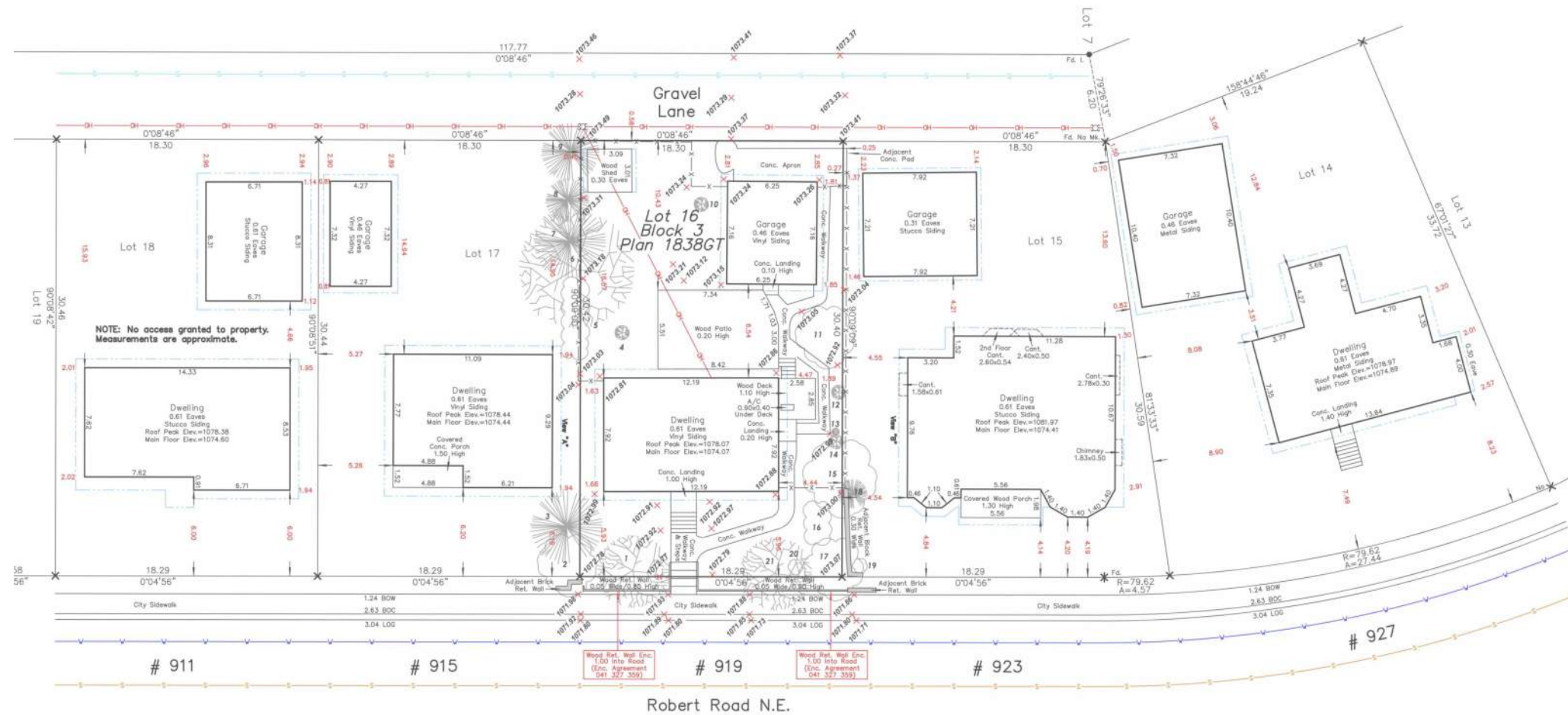




91



1 Block/Site Plan (Existing)
A-1.0 Scale: 1:400

Project:

New Single Family Dwelling

Address :

**919(South), Robert Road, NE
Calgary, AB**

Project Designer:

Sara Karimi avval



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RenoCal

**Tel: 403-971-8177
calgary.renov@gmail.com**

Lot 16, Block 3, Plan 1838 GT

Drawing :

Site/Block Plan, Existing

Scale :

1:400

Designed By :

SK

Drawn By :

SK

Checked By :

SK

Date :

