



GLANMORGAN 4PLEX w/ SUITES

24 GISSING DR.SW, CALGARY, AB





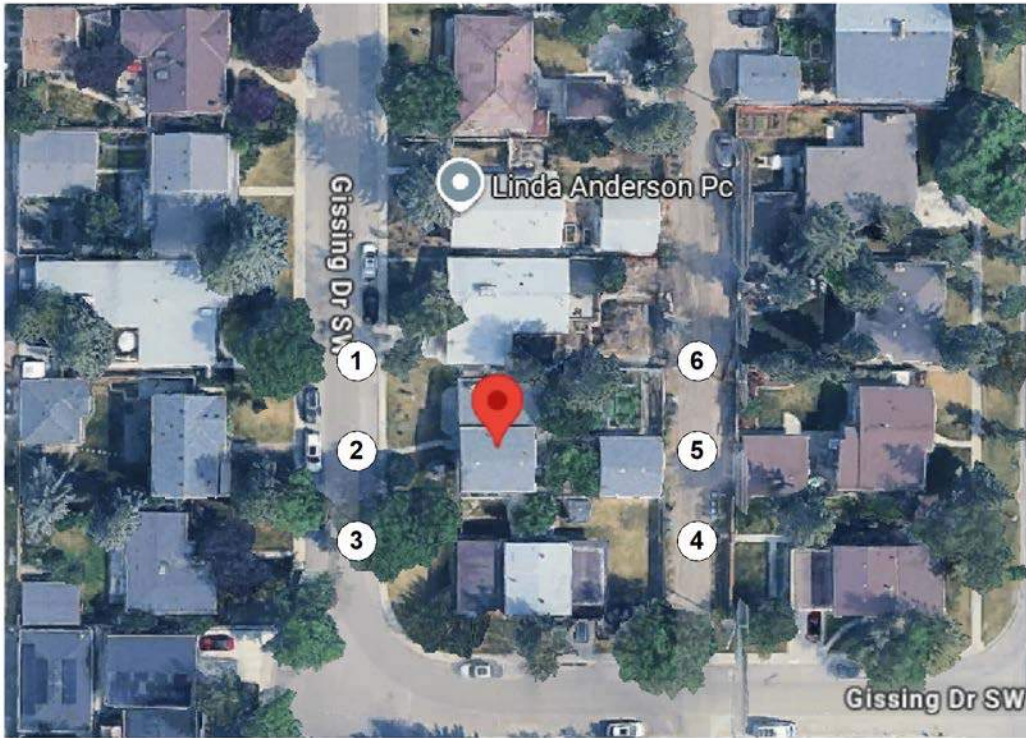
1 FRONT VIEW - NORTH NEIGHBOUR - 28 GISSING DR. SW



2 FRONT VIEW - SUBJECT PROPERTY - 24 GISSING DR. SW



3 FRONT VIEW - SOUTH NEIGHBOUR - 20 GISSING DR. SW



0 AERIAL VIEW



5 REAR VIEW - NORTH NEIGHBOUR - 28 GISSING DR. SW



6 REAR VIEW - SUBJECT PROPERTY - 24 GISSING DR. SW



7 REAR VIEW - SOUTH NEIGHBOUR - 20 GISSING DR. SW

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ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.6	3/30/2026

PROJECT NAME & ADDRESS

NAME GLANMORGAN 4PLEX w/ SUITES

ADDRESS 24 GISSING DR. SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 3/30/2026 1:04:55 PM

