

Drawing Index - DP	
SHEET NUMBER	SHEET NAME
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DP-02	NORTH, WEST & SOUTH ELEVATIONS
DP-03	EAST ELEVATION & LOWER SUITE FLOOR PLAN
DP-04	MAIN & SECOND FLOOR PLANS
DP-05	GARAGE PLANS
DP-06	SECTIONS

PLANTING REQUIREMENTS

- A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 m² of parcel area. Parcel Area = 599.87 m² / 110.00 = 5.09
5.09 x 1.0 = 5 trees
5.09 x 3.0 = 16 shrubs
 - Shrubs must be a minimum height or spread of 0.6 meters at the time of planting.
 - The requirements for the provision of 1.0 tree is met where:
 - a deciduous tree has a minimum caliper of 40 mm or
 - a coniferous tree has a minimum height of 2.0 m.
 - The requirements for the provision of 2.0 trees is met where:
 - a deciduous tree has a minimum caliper of 80 mm or
 - a coniferous tree has a minimum height of 2.0 m.
 - The requirements for the provision of 3.0 trees is met where an existing deciduous tree with a caliper greater than 100 mm is preserved.
- All plant materials must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association.
- LANDSCAPED AREA: 224.54 m²
Minimum 30% of the landscaped area must be covered with soft surfaced landscaping. 224.54 m² x 0.3 = 67.36 m²
- All soft surfaced landscaped area must be irrigated by a low water underground sprinkler system c/w ExactT monitoring & bounded by concrete curb. All sodded areas are planted with a drought tolerant grass species.
- A minimum depth of 0.3m of topsoil is required for sod areas. A minimum depth of 0.3m of topsoil is required for shrub and tree beds.
- NOTE: Tree and shrub areas to be irrigated w/ low water underground sprinkler system c/w ExactT monitoring & bounded by concrete curb. All sodded areas are planted with a drought tolerant grass species.

LANDSCAPING LEGEND

SOFT / PERMEABLE LANDSCAPING		HARD / NON-PERMEABLE LANDSCAPING	
GRASS	SOIL DEPTH 300mm MIN.	CONCRETE	
MULCH	SOIL DEPTH 600mm MIN.	GRAVEL / ROCKS	
		COVERED	

Name	Imperial	Metric
Soft Landscape Surface		
GRASS	440 SF	42.78 m ²
MULCH	348 SF	32.31 m ²
	688 SF	75.09 m ²
Hard Landscape Surface		
CONCRETE	1141 SF	107.83 m ²
GRAVEL	142 SF	13.33 m ²
STAIRS	1582 SF	146.99 m ²
Grass Landscape Area		
LANDSCAPE AREA	2390 SF	222.08 m ²
ACTUAL SOFT LANDSCAPING SURFACE	2390 SF	222.08 m ²
		+38.81 %

PLANTING LEGEND

- Coniferous Tree
 - Deciduous Tree
 - Area of Tree Protection
 - Shrub / Bush
- All trees and shrubs will be of a species capable of healthy growth in Calgary and will conform to the standards of the Canadian Nursery Landscape Association.
- New matured trees to be planted after construction as required by Land Use Bylaw

REVISION SCHEDULE

#	REVISION DATE	REVISION DESCRIPTION
2	2024.09.19	Issued for DP
4	2024.11.20	By/Low Discrepancies - Front Setback
5	2024.11.20	By/Low Discrepancies - Bike Storage
6	2024.11.20	By/Low Discrepancies - Carriage Bins
7	2024.11.20	Prior to Decision Requirements
8	2024.11.20	Prior to Release Requirements
10	2024.12.20	DP2 Prior to Decision Requirements
22	2026.03.13	Bike Storage
23	2026.03.13	Landscaping
24	2026.03.20	Revised DP

