/8" = 1'-0"