DRAWING

SITE PHOTOS

DRAWN BY SS

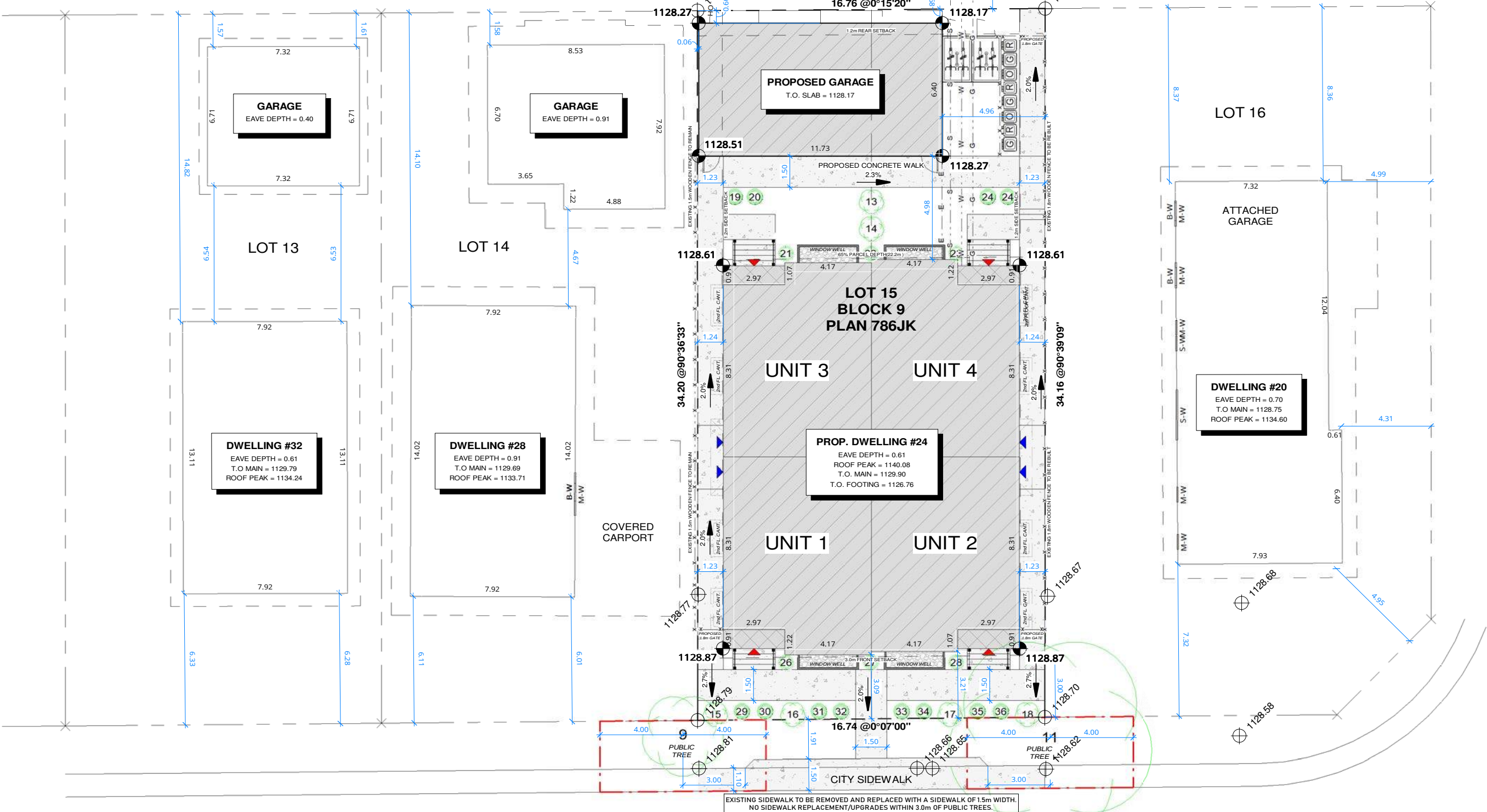
CHECKED BY SS

SHEET

A02

SCALE 1/2" = 1'-0"

TREE SCHEDULE						
#	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION
1	CONIFEROUS	SPRUCE, BLACK	0.60 m	8.00 m	14.00 m	REMOVE
2	TRUNK	---	0.40 m	0.00 m	1.20 m	REMOVE
3	DECIDUOUS	ASH, GREEN	0.40 m	8.00 m	8.00 m	REMOVE
4	DECIDUOUS	ASH, GREEN	0.30 m	6.00 m	6.00 m	REMOVE
5	DECIDUOUS	ASH, GREEN	0.30 m	4.00 m	5.00 m	REMOVE
6	DECIDUOUS	ASH, GREEN	0.25 m	4.00 m	10.00 m	REMOVE
7	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
8	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	6.00 m	PRUNE
9	DECIDUOUS	ASPEN, QUAKING/TREMBLING	0.30 m	4.00 m	1.80 m	PRESERVE
10	TRUNK	---	0.40 m	0.00 m	2.50 m	REMOVE
11	BUSH	---	0.00 m	10.00 m	8.00 m	REMOVE
12	DECIDUOUS	ASH, GREEN	0.90 m	10.00 m	8.00 m	PRUNE



GISSING DRIVE S.W.