24-March-2026

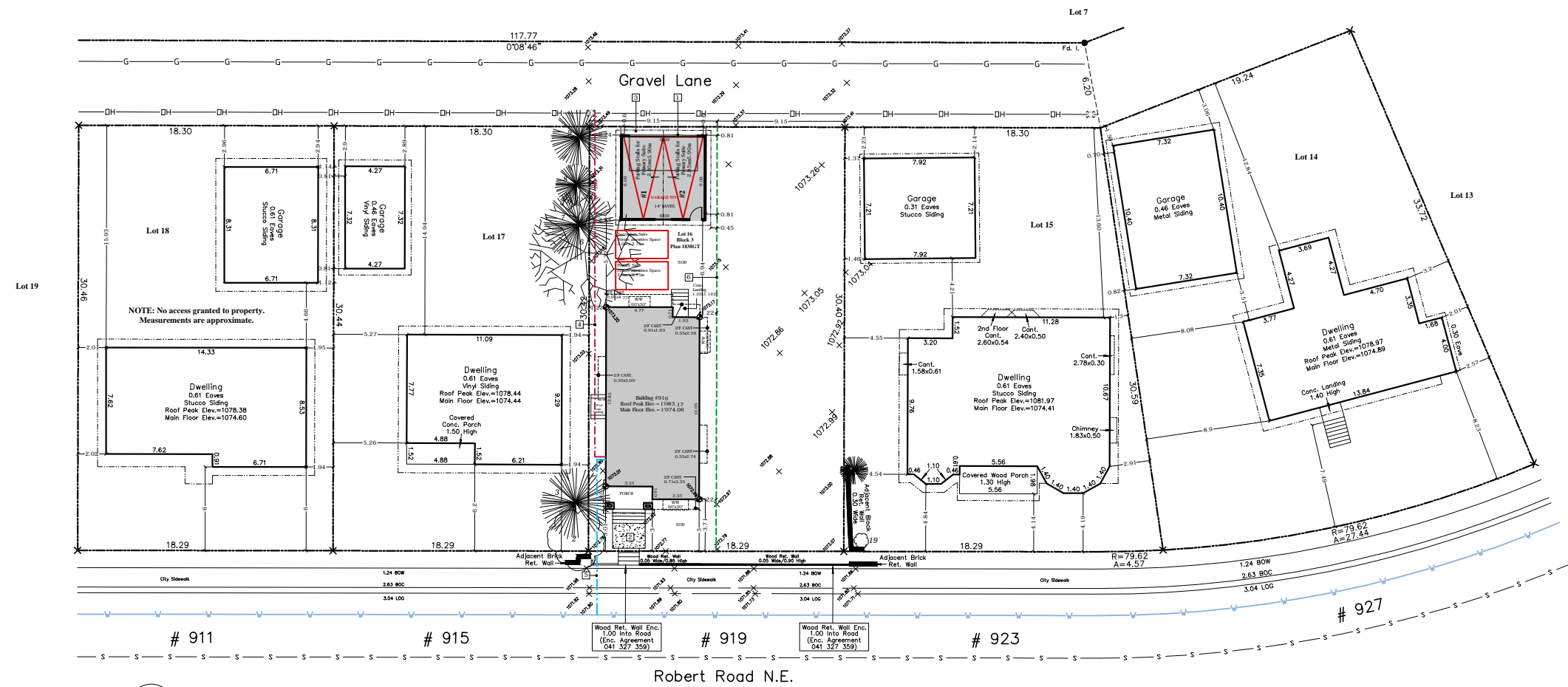
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26-040-20260324-A1.0

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1 Block/Site Plan (Existing)
A-1.0 Scale: 1:400

919(South), Robert Road, NE

Legal Description:

Lot 16
Block 3
Plan 1838 GT

Zoning:

Residential, (R-CG) District

Total Parcel Area:
278.09 SQ.M. (2'993.33 SQ.FT.)

Max. Lot Coverage = 45%

Building Area Allowed:
1'346.99 SQ.FT.

Building Footprint Area:
Proposed House = 87.87 SQ.M.(945.88 SQ.FT.)
Proposed Garage = 37.16 SQ.M.(400.00 SQ.FT.)

Total= 125.03 SQ.M. (1'345.88 SQ.FT.)

Lot Coverage:44.96%

- 1 Overhead Garage Door
- 2 New Walkways
- 3 New Concrete Apron - Extend width of garage
- 4 New Power Lines - Location TBD on Site
- 5 New Water and Sewer Lines - Location TBD on Site
- 6 New Property Line

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height	Status
1	Deciduous	0.25	5.00	7.00	Will Remove
2	Bush	---	4.00	4.00	Will Remain
3	Coniferous	0.45	4.00	13.00	Will Remain
4	Deciduous	0.20	3.50	5.00	Will Remove
5	Bush	---	1.50	4.00	Will Remove
6	Deciduous	0.30	8.00	8.00	Will Remain
7	Coniferous	0.50	5.00	13.00	Will Remain
8	Coniferous	0.45	3.00	13.00	Will Remain
9	Coniferous	0.50	4.00	13.00	Will Remain
10	Deciduous	0.20	1.00	9.00	Will Remove
11	Bush	---	4.00	4.00	Will Remove
12	Deciduous	0.15	1.00	6.00	Will Remove
13	Deciduous	0.15	0.50	7.00	Will Remove
14	Deciduous	0.25	1.00	11.00	Will Remove
15	Bush	---	5.00	5.00	Will Remove
16	Bush	---	1.50	2.50	Will Remove
17	Bush	---	4.00	3.00	Will Remove
18	Coniferous	0.20	2.00	7.00	Will Remove
19	Bush	---	1.00	1.00	Will Remain
20	Bush	---	1.00	1.00	Will Remove
21	Deciduous	0.20	5.00	6.00	Will Remove

Project:

New Single Family Dwelling

Address :

919(South), Robert Road, NE
Calgary, AB

Project Designer:

Sara Karimi avval



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Lot 16, Block 3, Plan 1838 GT

Drawing :

Site/Block Plan, Proposed

Scale :

1:400

Designed By :

SK

Drawn By :

SK

Checked By :

SK

Date :

24-March-2026

File No.