GENERAL NOTES

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CLIENT APPROVAL

Date: _____
Sign: _____

ISSUED FOR DEVELOPMENT PERMIT

PROJECT LOCATION
3512 73 STREET N.W., CALGARY, ALBERTA
LOT: 1, BLOCK: 2, PLAN: 3902JK

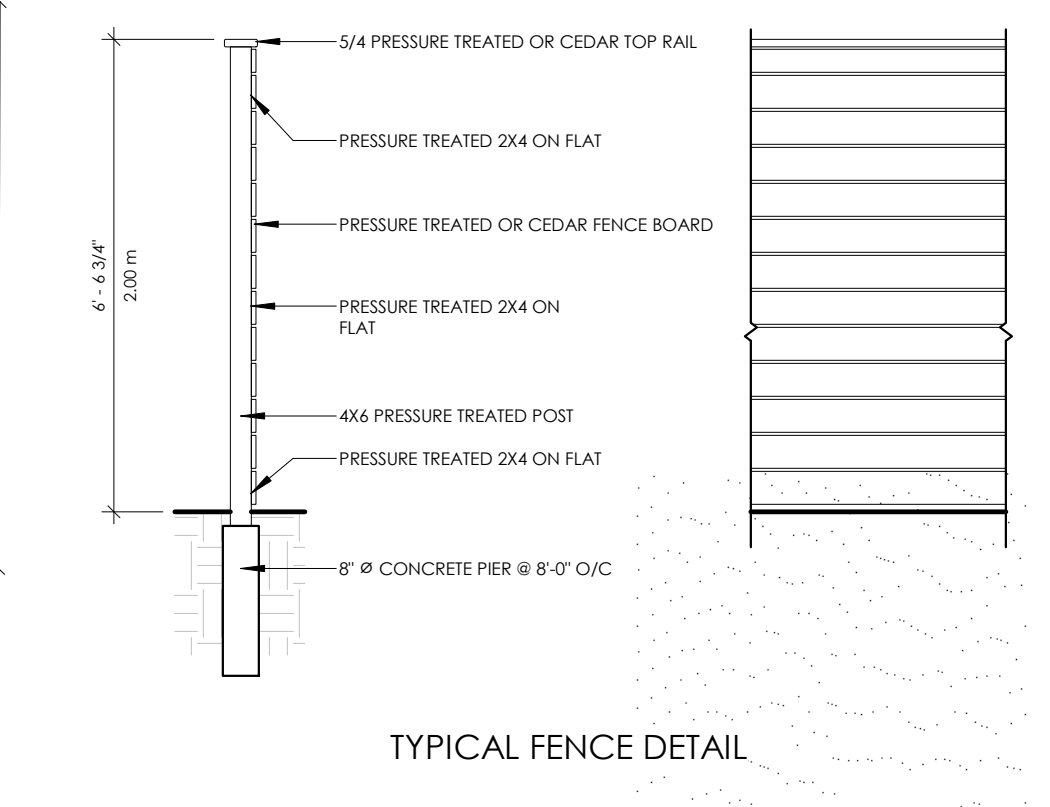
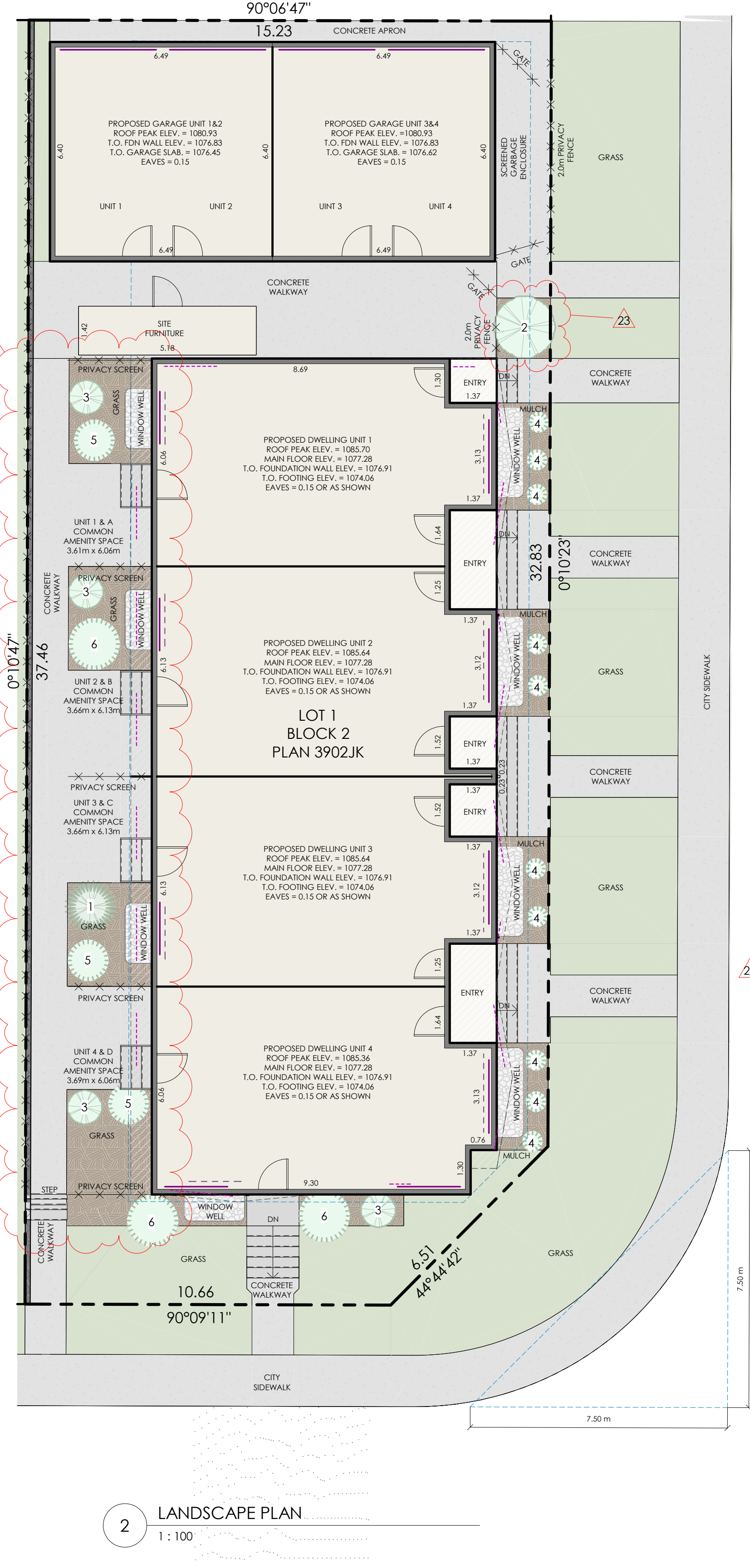
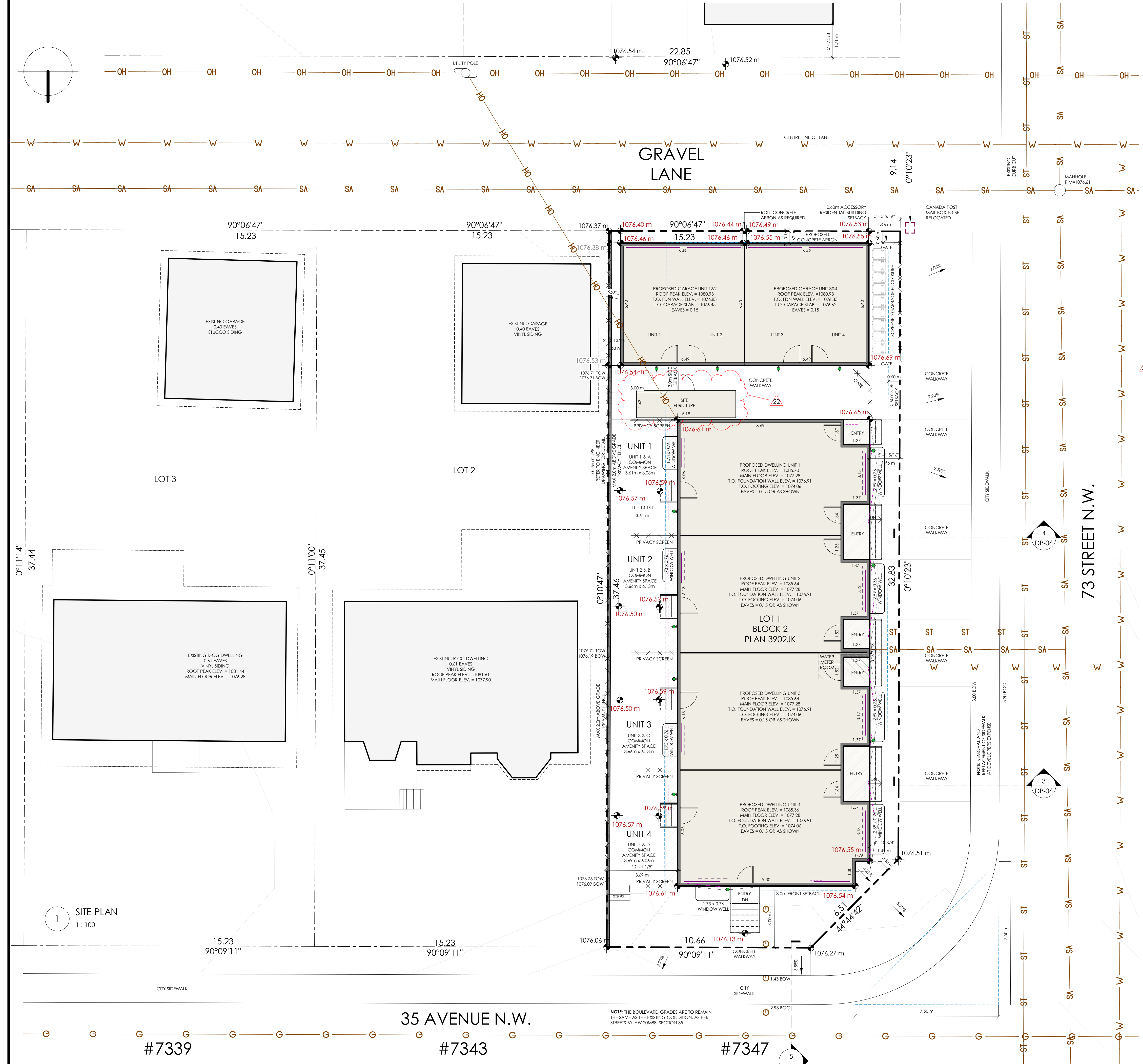
FLOOR AREAS