ARC1
DESIGN BUILD

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Parcel Coverage (59.80%)

AREA TYPE	(m²)	(ft²)
PARCEL AREA	572.2 m²	6159.0 ft²
BUILDINGS		
BOXOUT	1.3 m²	13.7 ft²
COVERED PORCH	10.9 m²	117.0 ft²
DWELLINGS	254.9 m²	2743.8 ft²
GARAGES	75.1 m²	808.5 ft²
	342.2 m²	3682.9 ft²

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ADDRESS 24 GISSING DR.SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 3/30/2026 1:04:57 PM

DRAWING

BLOCK/SITE PLAN - PROPOSED

DRAWN BY SS

CHECKED BY SS

SHEET

A04

SCALE 1 : 200

LANDSCAPING NOTES

PLANTING

1. ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.
2. ALL TREE AND SHRUB AREAS (PLANTING BEDS) TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. CONTRACTOR TO SUPPLY AND INSTALL AUTOMATIC IRRIGATION CONTROLLER(S) AS REQUIRED TO ADEQUATELY IRRIGATE TREES AND SHRUBS ONLY AS DEFINED BY CITY OF CALGARY LOW WATER IRRIGATION SYSTEM REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING IRRIGATION SCHEDULE DURING GROW IN STAGE AND ADJUST RUN TIMES ACCORDINGLY THROUGHOUT THE MAINTENANCE PERIOD. IRRIGATION MAINTENANCE SHALL INCLUDE ONE FALL WINTERIZATION AND SPRING START UP.
3. ALL CONIFEROUS TREE BEDS AND ALL SHRUB BEDS TO BE WOOD MULCHED.
4. DIFFERENT VARIETIES OF TREE AND SHRUB SPECIES WILL BE PROVIDED TO AVOID MONO-CULTURE AND REDUCE RISK OF INSECT DAMAGE AND DISEASE. IT WILL ALSO PROVIDE SEASONAL VARIETY AND ENHANCE VISUAL INTEREST.
5. ALL LANDSCAPE CONSTRUCTION TO BE IN ACCORDANCE W/ CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION - CURRENT EDITION.
6. CONTRACTOR TO ENSURE THE LOCATION OF ALL UNDERGROUND UTILITIES ARE MARKED PRIOR TO CONSTRUCTION START (CALL BEFORE YOU DIG 1-800-242-3447).
7. ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM, SPECIMEN GRADE SINGLE STEM STOCK - UNLESS OTHERWISE SPECIFIED AND SHALL BE DUG AND INSTALLED TO CURRENT CNLA STANDARDS - CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR ONE YEAR.
8. ALL PLANTING BEDS TO BE MULCHED WITH MIN. 50mm DEPTH CLEAN BARK MULCH.
9. PROVIDE MIN. SOIL DEPTH OF 600mm FOR PLANTING BEDS WITH SHRUBS AND 300mm IN ALL OTHER AREAS.
10. ALL TURF AREAS TO BE SOD INSTALLED ON 300mm MIN. OF TOPSOIL.
11. ALL SODDED AREAS ARE TO BE PLANTED WITH DROUGHT TOLERANT GRASS SPECIES.
12. TOPSOIL TO BE ROCK PICKED & CLEANED TO CITY OF CALGARY SPECS. PRIOR TO SOD INSTALLATION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE PROTECTION MEASURES TO PREVENT RABBIT DAMAGE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR CARE, MAINTENANCE AND ESTABLISHMENT OF SITE THROUGH THE C.C.C.
15. MAINTENANCE OF SITE FROM C.C.C. TO F.A.C. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. TREES SHALL NOT BE PLACED WITHIN ANY UTILITY RIGHTS-OF-WAY.
17. MAINTAIN 4.0m SETBACK FROM BUS PADS, MAILBOXES, & STREETLIGHTS; 2.5m SETBACK FROM LOT SERVICING UTILITIES; 2.5m SETBACK FROM HYDRANTS; 3.0m SETBACK FROM DEEP UTILITY MAINLINES; 2.0m SETBACK FROM SHALLOW UTILITIES (ATCO, ENMAX, TV, PHONE); AND 1.0m SETBACK FROM DRIVEWAYS. A REVISED SETBACK OF 3.0m FROM UTILITIES MAY BE REQUIRED AT THE DISCRETION OF THE UTILITY OWNER.