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A1.1

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Exterior Materials

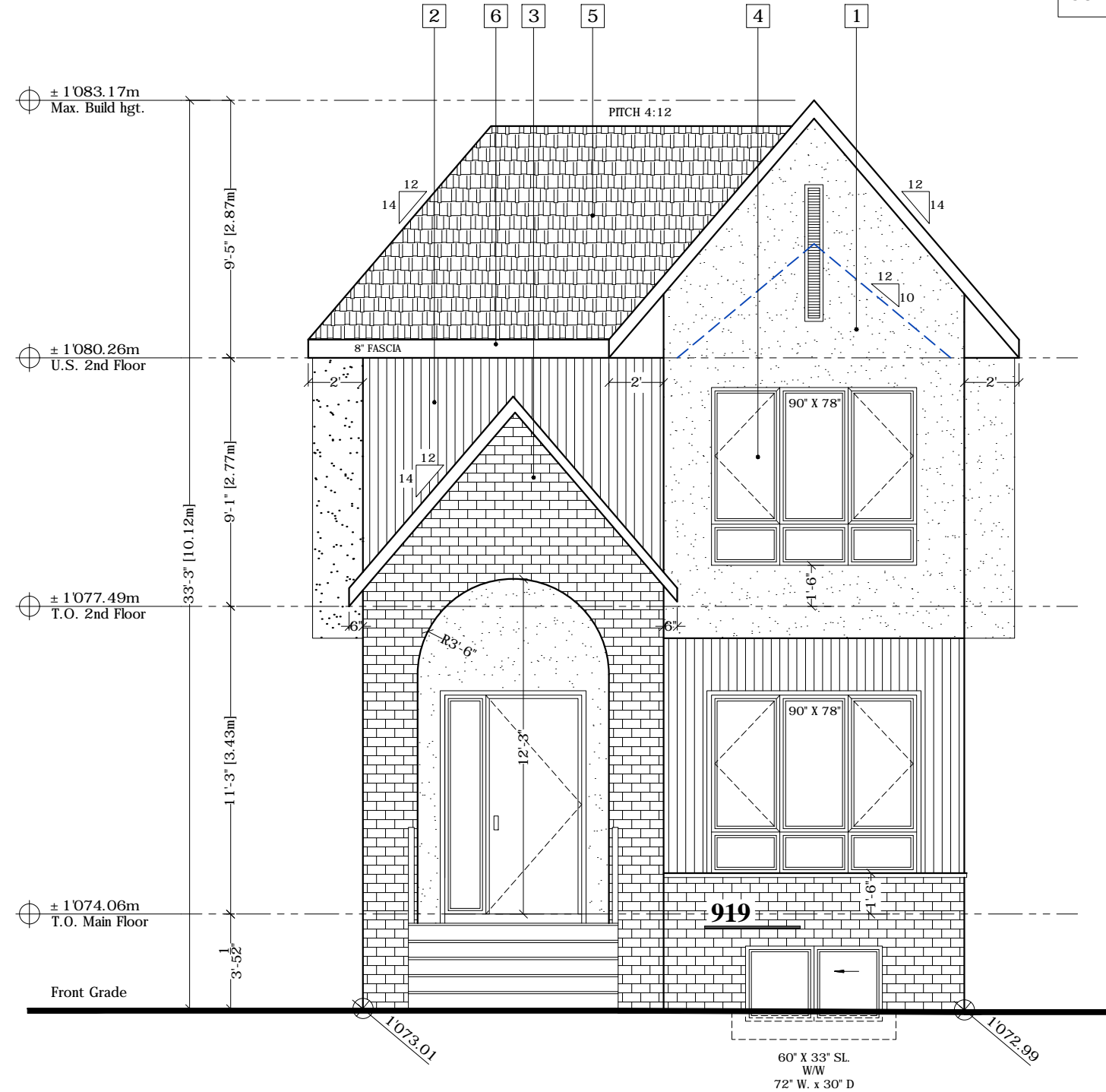
- 1 Stucco
- 2 Metal Siding
- 3 Brick/ Stone Veneer
- 4 Window - Clear Glazing
- 5 Shingle Asphalt - Black
- 6 Prefinished Metal / Cedar Trim-Soffit
- 7 Glass Metal Handrail / Guardrail

Windows & Doors
 Rough Terrain- Class R- PG25, 1200 Pa
 Design Pressure, 260 Pa Water Resistance,
 A2 Air, U-Value (Doors & Windows) Max. 1.6

**** Note****
 Window Spec's To be confirmed by Owner/Contractor Prior to Ordering
 To Ensure Proper Venting And Egress.

****Note****
 Provide Proper Slope to Allow Drainage Away From Residence

****Note****
 Contractor To Confirm Dim. Prior To Const.



1 Front Elevation (Proposed)
 A-3.0 Scale: 1/8" = 1'-0"

Project:
 New Single Family Dwelling
 Address :
 919(South), Robert Road, NE
 Calgary, AB

Project Designer:
 Sara Karimi avval

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Lot 16, Block 3, Plan 1838 GT

Drawing :
 Front Elevation, Proposed

Scale :
 3/16" = 1'-0"

Designed By :
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Drawn By :
 SK

Checked By :
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Date :
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File No.
 26-040-20260324-A3.0

Sheet :
 A3.0

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Exterior Materials

- 1 Stucco
- 2 Metal Siding
- 3 Brick/ Stone Veneer
- 4 Window - Clear Glazing
- 5 Shingle Asphalt - Black
- 6 Prefinished Metal / Cedar Trim-Soffit
- 7 Glass Metal Handrail / Guardrail

Glazing Calculation:

Wall Area = 1'117.68 SQ.FT.
 Allowable Glazing = 7% = 78.23 SQ.FT.
 Proposed Glazing = 42.34 SQ.FT.

