



SOUTHWOOD-1427-SINGLE DETACHED

1427 SOUTHDALE PL SW, CALGARY, AB



SHEET LIST		
SHEET#	SHEET NAME	ISSUED
A00	COVER PAGE	06/10/2026
A01	NOTES & LEGENDS	06/10/2026
A02	BLOCK/SITE PLAN - EXISTING	06/10/2026
A03	BLOCK/SITE PLAN - PROPOSED	06/10/2026
A04	FRONT ELEVATION	06/10/2026
A05	REAR ELEVATION	06/10/2026
A06	LEFT ELEVATION	06/10/2026
A07	RIGHT ELEVATION	06/10/2026
A08	BASEMENT PLAN	06/10/2026
A09	BASEMENT - ELECTRICAL	06/10/2026
A10	MAIN FLOOR PLAN	06/10/2026
A11	MAIN FLOOR - ELECTRICAL	06/10/2026
A12	SECOND FLOOR PLAN	06/10/2026
A13	SECOND FLOOR - ELECTRICAL	06/10/2026
A14	ROOF PLAN	06/10/2026
A15	SECTION 1	06/10/2026
A16	SECTION 2	06/10/2026
A17	SECTION 3	06/10/2026
A18	SECTION 4	06/10/2026
A19	SECTION 5	06/10/2026
A20	DETAILS 1	06/10/2026
A21	DETAILS 2	06/10/2026
A22	DETAILS 3	06/10/2026

PROJECT DATA/BYLAW/CODE REVIEW		
ITEM	DESCRIPTION	REFERENCE
LAND USE (EXISTING)	R-CG(RESIDENTIAL)	
PROJECT TYPE	SINGLE DETACHED DWELLING w/ SECONDARY SUITE	
FLOOD PROTECTION ZONE	N/A	
AVPA	N/A	
LANDFILL SETBACK	N/A	
ABANDONED WELLS	N/A	
HERITAGE STATUS	N/A	
APPLICABLE BYLAW	CITY OF CALGARY LUB1P2007	09/15/2025
PERMITTED USES	SECONDARY SUITE	526
DISCRETIONARY USES	SINGLE DETACHED DWELLING	527
DENSITY	PARCEL AREA TOTAL: 947.74m²	529
FACADE WIDTH	MIN. 4.2m, PROVIDED: m	532
PARCEL COVERAGE	MAX.45%, PROVIDED: 18.70%	534
BUILDING DEPTH AND SEPARATION	MAX. 65% (26.04m)	535
SETBACK FROM FRONT PL	DWELLING - MIN. 3.0m, PROVIDED: 3.23 m, 3.03m,...	537
SETBACK FROM SIDE PL	DWELLING - MIN. 1.2m, PROVIDED: 1.37m, 6.06m, 10.29m, 13.74m, 4.33m, 1.91m, 1.35m	539
	BACKYARD SUITE - MIN. 1.2m, PROVIDED: m	352(2)
SETBACK FROM REAR PL	DWELING - MIN. 1.2m ON A LANED OR CORNER PARCEL , PROVIDED: 20.17m	540(2)
	BACKYARD SUITE - MIN. 1.5m, PROVIDED: 1.23m	352(1)(a)
PROJECTIONS INTO SETBACK	FRONT SETBACK: PORCH MAY PROJECT MAX. 1.8m ; EAVE FROM PORCH MAY PROJECT ADDITIONAL 0.6m	336 (5) 336 (6)
BACKYARD SUITE - BALCONY	A BALCONY MAY PROJECT INTO A REQUIRED SETBACK AREA FROM A PROPERTY LINE SHARED WITH A STREET OR A LANE TO A MIN. 06.m SETBACK...	352(9)
BUILDING HEIGHT	DWELLING - MAX. 11.0m, PROVIDED: 7.69m	541(1)
	BACKYARD SUITE - MAX. 7.5m, PROVIDED: m	352(4)
DISTANCE FROM DWELLING	BACKYARD SUITE - MIN. 5.0m, PROVIDED: 9.76m	352 (3)
	MIN. 1.5m SEPARATION, IF AMENITY SPACE IS PROVIDED AT GRADE; ADJACENT TO THE MAIN DWELLING & BACKYARD SUITE, & NO DIMENSION...	352 (3.1)
FLOOR AREA	BACKYARD SUITE - MAX. FLOOR AREA 75.0m²; EXCLUDING INTERAL LANDINGS & STAIRWAYS (MAX. 2.5m²);	352 (5)
PLANTING REQUIREMENTS	438.1m² / 110.0m² = 4 MIN. 4 TREES/12 SHRUBS, PROVIDED: 4 TREES/12 SHRUBS...	542.2
AMENITY SPACE	MIN. AREA: 15.0 m² (161.46 ft²)	543
MOTOR VEHICLE PARKING STALL	MIN. 1, PROVIDED: 2	546

CONSTRUCTION NOTES
GENERAL 1. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL. ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION. ONCE CONSTRUCTION COMMENCES, IT IS ASSUMED THAT THE OWNER AND/OR CONTRACTOR HAVE ACCEPTED THE DRAWINGS AS TRUE, CORRECT AND COMPLETE. 2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND ANY OTHER APPLICABLE ENGINEERING DRAWINGS AND SPECIFICATIONS PROVIDED FOR THIS PROJECT. 3. MANUFACTURER'S SPECIFICATIONS ARE TO TAKE PRECEDENCE OVER TYPICAL DETAILS SHOWN IN THESE DRAWINGS. 4. ALL BUILDING OUTLINES, ELEVATIONS AND LEVELS ARE INDICATIVE ONLY. ALLOW FOR MINOR VARIATIONS DUE TO MARGIN OF ERROR OF THE SURVEYED INFORMATION, GROUND MOVEMENT AND ACTUAL MATERIAL SIZE. MINOR VARIATIONS ARE CONSIDERED TO BE +/- 25mm (1"). 5. CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS. 6. ALL BUILDING DIMENSIONS ARE TO FACE OF CONCRETE, STUD, OR SHEATHING. 7. ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE. 8. ALL FRAMING TO BE S.P.F. #2 OR BETTER.

SITE 1. ALL DIMENSIONS ARE IN METERS, UNLESS OTHERWISE SHOWN. 2. THIS PROPERTY DOES NOT FALL WITHIN THE FLOODWAY, FLOOD FRINGE, OR OVERLAND FLOW REGION ACCORDING TO THE www.calgary.ca FLOOD HAZARD MAP.
--

AIR BARRIER SYSTEM 1. ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT. 2. HOUSE WRAP APPROACH (HWA).
--

BASEMENT 1. CONTRACTOR TO DETERMINE IF SOIL CONDITIONS ARE SUITABLE BEFORE START OF CONSTRUCTION. 2. ALL FOOTINGS TO BE PLACED ON UNDISTURBED NATIVE SOIL AND BE A MIN OF 4" BELOW GRADE. STEP FOOTING AS REQUIRED. 3. POSTS AND COLUMNS SHALL BE CENTERED ON CONCRETE PADS. SIZES TO BE DETERMINED BY STRUCTURAL ENGINEER. 4. PROVIDE SLEEVES THROUGH CONCRETE FOR FURNACE C/A & F/A VENTS.