PUBLIC TREE PROTECTION

1. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
2. ALL STAGING, HOARDING AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.
3. AN URBAN FORESTRY TECHNICIAN (3-1-1) SHALL BE CONTACTED TO BE ON-SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:
 - i. COMMENCEMENT
 - ii. WHEN EXISTING WALKWAY IS REMOVED
 - iii. WHEN CLEARANCE PRUNING COMMENCES
4. TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION:
 - i. BRANCH PRUNING, IF REQUIRED FOR CLEARANCE OF NEW BUILDING.
 - ii. IF ELEVATION PRUNING IS REQUIRED FOR INSTALLATION OF SERVICES, AN INDEMNIFIED CONTRACTOR FROM THE CITY APPROVED CONTRACTORS LIST MUST BE USED AND WRITTEN APPROVAL MUST BE GIVEN FROM PARKS URBAN FORESTRY PRIOR TO PRUNING.
 - iii. ROOT PRUNING AS REQUIRED DURING FOUNDATION EXCAVATIONS.
 - iv. APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE.
 - v. SUPPLEMENTAL WATERING, WHEN REQUIRED.
 - vi. SOIL AERATION, WHERE REQUIRED.
 - vii. PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENCR OACH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
5. TREE PROTECTION MEASURES POST CONSTRUCTION:
 - i. SUPPLEMENTAL WATERING, WHEN REQUIRED.
 - ii. SOIL AERATION, WHERE REQUIRED.
6. ON-SITE TREE PROTECTION ADMINISTRATOR:
 - i. _____
 - ii. CONTACT # _____
7. THE TREE PROTECTION ADMINISTRATOR SHALL ENSURE ALL CONSTRUCTION WORK ADHERES TO THE APPROVED TREE PROTECTION PLAN AND THAT ALL CONTRACTED STAFF WORKING ON-SITE ARE AWARE OF THE TREE PROTECTION BYLAW AND THE APPROVED TREE PROTECTION PLAN.

TREE SCHEDULE						
#	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION

1	CONIFEROUS	SPRUCE, BLACK	0.60 m	8.00 m	14.00 m	REMOVE
2	TRUNK	---	0.40 m	0.00 m	1.20 m	REMOVE
3	DECIDUOUS	ASH, GREEN	0.40 m	8.00 m	8.00 m	REMOVE
4	DECIDUOUS	ASH, GREEN	0.30 m	6.00 m	6.00 m	REMOVE
5	DECIDUOUS	ASH, GREEN	0.30 m	4.00 m	5.00 m	REMOVE
6	DECIDUOUS	ASH, GREEN	0.25 m	4.00 m	10.00 m	REMOVE
7	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	10.00 m	PRUNE
8	DECIDUOUS	POPLAR, ASPEN	0.30 m	4.00 m	6.00 m	PRUNE
9	DECIDUOUS	ASPEN, QUAKING/TREMBLING	0.30 m	4.00 m	1.80 m	PRESERVE
10	TRUNK	---	0.40 m	0.00 m	2.50 m	REMOVE
11	BUSH	---	0.00 m	10.00 m	8.00 m	REMOVE
12	DECIDUOUS	ASH, GREEN	0.90 m	10.00 m	8.00 m	PRUNE