Windows & Doors

Rough Terrain- Class R- PG25, 1200 Pa
 Design Pressure, 260 Pa Water Resistance,
 A2 Air, U-Value (Doors & Windows) Max.1.6

**** Note****
 Window Spec's To be confirmed by Owner/Contractor Prior to Ordering
 To Ensure Proper Venting And Egress.

****Note****
 Provide Proper Slope to Allow Drainage Away From Residence

****Note****
 Contractor To Confirm Dim. Prior To Const.

Project:

New Single Family Dwelling

Address :

919(South), Robert Road, NE
 Calgary, AB

Project Designer:

Sara Karimi avval

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Lot 16, Block 3, Plan 1838 GT

Drawing :
 Right Elevation, Proposed

Scale :
 3/16"=1'-0"

Designed By :
 SK

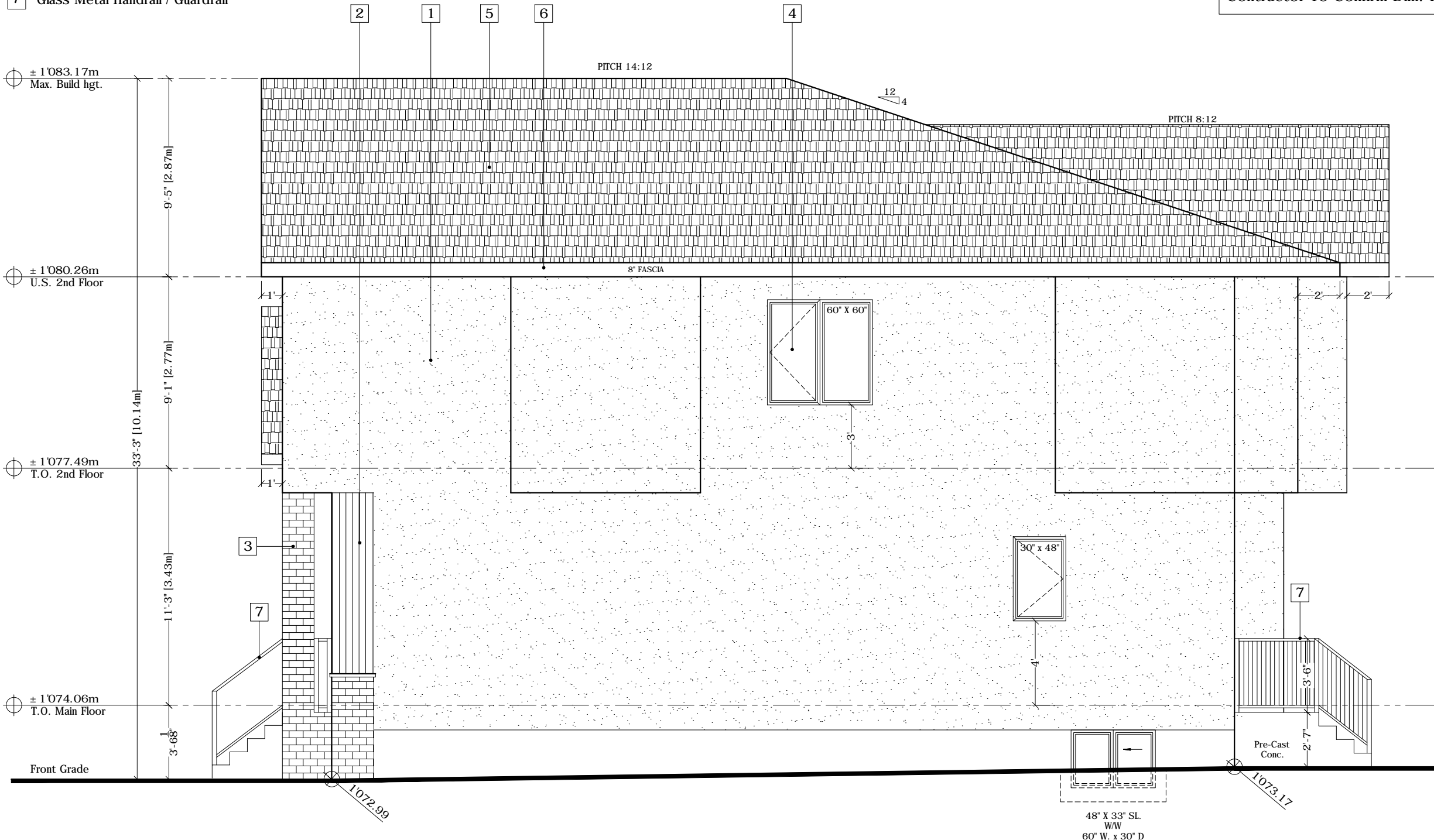
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Date :
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1 Right Elevation (Proposed)
 A-3.1 Scale: 1/8"= 1'-0"