ELECTRICAL 1. ELECTRICAL LAYOUT SHOWN IS ONLY TO BE USED AS A GUIDELINE. 2. FINAL LAYOUT TO BE CONFIRMED WITH THE CLIENT DURING THE PRE-INSTALLATION WALK-THROUGH. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN MEETS MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES.

ELEVATION 1. FINAL GRADES MAY ALTER EXTERIOR APPEARANCE. 2. TOP OF DECK TO BE 3" BELOW TOP OF FLOOR UNLESS NOTED.
--

EXTERIOR WINDOWS, DOORS AND SKYLIGHTS

1.	THERMAL CHARACTERISTICS			
	MAX. U-VALUE	MIN. RSI-VALUE	MAX. U-VALUE	MIN. ENERGY RATING
	WINDOWS & DOORS	0.625	1.61	25
	SKYLIGHTS	0.370	2.75	
	VEHICLE ACCESS DOOR	1.100	0.91	
2.	FENESTRATION PERFORMANCE REQUIREMENTS			
	TERRAIN TYPE			ROUGH
	PERFORMANCE CLASS			R
	PERFORMANCE GRADE			PG 25
	MIN. POSITIVE DESIGN PRESSURE			1,200 PA
	MIN. NEGATIVE DESIGN PRESSURE			1,200 PA
	MIN. WATER PENETRATION RESISTANCE TEST PRESSURE			260 PA
	MIN. CANADIAN AIR INFILTRATION/EXFILTRATION			A2
3.	GLAZING INSTALLED OVER STAIRS, RAMPS AND LANDINGS THAT IS LESS THAN 900mm (3') ABOVE THE SURFACE OF THE TREADS, RAMP OR LANDING SHALL BE PROTECTED BY GUARDS OR BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LATERAL LOADS FOR BALCONY GUARDS AS PROVIDED IN ARTICLE 4.1.5.14 OF THE NBC 2023-AE.			
4.	LINTELS FOR OPENINGS UP TO 6'-0" TO BE 2-2x8 SPF #2, AND OVER 6'-0" TO BE 2-2x10 SPF #2 (UNLESS OTHERWISE NOTED).			
5.	ALL WINDOW AND DOOR TOPS TO HAVE FLASHING.			

MECHANICAL 1. HVAC - AC, SPLIT SYSTEM: SEER = 14.5 - GAS-FIRED BOILER: AFUE ≥ 90% - GAS-FIRED FURNACE: AFUE ≥ 95% 2. HEAT RECOVERY VENTILATOR (HRV) - MIN. SENSIBLE HEAT RECOVERY, EFFICIENCY OF 60% 3. SERVICE WATER & IN-FLOOR HEATING - ELECTRIC, STORAGE: SL ≤ 35+(0.20V) - GAS-FIRED STORAGE: UEF ≥ 0.3456-(0.00053V) - GAS-FIRED TANKLESS: UEF ≥ 0.86

ROOF 1. TRUSS MANUFACTURER MUST VERIFY ALL ROOF SLOPES AND THE CEILING HEIGHTS/SLOPES IN EACH ROOM PRIOR TO MATERIAL ORDER. 2. ROOF SHALL BE VENTED AS PER THE NBC 2023-AE. 3. 24" OVERHANG c/w ROUGH FASCIA & SOFFIT UNLESS NOTED. 4. 22"x30" SKYLIGHTS AND ROOF ACCESS HATCH TO FIT WITHIN THE 22.5" CLEARANCE BETWEEN TRUSSES.
--

SECONDARY SUITES 1. SECONDARY SUITE EXTERIOR ENTRY DOORS TO BE INSULATED HOLLOW METAL DOORS WITH A 45 MIN. FIRE RATING, AND BE PROVIDED WITH SELF-CLOSING DEVICES. 2. DOORS LOCATED IN SMOKE SEALED WALLS TO BE MIN. 45mm THICK SOLID CORE WOOD, C/W SELF-CLOSING DEVICE, SWEEP, AND A PERIMETER SMOKE SEAL.

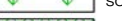
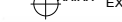
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	SWITCH - SINGLE
	SWITCH - 3-WAY
	SWITCH - 4-WAY
	SWITCH - DIMMER
	OUTLET - 110V
	OUTLET - FLOOR MOUNTED
	OUTLET - SWITCHED
	OUTLET - WEATHERPROOF
	OUTLET - GROUND FAULT INTERRUPT
	OUTLET - 220V
	DIRECT CONNECTION
	CABLE TV
	DATA/PHONE
	MOTION DETECTOR
	THERMOSTAT
	LIGHT - CEILING MOUNTED
	LIGHT - POT
	LIGHT - PULL CHAIN
	LIGHT - WALL MOUNTED
	LIGHT - TRACK
	LIGHT - UNDER CABINET
	LIGHT - WRAP AROUND
	LIGHT - PANEL
	SMOKE DETECTOR
	SMOKE & CO DETECTOR
	EXIT LIGHT c/w BATTERY PACK
	BATHROOM FAN
	VACUFLOW
	ELECTRICAL PANEL
	ELECTRICAL WIRE

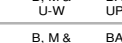
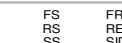
FLOOR PLAN LEGEND	
	INTERIOR WALLS (2x4)
	INTERIOR PLUMBING WALLS (2x6)
	INTERIOR SMOKE SEPARATION WALLS (2x6)
	EXTERIOR FOUNDATION WALLS
	EXTERIOR WALLS (2x6)
	TALL WALLS
	PARTY WALLS (2-2x4)
	FIRE WALL (8" CONCRETE) (2-2x6)

ELEVATION LEGEND	
	OPERABLE WINDOW
	CLEAR GLASS
	OBSCURED GLASS
	PROTECTED OPENINGS (WIRED GLASS OR FIRE SHUTTERS)

MECHANICAL LEGEND	
	TANKLESS WATER HEATER
	FLOOR DRAIN
	SUMP PUMP
	HOT WATER TANK
	RADON DEPRESSURIZATION
	COMBUSTION AIR & FRESH AIR VENTS
	HEAT RECOVERY VENTILATOR (HRV)
	HIGH EFFICIENCY FURNACE

SITE LEGEND	
	SUBJECT PROPERTY
	ADJACENT PROPERTY
	SETBACKS
	ROOF OVERHANG
	WINDOW WELLS
	UNDERGROUND ELECTRICAL
	OVERHEAD ELECTRICAL
	GAS
	WATER
	SANITARY
	STORM
	FENCE
	TREE PROTECTION ZONE
	LIMIT OF LAND DISTURBANCE
	RETAINING WALLS