LANDSCAPED AREAS		
TYPE	AREA	AREA

HARD SURFACED

GRAVEL	81 ft²	7.6 m²
CONCRETE	1,329 ft²	123.5 m²
	1,411 ft²	131 m²

SOFT SURFACED

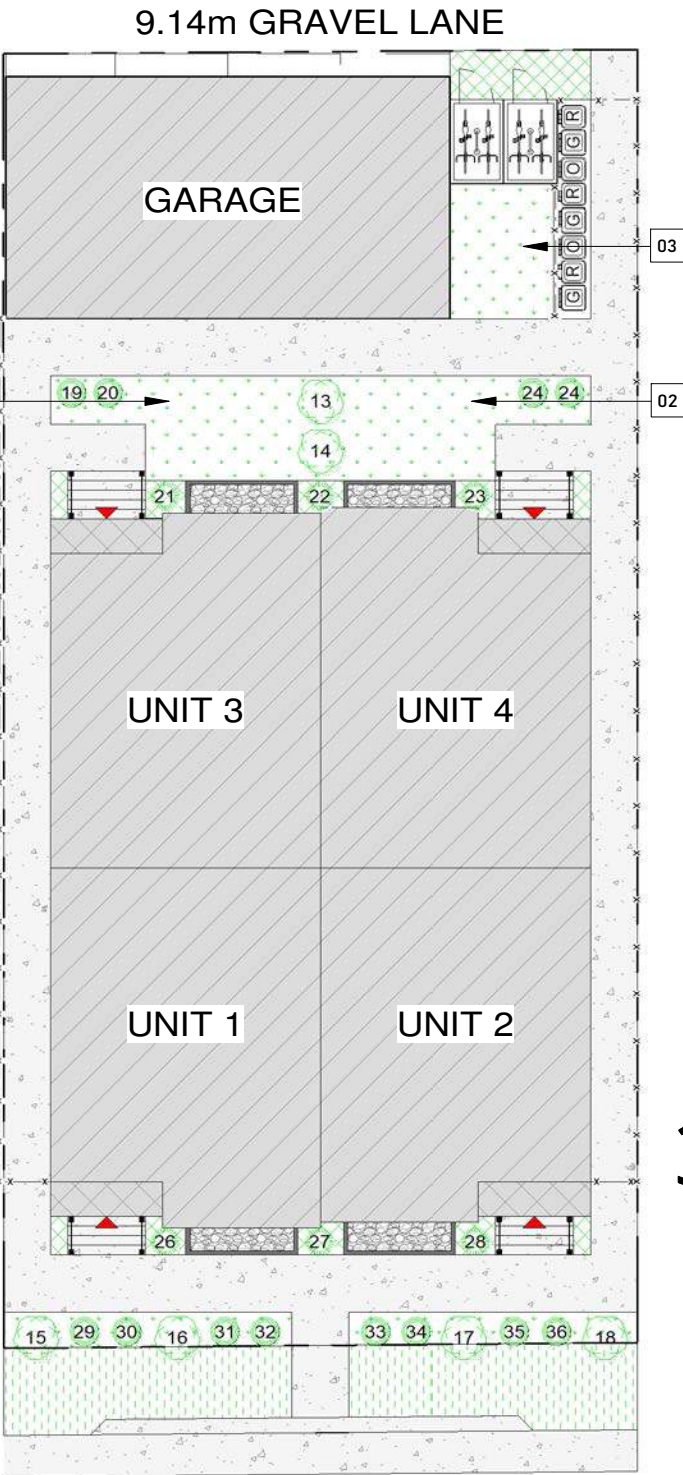
SOD	584 ft²	54.3 m²
MULCH	203 ft²	18.9 m²

TOTAL AREA	2,198 ft²	204.2 m²
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AMENITY SPACES		
#	TYPE	AREA

1	SHARED - UNITS 1&3	138 ft²
2	SHARED - UNITS 2&4	138 ft²
3	SHARED - SUITES 1-4	105 ft²

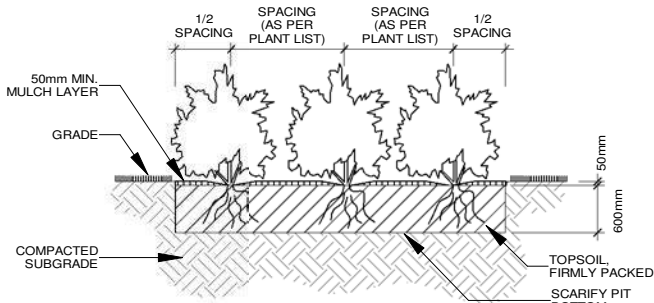
TOTAL		381 ft²
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GISSING DRIVE S.W.

3 SHRUB PLANTING DETAIL - PIT

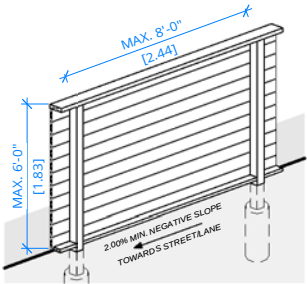
1/8" = 1'-0"



4 SHRUB PLANTING DETAIL - BED

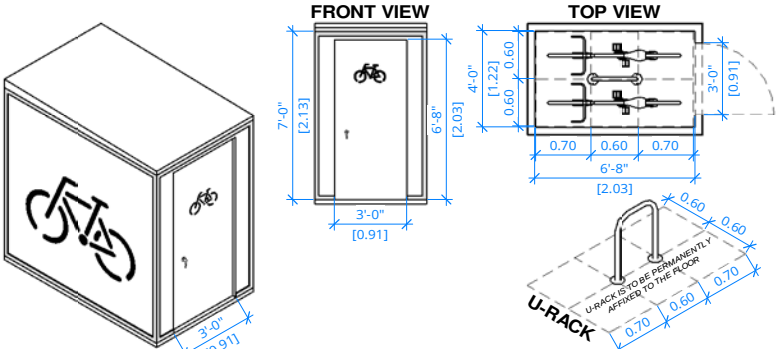
1/8" = 1'-0"