Exterior Materials

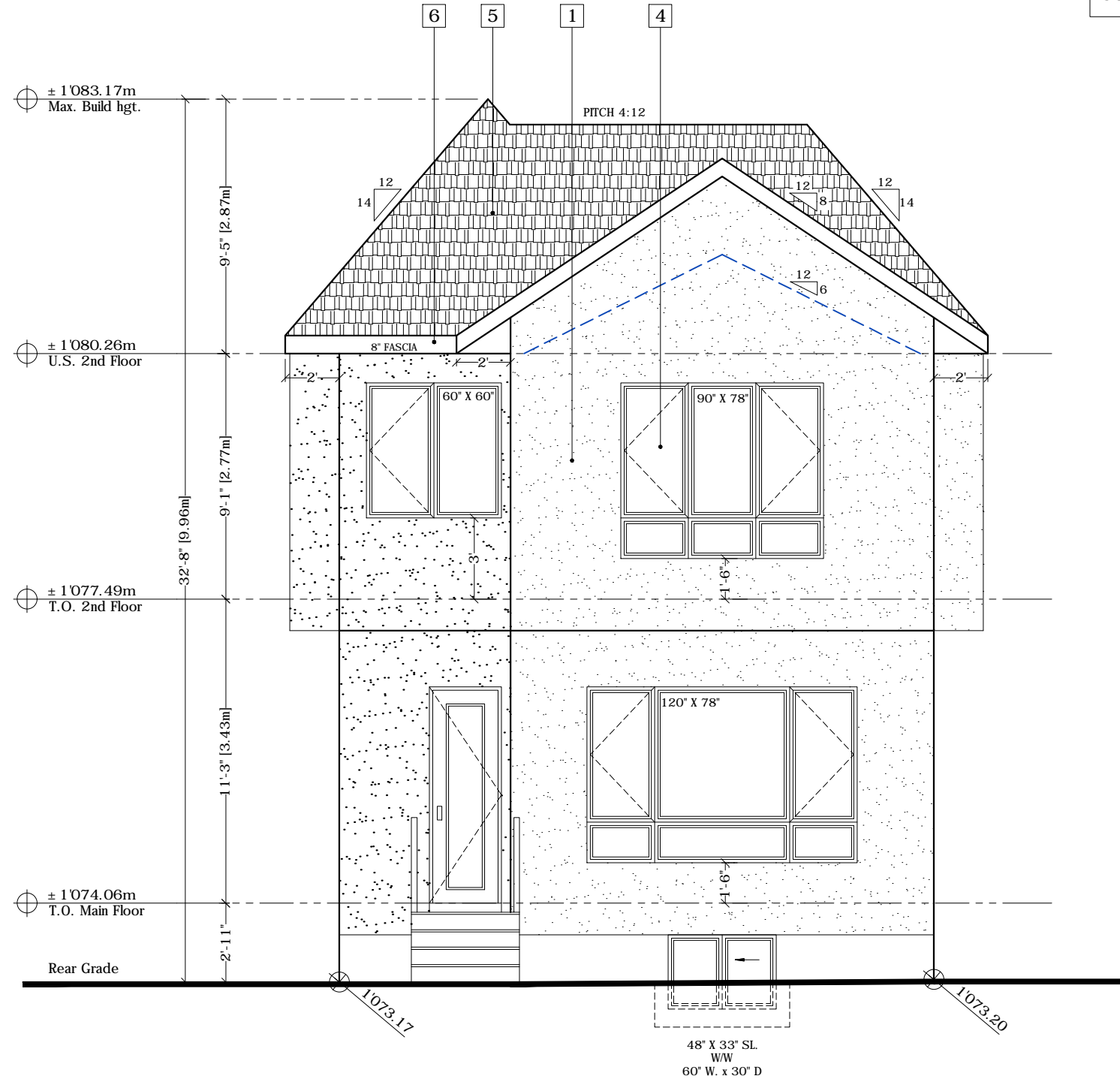
- 1 Stucco
- 2 Metal Siding
- 3 Brick/ Stone Veneer
- 4 Window - Clear Glazing
- 5 Shingle Asphalt - Black
- 6 Prefinished Metal / Cedar Trim-Soffit
- 7 Glass Metal Handrail / Guardrail

Windows & Doors
 Rough Terrain- Class R- PG25, 1200 Pa
 Design Pressure, 260 Pa Water Resistance,
 A2 Air, U-Value (Doors & Windows) Max. 1.6

**** Note****
 Window Spec's To be confirmed by Owner/Contractor Prior to Ordering
 To Ensure Proper Venting And Egress.

****Note****
 Provide Proper Slope to Allow Drainage Away From Residence

****Note****
 Contractor To Confirm Dim. Prior To Const.



1 Rear Elevation (Proposed)
 A-3.2 Scale: 1/8" = 1'-0"

Project:
 New Single Family Dwelling
 Address :
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 Calgary, AB

Project Designer:
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Lot 16, Block 3, Plan 1838 GT

Drawing :
 Rear Elevation, Proposed

Scale :
 3/16"=1'-0"

Designed By :
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Checked By :
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Date :
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File No.
 26-040-20260324-A3.2

Sheet :
 A3.2

Exterior Materials

- 1 Stucco
- 2 Metal Siding
- 3 Brick/ Stone Veneer
- 4 Window - Clear Glazing
- 5 Shingle Asphalt - Black
- 6 Prefinished Metal / Cedar Trim-Soffit
- 7 Glass Metal Handrail / Guardrail

Glazing Calculation:

Wall Area = 1'148.25 SQ.FT.
 Allowable Glazing = 7% = 80.37 SQ.FT.
 Proposed Glazing = 42.50 SQ.FT.