	EXISTING BUILDINGS
	DWELLING, GARAGE & M.F. PROJECTIONS
	COVERED PORCH & ROOF DEPTH >1.0m
	WOOD DECK
	EXISTING LANDSCAPING
	SOD on 130mm TOPSOIL
	MULCH BED
	CONCRETE PAD/WALK
	EXPOSED AGGREGATE
	GRAVEL
	BRICK WALK
	CONSTRUCTION MATERIAL STORAGE
	VISIBILITY TRIANGLE

	EXISTING GEODETTICS
	PROPOSED GEODETTICS
	CONIFEROUS TREES
	DECIDUOUS TREES
	CONIFEROUS SHRUBS
	DECIDUOUS SHRUBS
	GARBAGE, RECYCLING, & ORGANICS BINS
	DWELLING ACCESS
	SECONDARY SUITE ACCESS
	BOS BOC LOG
	TOW BOW
	B, M & U-W
	B, M & U-D
	FS RS SS

ARC1

DESIGN BUILD

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DISCLAIMER

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ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.11	06/10/2026

PROJECT NAME & ADDRESS

NAME

SOUTHWOOD-1427-SINGLE DETACHED

ADDRESS

1427 SOUTHDAL E PL SW
CALGARY, AB

LEGAL

LOT 8, BLOCK 13, PLAN 4985JK

USE

R-CG

PRINT DATE

6/10/2026 3:11:51 PM

DRAWING

NOTES & LEGENDS

DRAWN BY

SS

CHECKED BY

SS

SHEET

A01

SCALE

As indicated



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EXTERIOR FINISHES

TAG #	DESCRIPTION
01	ASHPALT SHINGLES, COLOUR: BLACK
02	FASCIA WOOD, PAINT: BLACK
03	HARDIE PANEL, COLOUR: MEDIUM GREY
04	HARDIE PLANK - HORIZONTAL, COLOUR: MEDIUM GREY
05	STONE VENEER, COLOR: LIGHT GREY
06	CAST-IN-PLACE CONCRETE
07	<varies>

ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.11	06/10/2026

PROJECT NAME & ADDRESS

NAME SOUTHWOOD-1427-SINGLE DETACHED
ADDRESS 1427 SOUTHDALE PL SW CALGARY, AB
LEGAL LOT 8, BLOCK 13, PLAN 4985JK
USE R-CG
PRINT DATE 6/10/2026 3:11:54 PM

DRAWING

FRONT ELEVATION

DRAWN BY RM
CHECKED BY SS
SHEET

A04

SCALE 3/16" = 1'-0"



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ADDRESS 1427 SOUTHDALE PL SW CALGARY, AB
LEGAL LOT 8, BLOCK 13, PLAN 4985JK
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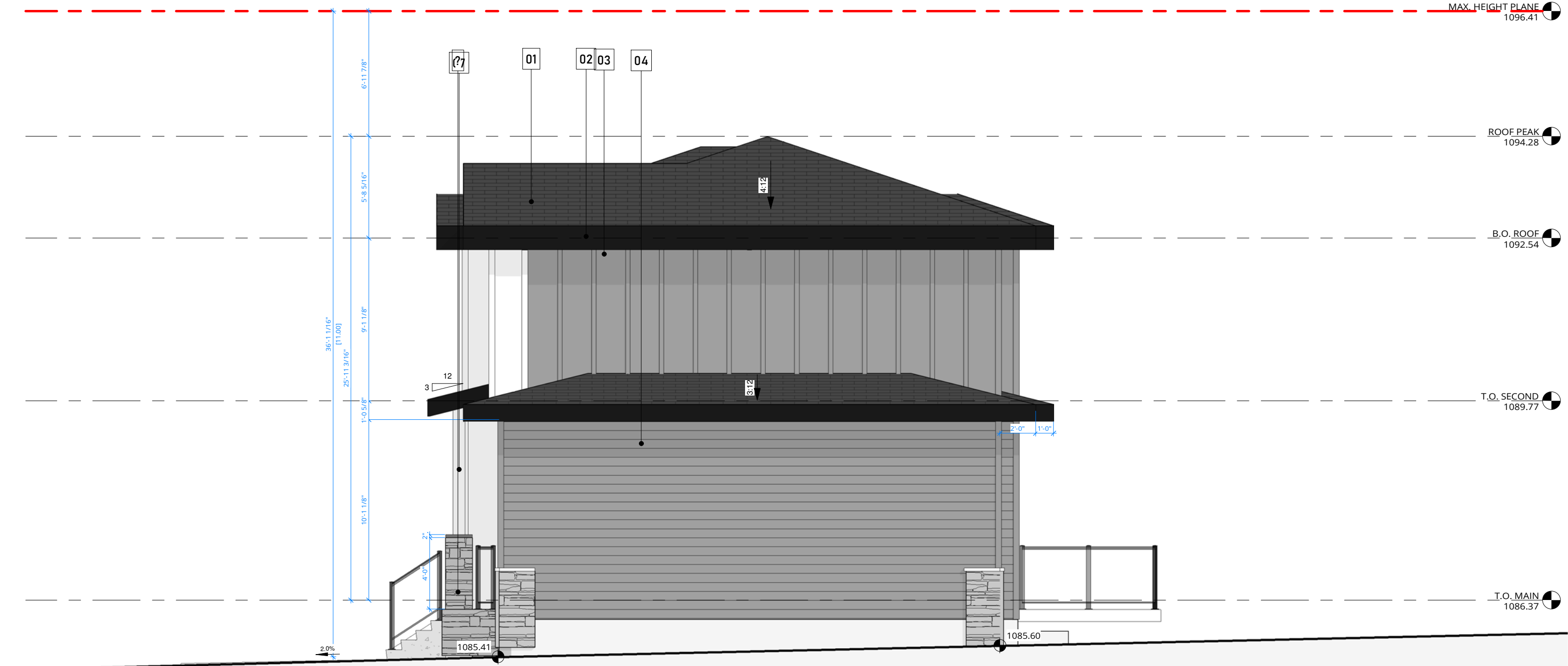
DRAWING

REAR ELEVATION

DRAWN BY RM
CHECKED BY SS
SHEET

A05

SCALE 3/16" = 1'-0"



WINDOW TO WALL RATIO	
LIMITING DISTANCE	1.2 m
TOTAL WINDOW AREA	0.00 ft²
TOTAL WALL AREA	751.88 ft²
WWR PROPOSED	0.0%
WWR ALLOWED	7%