TREE SCHEDULE						
#	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION
13-14	DECIDUOUS	COLUMNAR, ASPEN	0.06 m			PLANT
15-18	DECIDUOUS	ASH, GREEN	0.06 m			PLANT
19-20	DECIDUOUS	WOLF WILLOW		0.60 m		PLANT
21-23	CONIFEROUS	BOXWOOD		0.60 m		PLANT
24-25	DECIDUOUS	WOLF WILLOW		0.60 m		PLANT
26-28	CONIFEROUS	BOXWOOD		0.60 m		PLANT
29-36	DECIDUOUS	WOLF WILLOW		0.60 m		PLANT



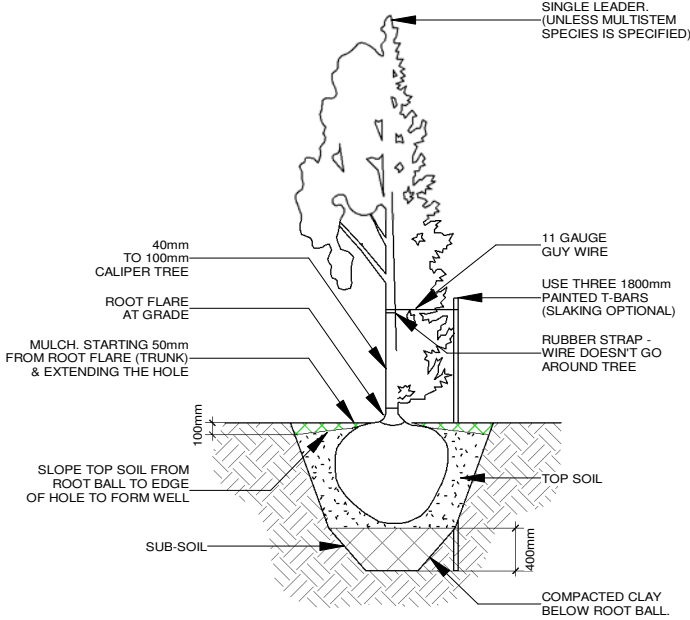
1 FENCE DETAIL

1/8" = 1'-0"



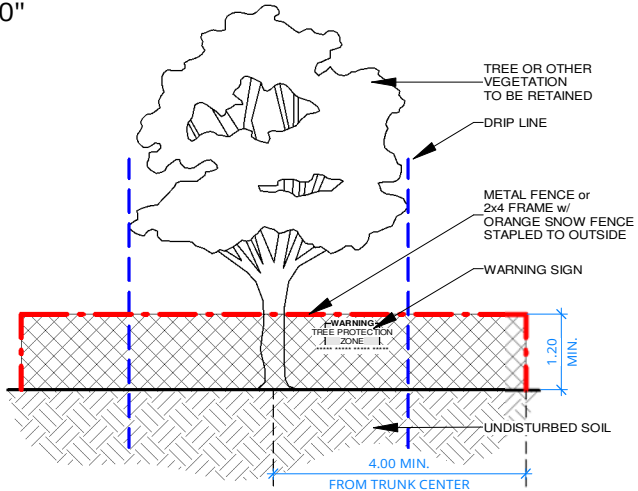
2 BICYCLE LOCKER - HORIZONTAL (DOUBLE)

1/8" = 1'-0"



5 TREE PLANTING DETAIL - SPADE DUG

1" = 10'-0"



6 TREE PROTECTION ZONE DETAIL

1" = 10'-0"

ARC1
DESIGN BUILD

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ADDRESS 24 GISSING DR.SW
CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 3/30/2026 1:04:59 PM

DRAWING

LANDSCAPE PLAN

DRAWN BY SS

CHECKED BY SS

SHEET

A05

SCALE

As indicated



1 FRONT ELEVATION
1/8" = 1'-0"

2 REAR ELEVATION
1/8" = 1'-0"

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EXTERIOR FINISHES

TAG #	DESCRIPTION
01	HORIZONTAL LAPPED SIDING, WARM DUNE
02	VERTICAL LAPPED SIDING, WARM DUNE
03	SMARTBOARD PANELS, BURNT ORANGE
04	ALUMINUM FASCIA, DARK GREY
05	SMARTBOARD TRIM, TEAKWOOD
06	ASPHALT SHINGLES, DARK GREY

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PRINT DATE 3/30/2026 1:05:19 PM