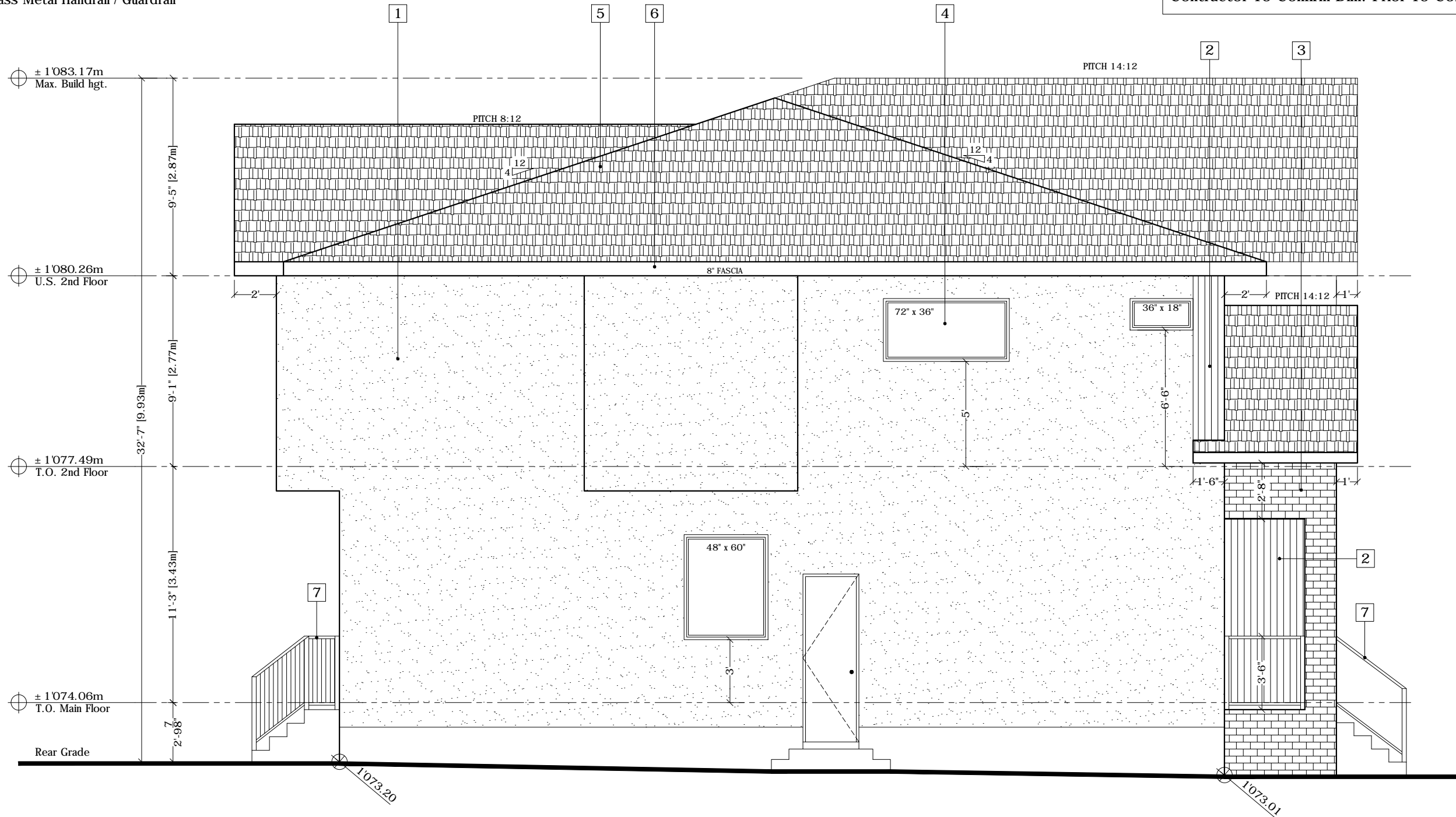
Windows & Doors

Rough Terrain- Class R- PG25, 1200 Pa
 Design Pressure, 260 Pa Water Resistance,
 A2 Air, U-Value (Doors & Windows) Max. 1.6

**** Note****
 Window Spec's To be confirmed by Owner/Contractor Prior to Ordering
 To Ensure Proper Venting And Egress.

****Note****
 Provide Proper Slope to Allow Drainage Away From Residence

****Note****
 Contractor To Confirm Dim. Prior To Const.



1 Left Elevation (Proposed)
 A-3.3 Scale: 1/8" = 1'-0"

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Project:
 New Single Family Dwelling
Address :
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Project Designer:
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Lot 16, Block 3, Plan 1838 GT

Drawing :
 Left Elevation, Proposed
Scale :
 3/16" = 1'-0"