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CALGARY, AB

LEGAL LOT 8, BLOCK 13, PLAN 4985JK

USE R-CG

PRINT DATE 6/10/2026 3:11:58 PM

DRAWING

LEFT ELEVATION

DRAWN BY

RM

CHECKED BY

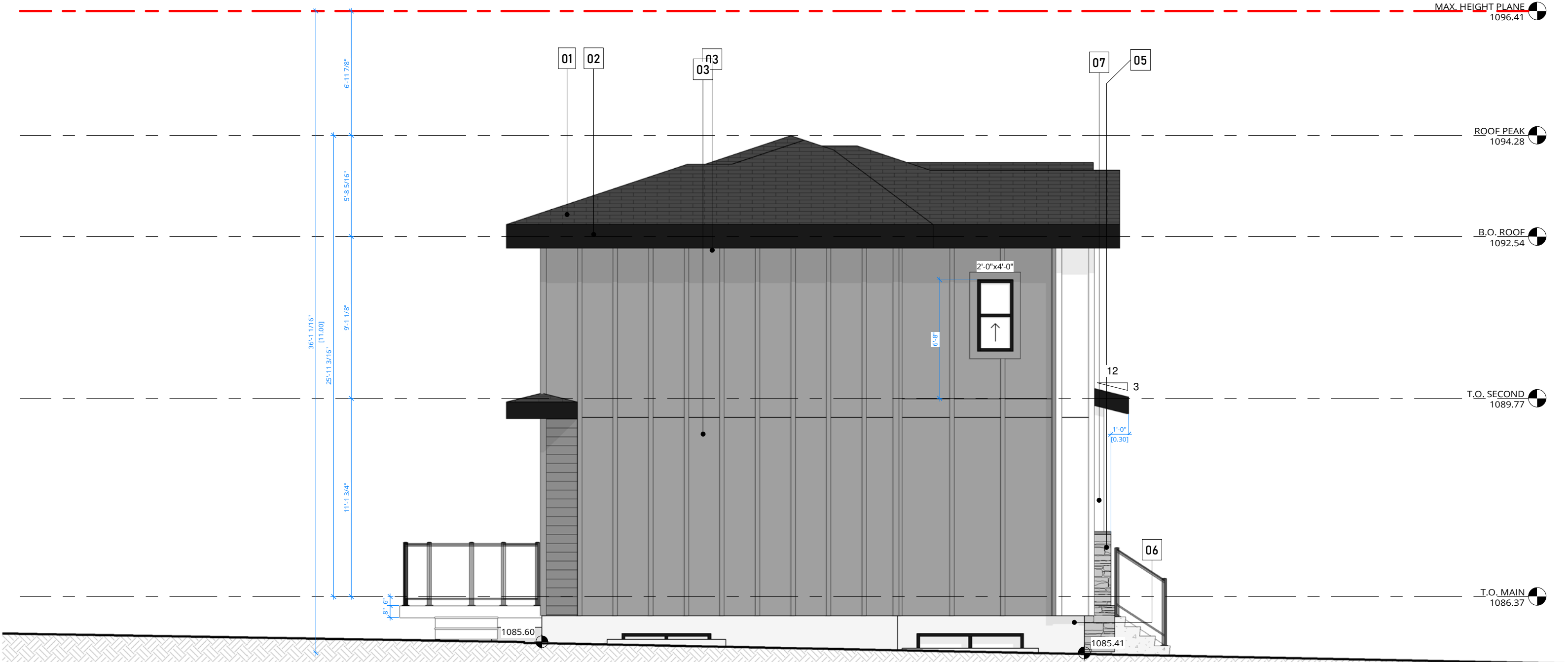
SS

SHEET

A06

SCALE

3/16" = 1'-0"



WINDOW TO WALL RATIO

LIMITING DISTANCE 1.2 m
TOTAL WINDOW AREA 18.00 ft²
TOTAL WALL AREA 741.91 ft²

WWR PROPOSED 2.4%
WWR ALLOWED 7%

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LEGAL LOT 8, BLOCK 13, PLAN 4985JK
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DRAWING

RIGHT ELEVATION

DRAWN BY RM
CHECKED BY SS
SHEET

A07

SCALE 3/16" = 1'-0"



SOUTHWOOD-1427-BACKYARD SUITE

1427 SOUTHDALE PL SW, CALGARY, AB



11x17-SHEET LIST		
SHEET#	SHEET NAME	ISSUED
A00	COVER SHEET	06/10/2026
A01	NOTES & LEGENDS	06/10/2026
A02	BLOCK/SITE PLAN - EXISTING	06/10/2026
A03	BLOCK/SITE PLAN - PROPOSED	06/10/2026
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A05	MAIN FLOOR ELECTRICAL	06/10/2026
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ITEM	DESCRIPTION	REFERENCE
LAND USE (EXISTING)	R-CG (GRADE-ORIENTED INFILL)	
PROJECT TYPE	BACKYARD SUITE	
FLOOD PROTECTION ZONE	N/A	
AVPA	N/A	
LANDFILL SETBACK	N/A	
ABANDONED WELLS	N/A	
HERITAGE STATUS	N/A	
APPLICABLE BYLAW	CITY OF CALGARY LUB1P2007	10/09/2025
BUILDING SETBACK	1.5m FROM REAR PL SHARED WITH THE LANE, USED AS A BACKYARD SUITE	352 (1)
DISTANCE FROM DWELLING	1.2 METERS FROM SIDE PL, USED AS A BACKYARD SUITE	352 (2)
	MIN. 1.5m SEPARATION, IF AMENITY SPACE IS PROVIDED AT GRADE; ADJACENT TO THE MAIN DWELLING & BACKYARD SUITE, & NO DIMENSION LESS THAN 5.0m	352 (3.1)
PROJECTIONS	MIN. 0.6m FROM PL. FACING STREET OR LANE & MIN. 0.6m INTO THE DISTANCE FROM DWELLING.	352 (3.2)
	NOT EXCEED 40% COMBINED LENGTH OF FACADE PER STOREY; EACH CONTAIN A WINDOW	
	MAX. LENGTH OF 3.1m EACH	
HEIGHT	MAX. 7.5m OVERALL	352 (4)
	MAX. 5.0m FROM GRADE AT SIDE PL SHARED W/ LOW-DENSITY RES. DISTRICT.	352 (4.1)(a)
	MAX 3.0m FROM GRADE AT REAR PL SHARED W/ LOW-DENSITY RES. DISTRICT	352 (4.1)(b)
FLOOR AREA	MAX. FLOOR AREA 75.0m²; EXCLUDING INTERNAL LANDINGS & STAIRWAYS (MAX. 2.5m²)	352 (5)
PURPOSE	ACCOMMODATES BACKYARD SUITES WITH NEW AND EXISTING DEVELOPMENT	525 (1)(c)
DENSITY	PARCEL AREA: 947.78m²	529
PARCEL COVERAGE	MAX. 45%, PROVIDED: 26.97%	534
APPLICABLE BUILDING CODE	NATIONAL BUILDING CODE OF CANADA - ALBERTA ED.	2023