DRAWING

FRONT& REAR ELEVATIONS

DRAWN BY TK

CHECKED BY SS

SHEET

A11

SCALE 1/8" = 1'-0"



WINDOW TO WALL RATIO			
LIMITING DISTANCE		1.2 m	
TOTAL WINDOW AREA		53.25 ft²	
TOTAL WALL AREA		885.24 ft²	
WWR PROPOSED		6.0%	
WWR ALLOWED		7%	

WINDOW TO WALL RATIO			
LIMITING DISTANCE		1.2 m	
TOTAL WINDOW AREA		53.25 ft²	
TOTAL WALL AREA		872.32 ft²	
WWR PROPOSED		6.1%	
WWR ALLOWED		7%	

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TAG #	DESCRIPTION
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CALGARY, AB

LEGAL LOT 15, BLOCK 9, 786 JK

USE RC-G

PRINT DATE 3/30/2026 1:05:23 PM

DRAWING

LEFT ELEVATION

DRAWN BY TK

CHECKED BY SS

SHEET

A12

SCALE 1/8" = 1'-0"



WINDOW TO WALL RATIO			
LIMITING DISTANCE		1.2 m	
TOTAL WINDOW AREA		53.25 ft²	
TOTAL WALL AREA		872.32 ft²	
WWR PROPOSED		6.1%	
WWR ALLOWED		7%	

WINDOW TO WALL RATIO			
LIMITING DISTANCE		1.2 m	
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USE RC-G

PRINT DATE 3/30/2026 1:05:26 PM

DRAWING

RIGHT ELEVATION

DRAWN BY TK

CHECKED BY SS

SHEET

A13

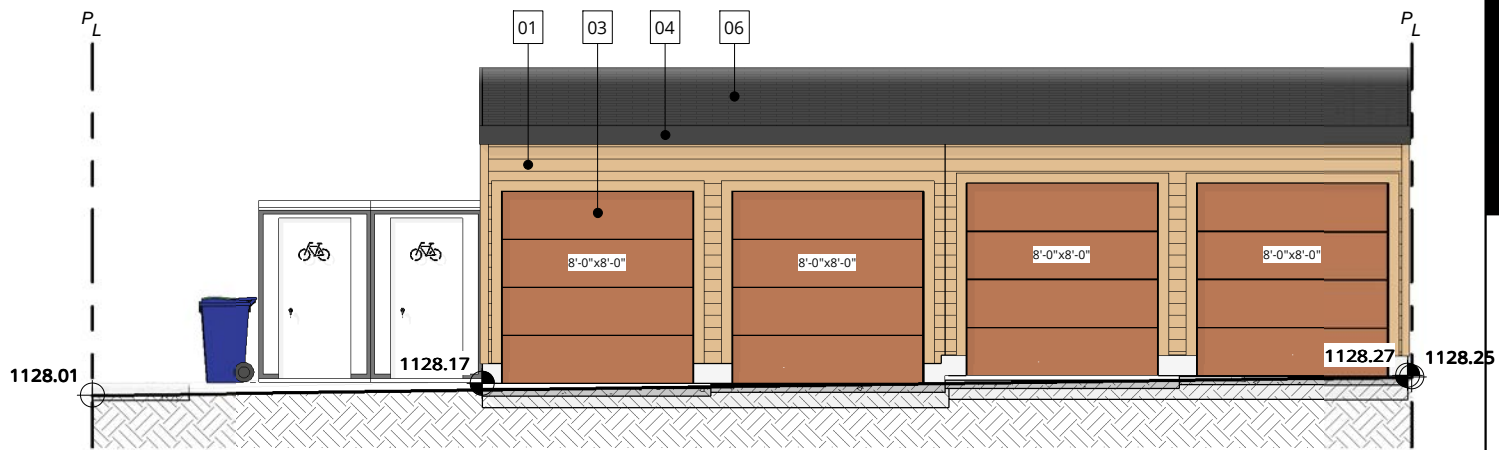
SCALE 1/8" = 1'-0"