Designed By :
 SK

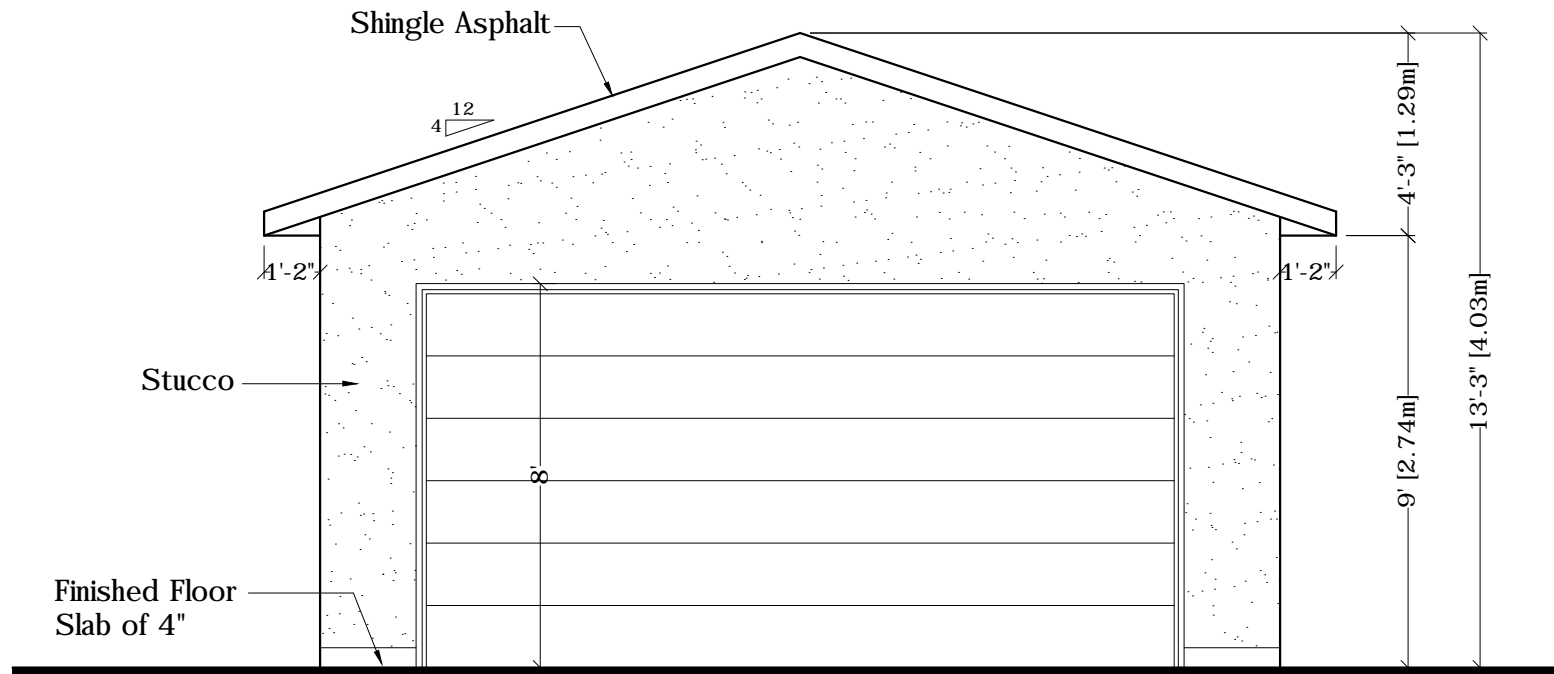
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Checked By :
 SK

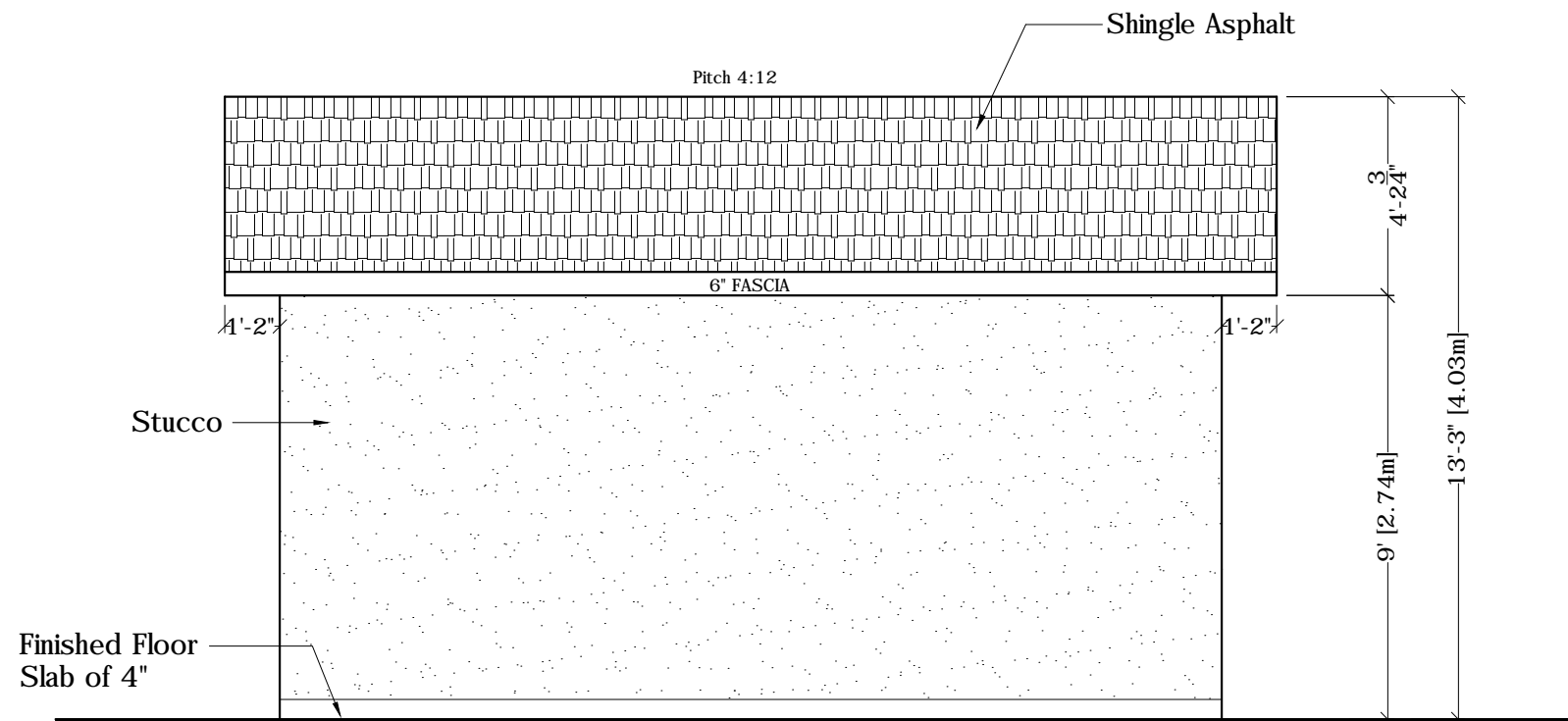
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 24-March-2026