CONSTRUCTION NOTES
GENERAL 1. CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL. ANY DISCREPANCIES, INCLUDING ERRORS AND OMISSIONS, ARE TO BE REPORTED TO ARC1 DESIGN PRIOR TO CONSTRUCTION. ONCE CONSTRUCTION COMMENCES, IT IS ASSUMED THAT THE OWNER AND/OR CONTRACTOR HAVE ACCEPTED THE DRAWINGS AS TRUE, CORRECT AND COMPLETE. 2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND ANY OTHER APPLICABLE ENGINEERING DRAWINGS AND SPECIFICATIONS PROVIDED FOR THIS PROJECT. 3. MANUFACTURER'S SPECIFICATIONS ARE TO TAKE PRECEDENCE OVER TYPICAL DETAILS SHOWN IN THESE DRAWINGS. 4. ALL BUILDING OUTLINES, ELEVATIONS AND LEVELS ARE INDICATIVE ONLY. ALLOW FOR MINOR VARIATIONS DUE TO MARGIN OF ERROR OF THE SURVEYED INFORMATION, GROUND MOVEMENT AND ACTUAL MATERIAL SIZE. MINOR VARIATIONS ARE CONSIDERED TO BE +/- 25mm (1"). 5. CONSTRUCTION SHALL CONFORM TO ALL CURRENT NATIONAL, PROVINCIAL, AND LOCAL CODES AND REGULATIONS. 6. ALL BUILDING DIMENSIONS ARE TO FACE OF CONCRETE, STUD, OR SHEATHING. 7. ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE. 8. ALL FRAMING TO BE S.P.F. #2 OR BETTER.

SITE 1. ALL DIMENSIONS ARE IN METERS, UNLESS OTHERWISE SHOWN. 2. THIS PROPERTY DOES NOT FALL WITHIN THE FLOODWAY, FLOOD FRINGE, OR OVERLAND FLOW REGION ACCORDING TO THE www.calgary.ca FLOOD HAZARD MAP.
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AIR BARRIER SYSTEM 1. ENSURE CONTINUITY OF AIR/VAPOUR BARRIER THROUGHOUT. 2. HOUSE WRAP APPROACH (HWA).
--

BASEMENT 1. CONTRACTOR TO DETERMINE IF SOIL CONDITIONS ARE SUITABLE BEFORE START OF CONSTRUCTION. 2. ALL FOOTINGS TO BE PLACED ON UNDISTURBED NATIVE SOIL AND BE A MIN OF 4" BELOW GRADE. STEP FOOTING AS REQUIRED. 3. POSTS AND COLUMNS SHALL BE CENTERED ON CONCRETE PADS. SIZES TO BE DETERMINED BY STRUCTURAL ENGINEER. 4. PROVIDE SLEEVES THROUGH CONCRETE FOR FURNACE C/A & F/A VENTS.

ELECTRICAL 1. ELECTRICAL LAYOUT SHOWN IS ONLY TO BE USED AS A GUIDELINE. 2. FINAL LAYOUT TO BE CONFIRMED WITH THE CLIENT DURING THE PRE-INSTALLATION WALK-THROUGH. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN MEETS MANUFACTURER'S REQUIREMENTS AND ALL APPLICABLE CODES.

ELEVATION 1. FINAL GRADES MAY ALTER EXTERIOR APPEARANCE. 2. TOP OF DECK TO BE 3" BELOW TOP OF FLOOR UNLESS NOTED.
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EXTERIOR WINDOWS, DOORS AND SKYLIGHTS

1. THERMAL CHARACTERISTICS			
MAX. U-VALUE	MIN. RSI-VALUE	MAX. U-VALUE	MIN. ENERGY RATING
WINDOWS & DOORS	0.625	1.61	25
SKYLIGHTS	0.370	2.75	
VEHICLE ACCESS DOOR	1.100	0.91	

2. FENESTRATION PERFORMANCE REQUIREMENTS

TERRAIN TYPE	ROUGH
PERFORMANCE CLASS	R
PERFORMANCE GRADE	PG 25
MIN. POSITIVE DESIGN PRESSURE	1,200 PA
MIN. NEGATIVE DESIGN PRESSURE	1,200 PA
MIN. WATER PENETRATION RESISTANCE TEST PRESSURE	260 PA
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION	A2

3. GLAZING INSTALLED OVER STAIRS, RAMPS AND LANDINGS THAT IS LESS THAN 900mm (3') ABOVE THE SURFACE OF THE TREADS, RAMP OR LANDING SHALL BE PROTECTED BY GUARDS OR BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LATERAL LOADS FOR BALCONY GUARDS AS PROVIDED IN ARTICLE 4.1.5.14 OF THE NBC 2023-AE.

4. LINTELS FOR OPENINGS UP TO 6'-0" TO BE 2-2x8 SPF #2,
AND OVER 6'-0" TO BE 2-2x10 SPF #2 (UNLESS OTHERWISE NOTED).

5. ALL WINDOW AND DOOR TOPS TO HAVE FLASHING.

MECHANICAL 1. HVAC - GAS-FIRED FURNACE: <220,000 BTU/HR. (66kW), AFUE ≥92% 2. HEAT RECOVERY VENTILATOR (HRV) - MIN. SENSIBLE HEAT RECOVERY, EFFICIENCY OF 60% 3. SERVICE WATER & IN-FLOOR HEATING - GAS-FIRED BOILER: <300,000 BTU/HR. (88kW), AFUE ≥90%, or - GAS-FIRED TANKLESS: <250,000 BTU/HR. (73.2kW), ENERGY FACTOR > 0.8 4. AIR CONDITIONER: <65,000 BTU/HR. (19kW), SEER 14.5 AND EER 11.5
--

ROOF 1. TRUSS MANUFACTURER MUST VERIFY ALL ROOF SLOPES AND THE CEILING HEIGHTS/SLOPES IN EACH ROOM PRIOR TO MATERIAL ORDER. 2. ROOF SHALL BE VENTED AS PER THE NBC 2023-AE. 3. 24" OVERHANG c/w ROUGH FASCIA & SOFFIT UNLESS NOTED. 4. 22"x30" SKYLIGHTS AND ROOF ACCESS HATCH TO FIT WITHIN THE 22.5" CLEARANCE BETWEEN TRUSSES.
--

SECONDARY SUITES 1. SECONDARY SUITE EXTERIOR ENTRY DOORS TO BE INSULATED HOLLOW METAL DOORS WITH A 45 MIN. FIRE RATING, AND BE PROVIDED WITH SELF-CLOSING DEVICES. 2. DOORS LOCATED IN SMOKE SEALED WALLS TO BE MIN. 45mm THICK SOLID CORE WOOD, C/W SELF-CLOSING DEVICE, SWEEP, AND A PERIMETER SMOKE SEAL.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	SWITCH - SINGLE
	SWITCH - 3-WAY
	SWITCH - 4-WAY
	SWITCH - DIMMER
	OUTLET - 110V
	OUTLET - FLOOR MOUNTED
	OUTLET - SWITCHED
	OUTLET - WEATHERPROOF
	OUTLET - GROUND FAULT INTERRUPT
	OUTLET - 220V
	CABLE TV
	DATA/PHONE
	MOTION DETECTOR
	THERMOSTAT
	LIGHT - POT
	LIGHT - PULL CHAIN
	LIGHT - WALL MOUNTED
	LIGHT - TRACK
	LIGHT - UNDER CABINET
	LIGHT - WRAP AROUND
	LIGHT - PANEL
	SMOKE DETECTOR
	SMOKE & CO DETECTOR
	EXIT LIGHT c/w BATTERY PACK
	BATHROOM FAN
	VACUFLOW
	ELECTRICAL PANEL
	ELECTRICAL WIRE