ARC1
DESIGN BUILD

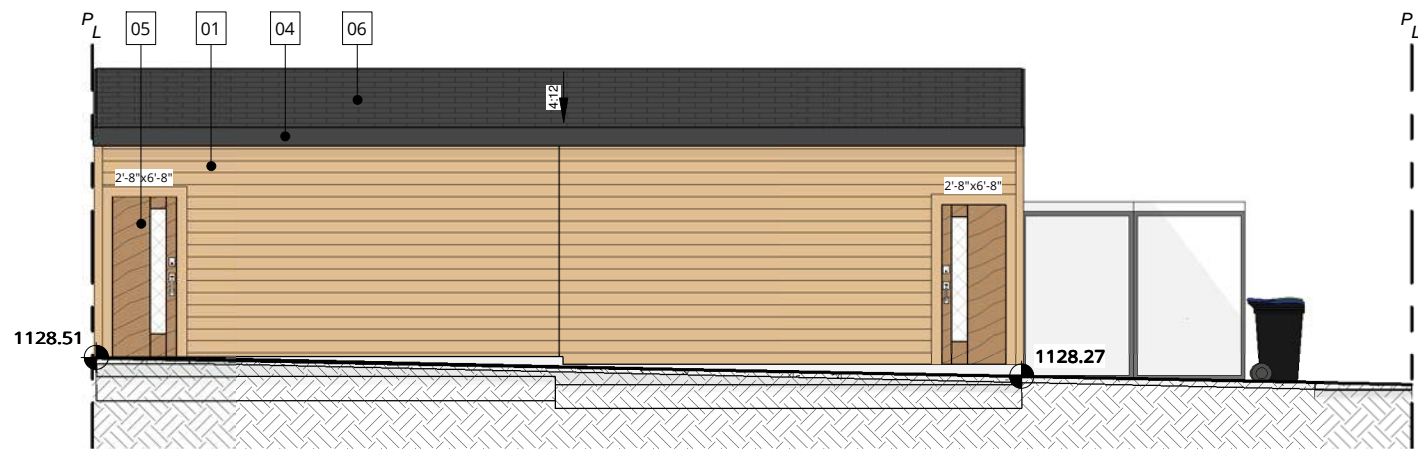
PHONE (403)816-6342
EMAIL info@arc1design.ca

1

2

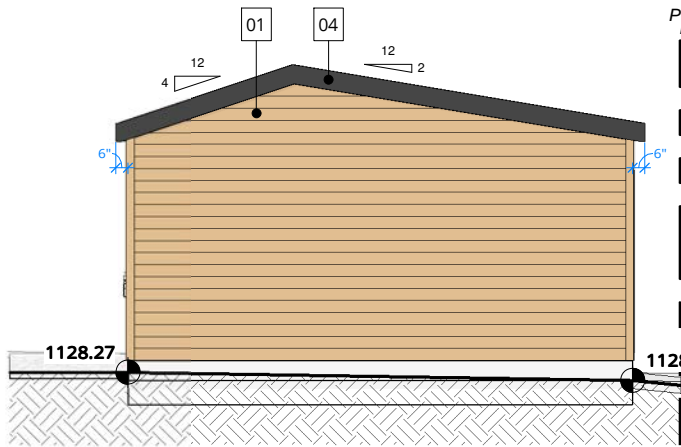


4 GARAGE - FRONT ELEVATION
1/8" = 1'-0"

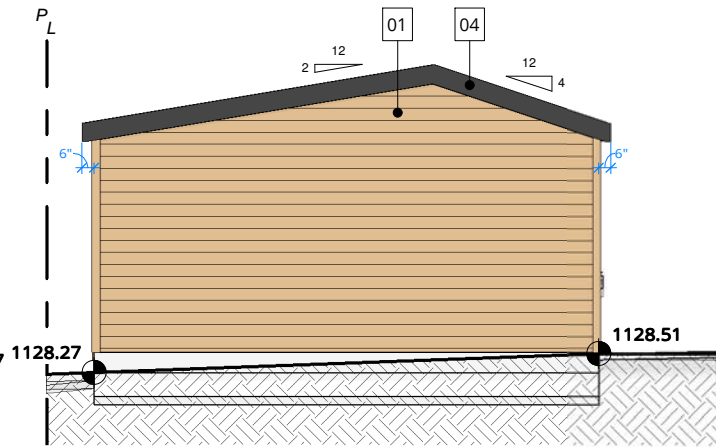


5 GARAGE - REAR ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES	
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6 GARAGE - LEFT ELEVATION
1/8" = 1'-0"



7 GARAGE - RIGHT ELEVATION
1/8" = 1'-0"

TO BE BUILT AS PER SPV-003

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PRINT DATE 3/30/2026 1:05:32 PM

DRAWING

GARAGE 1

DRAWN BY TK
CHECKED BY SS
SHEET

A16

SCALE 1/8" = 1'-0"