File No.
 26-040-20260324-A3.3

Sheet :
 A3.3



1 West Elevation (Proposed)
 A-4.1 Scale: 1/4" = 1'-0"



2 North & South Elevation (Proposed)
 A-4.1 Scale: 1/4" = 1'-0"

Project:
 Accessory Building
Address :
 919(South), Robert Road, NE
 Calgary, AB
Project Designer:
 Sara Karimi avval

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Lot 16, Block 3, Plan 1838 GT

Drawing :
 Garage Elevations, Proposed

Scale :
 1/4"=1'-0"

Designed By :
 SK

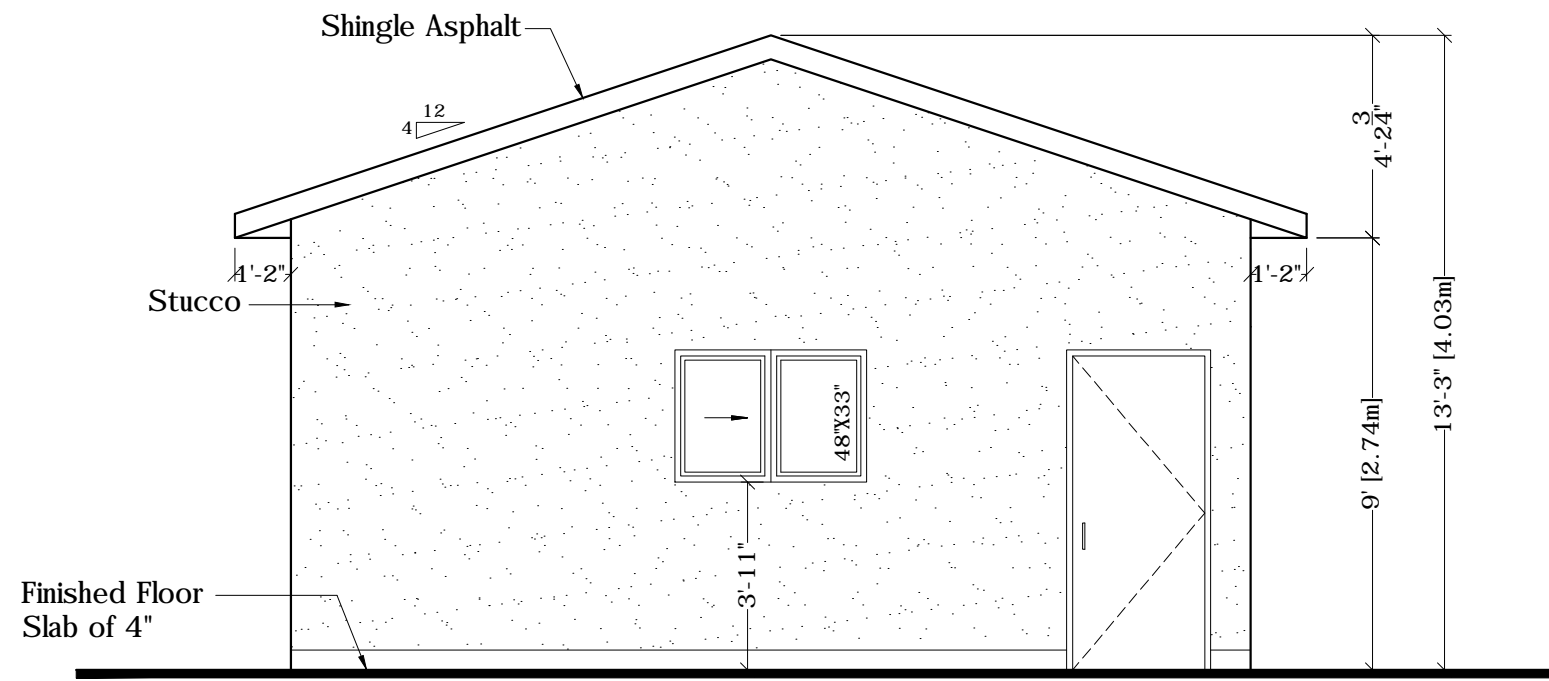
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 SK

Checked By :
 SK

Date :
 24-March-2026

File No.
 26-040-20260324-A4.1

Sheet :
 A4.1



1 East Elevation (Proposed)
 A-4.2 Scale: 1/4" = 1'-0"

Project:
 Accessory Building

Address :
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 Calgary, AB

Project Designer:
 Sara Karimi avval

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Lot 16, Block 3, Plan 1838 GT

Drawing :
 Garage Elevation, Proposed

Scale :
 1/4"=1'-0"

Designed By :
 SK

Drawn By :
 SK

Checked By :
 SK

Date :
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 A4.2

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