FLOOR PLAN LEGEND	
	INTERIOR WALLS (2x4)
	INTERIOR PLUMBING WALLS (2x6)
	EXTERIOR FOUNDATION WALLS
	EXTERIOR WALLS (2x4)
	TALL WALLS
	PARTY WALLS (2-2x4)
	FIRE WALL (8" CONCRETE) (2-2x6)
ELEVATION LEGEND	
	OPERABLE WINDOW
	CLEAR GLASS
	OBSCURED GLASS
	PROTECTED OPENINGS (WIRED GLASS OR FIRE SHUTTERS)

SITE LEGEND	
	SUBJECT PROPERTY
	ADJACENT PROPERTY
	SETBACKS
	ROOF OVERHANG
	WINDOW WELLS
	UNDERGROUND ELECTRICAL
	OVERHEAD ELECTRICAL
	GAS
	WATER
	SANITARY
	STORM
	FENCE
	TREE PROTECTION ZONE
	LIMIT OF LAND DISTURBANCE
	RETAINING WALLS

	EXISTING BUILDINGS
	DWELLING, GARAGE & M.F. PROJECTIONS
	COVERED PORCH & ROOF DEPTH >1.0m
	WOOD DECK
	EXISTING LANDSCAPING
	SOD on 130mm TOPSOIL
	MULCH BED
	CONCRETE PAD/WALK
	EXPOSED AGGREGATE
	GRAVEL
	BRICK WALK
	CONSTRUCTION MATERIAL STORAGE
	VISIBILITY TRIANGLE

	EXISTING GEODETTICS
	PROPOSED GEODETTICS
	CONIFEROUS TREES
	DECIDUOUS TREES
	CONIFEROUS SHRUBS
	DECIDUOUS SHRUBS
	GARBAGE, RECYCLING, & ORGANICS BINS
	DWELLING ACCESS
	SECONDARY SUITE ACCESS
	BACK OF SIDEWALK BACK OF CURB LIP OF GUTTER
	TOP OF WALL BOTTOM OF WALL
	BASEMENT, MAIN, AND UPPER WINDOW
	BASEMENT, MAIN, AND UPPER DOOR
	FRONT SETBACK REAR SETBACK SIDE SETBACK

ARC1

DESIGN BUILD

PHONE

(403)816-6342

EMAIL

info@arc1design.ca

DISCLAIMER

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ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.2	06/10/2026

PROJECT NAME & ADDRESS

NAME

SOUTHWOOD-1427-BACKYARD SUITE

ADDRESS

1427 SOUTHDALE PL SW
CALGARY, AB

LEGAL

LOT 8, BLOCK 13, PLAN 4985JK

USE

R-CG

PRINT DATE

6/10/2026 3:21:27 PM

DRAWING

NOTES & LEGENDS

DRAWN BY

TK

CHECKED BY

SS

SHEET

A01

SCALE

As indicated

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EXTERIOR FINISHES

#	DESCRIPTION
01	HARDIE PLANK, MEDIUM GREY
02	FASCIA,BLACK
03	TRIM, PAINT BLACK
04	ASPHALT ROOFING SHINGLE
05	CONCRETE

ISSUED FOR

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ADDRESS 1427 SOUTHDALE PL SW
CALGARY, AB

LEGAL LOT 8, BLOCK 13, PLAN 4985JK

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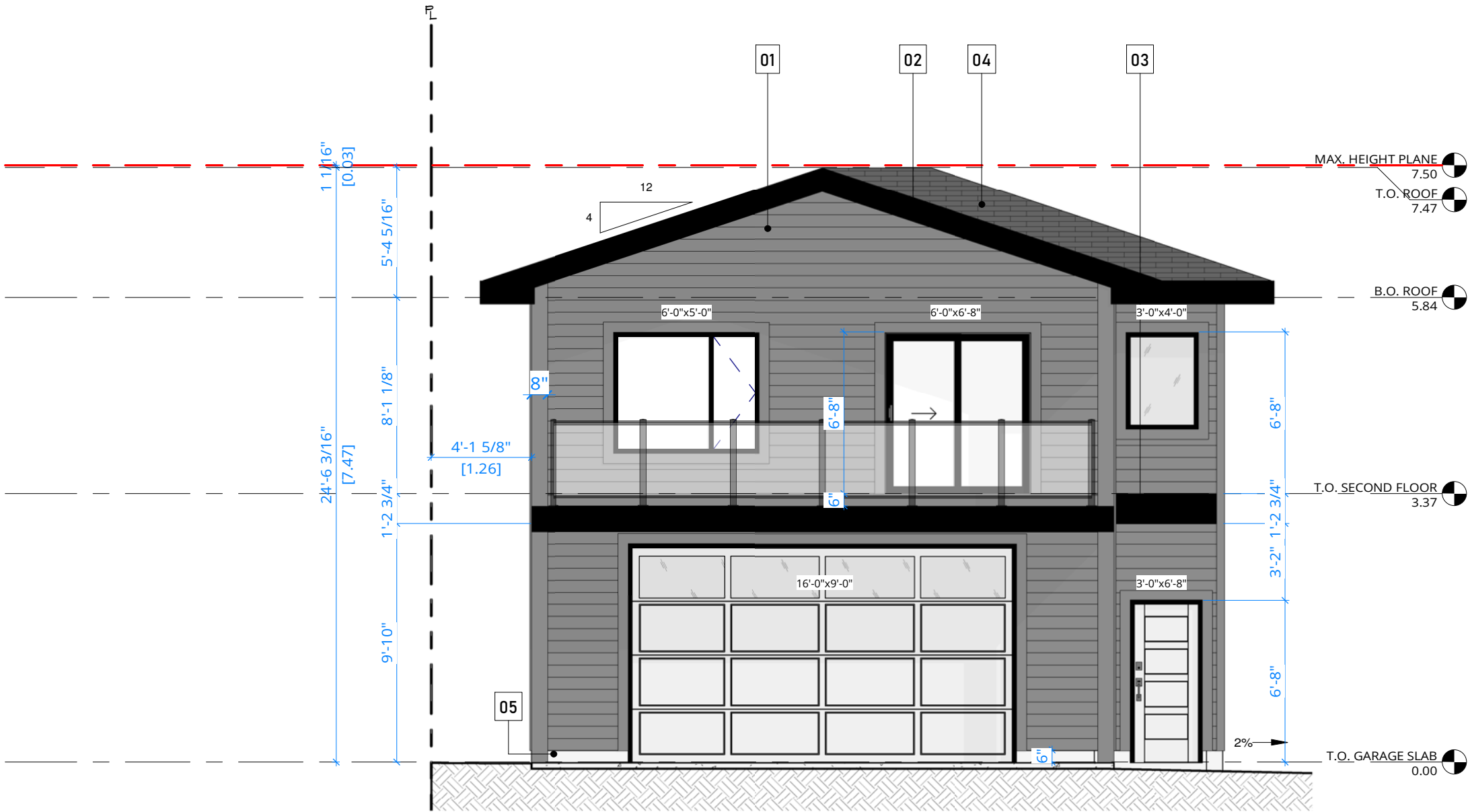
DRAWING

FRONT ELEVATION

DRAWN BY TK
CHECKED BY SS
SHEET

A09

SCALE 3/16" = 1'-0"



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CALGARY, AB

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DRAWING

REAR ELEVATION

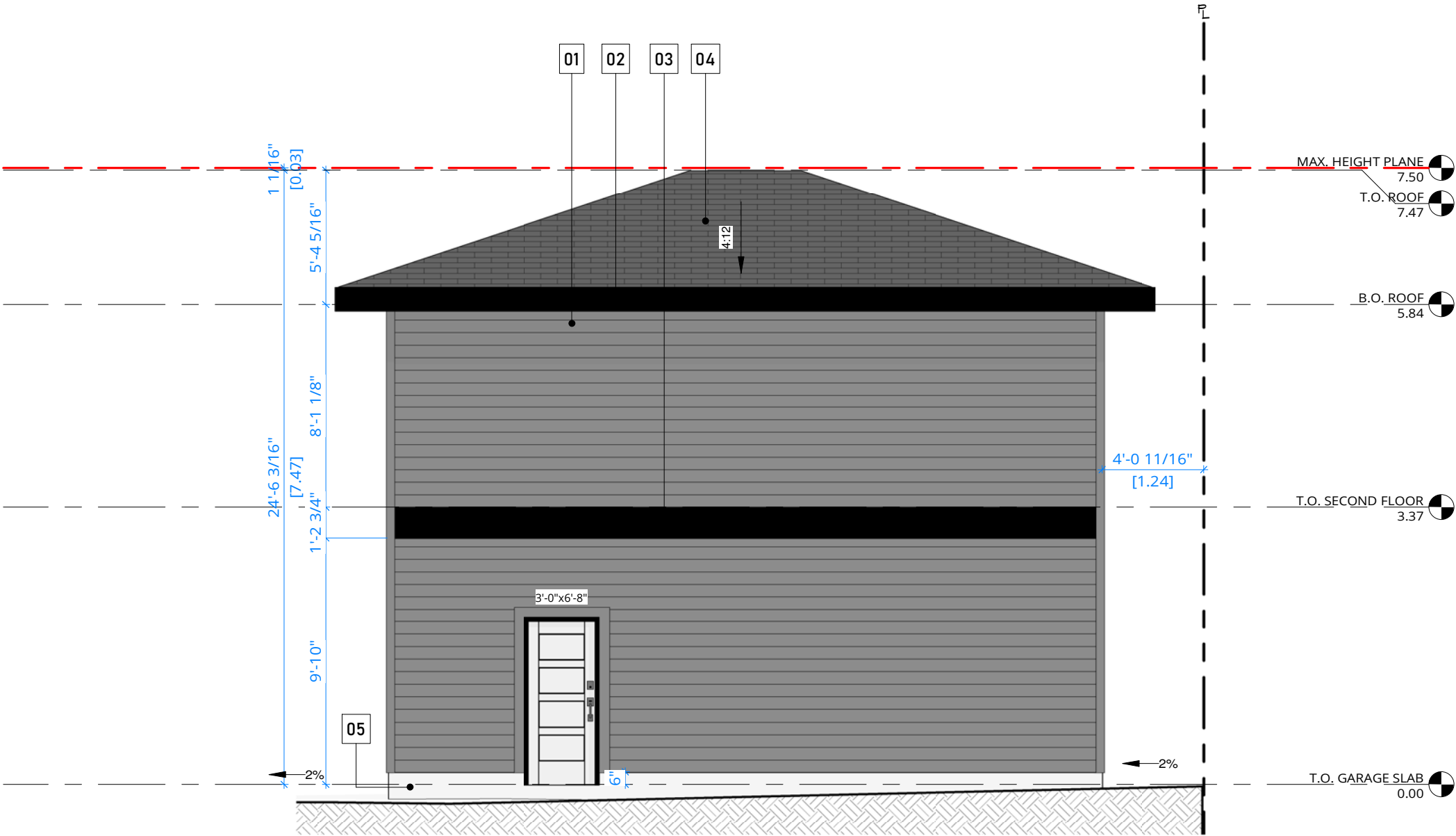
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SHEET

A10

SCALE 3/16" = 1'-0"



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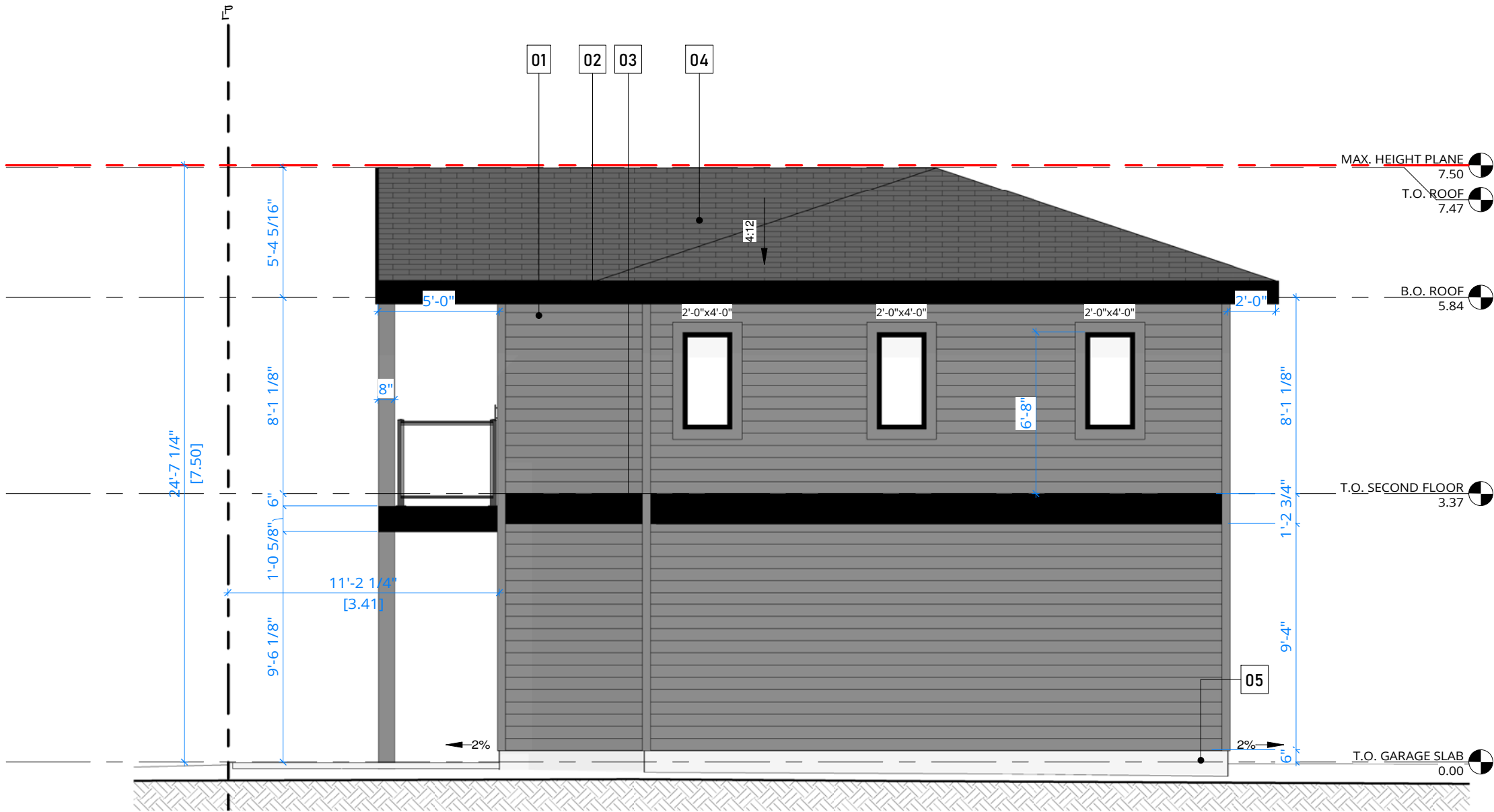
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RIGHT ELEVATION

DRAWN BY TK
CHECKED BY SS
SHEET

A11

SCALE 3/16" = 1'-0"



WINDOW TO WALL RATIO

LIMITING DISTANCE 2.0 m
TOTAL WINDOW AREA 24.00 ft²
TOTAL WALL AREA 590.44 ft²

WWR PROPOSED 4.1%
WWR ALLOWED 9%

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CALGARY, AB

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DRAWING

LEFT ELEVATION

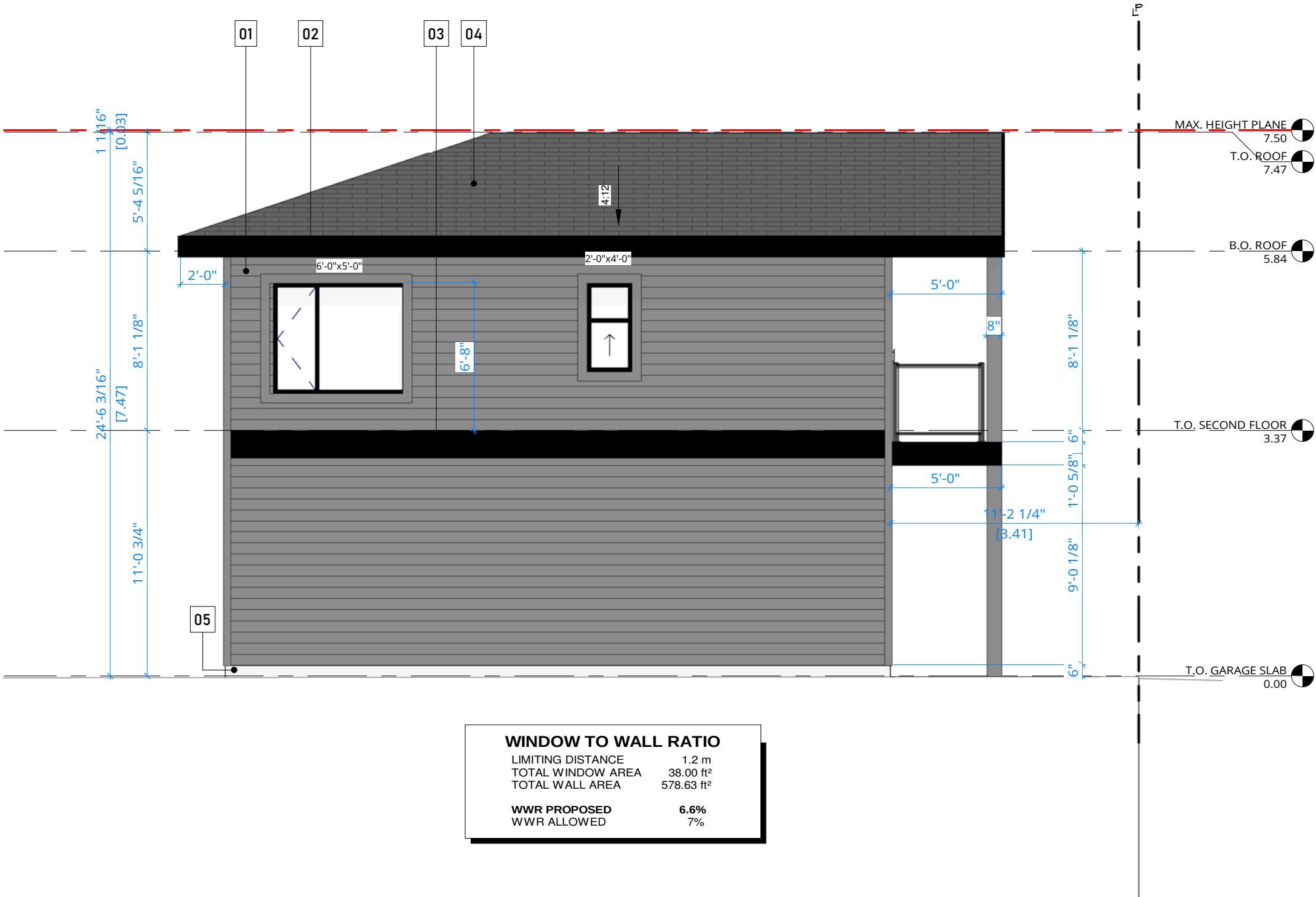
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CHECKED BY SS

SHEET

A12

SCALE 3/16" = 1'-0"



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DRAWING

EXISTING DWELLING ELEVATION

DRAWN BY TK
CHECKED BY SS
SHEET

A13

SCALE

3/16" = 1'-0"

WINDOW TO WALL RATIO

LIMITING DISTANCE 8.0 m
TOTAL WINDOW AREA 280.00 ft²
TOTAL WALL AREA 1389.23 ft²

WWR PROPOSED 20.2%
WWR ALLOWED 28%