MAIN FLOOR	587 SF
SECOND FLOOR	663 SF
UNIT 1: Total	1250 SF
MAIN FLOOR	592 SF
SECOND FLOOR	670 SF
UNIT 2: Total	1262 SF
MAIN FLOOR	591 SF
SECOND FLOOR	660 SF
UNIT 3: Total	1251 SF
MAIN FLOOR	595 SF
SECOND FLOOR	660 SF
UNIT 4: Total	1255 SF
SECONDARY SUITE A	609 SF
SECONDARY SUITE B	637 SF
SECONDARY SUITE C	598 SF
SECONDARY SUITE D	26 SF
SECONDARY SUITE A ENTRY	28 SF
SECONDARY SUITE B ENTRY	28 SF
SECONDARY SUITE C ENTRY	28 SF
SECONDARY SUITE D ENTRY	26 SF
GARAGE #1	447 SF
GARAGE #2	447 SF

NOT FOR CONSTRUCTION

SITE, BLOCK, & LANDSCAPE PLAN

DP-01



SITE INFORMATION

LEGAL ADDRESS:
LOT: 1 BLOCK: 2 PLAN: 3902JK

MUNICIPAL ADDRESS:
7347 35 AVE N.W., CALGARY, ALBERTA

LAND USE DESIGNATION:
R-C/C

COMMUNITY: BOWNESS

SURVEY INFORMATION

Survey completed by:
SAC SURVEYS LTD.
202, 337 41 AVE N.E. CALGARY, ALBERTA
Phone: (403) 271-1272
Dated: JUNE 6, 2024

Note: Unless otherwise specified, all dimensions relate to distances from property boundary to foundation walls are from the date of the survey. Spot elevations are approximately located.

GRADE MARKER LEGEND

- 1079.38 EXISTING GRADE
- 1079.38 ASSUMED GRADE
- 1079.38 PROPOSED GRADE

LIGHTING NOTE

EXTERIOR WALL SCONCES @ 2.74M FROM GROUND FLOOR, 100 WATT INCANDESCENT OR EQUIV. MAX (TYP)

LINE TYPE LEGEND

- SUBJECT PROPERTY LINES
- - - ADJACENT PROPERTY LINES
- EAVES / CANOPES
- UTILITY LINES - POWER
- UTILITY LINES - OVERHEAD
- UTILITY LINES - WATER
- UTILITY LINES - SANITARY
- UTILITY LINES - GAS
- UTILITY LINES - STORM
- EXISTING BUILDING TO BE REMOVED
- EXISTING FENCE
- PROPOSED PRIVACY SCREEN/FENCE

WINDOW & DOOR LOCATIONS

- LOFT DOORS & WINDOWS
- UPPER DOORS & WINDOWS
- MAIN DOORS & WINDOWS
- BASEMENT DOORS & WINDOWS

LANDSCAPING LEGEND

HARD / NON-PERMEABLE LANDSCAPING	
CONCRETE	RETAINING WALLS
GRAVEL / ROCKS	PROPOSED ADDITION FOOTPRINT
COVERED	DECKS
	ASPHALT
	COVERED

PARCEL COVERAGE AREA

Name	Imperial	Metric
Footprint	893 FT ²	82.92 m ²
DETACHED GARAGE	2607 FT ²	242.23 m ²
BUILDING FOOTPRINT	447 FT ²	41.49 m ²
SITE AREA	6026 FT ²	559.87 m ²

ACTUAL PARCEL COVERAGE = 59.84

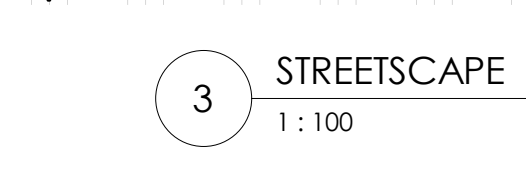
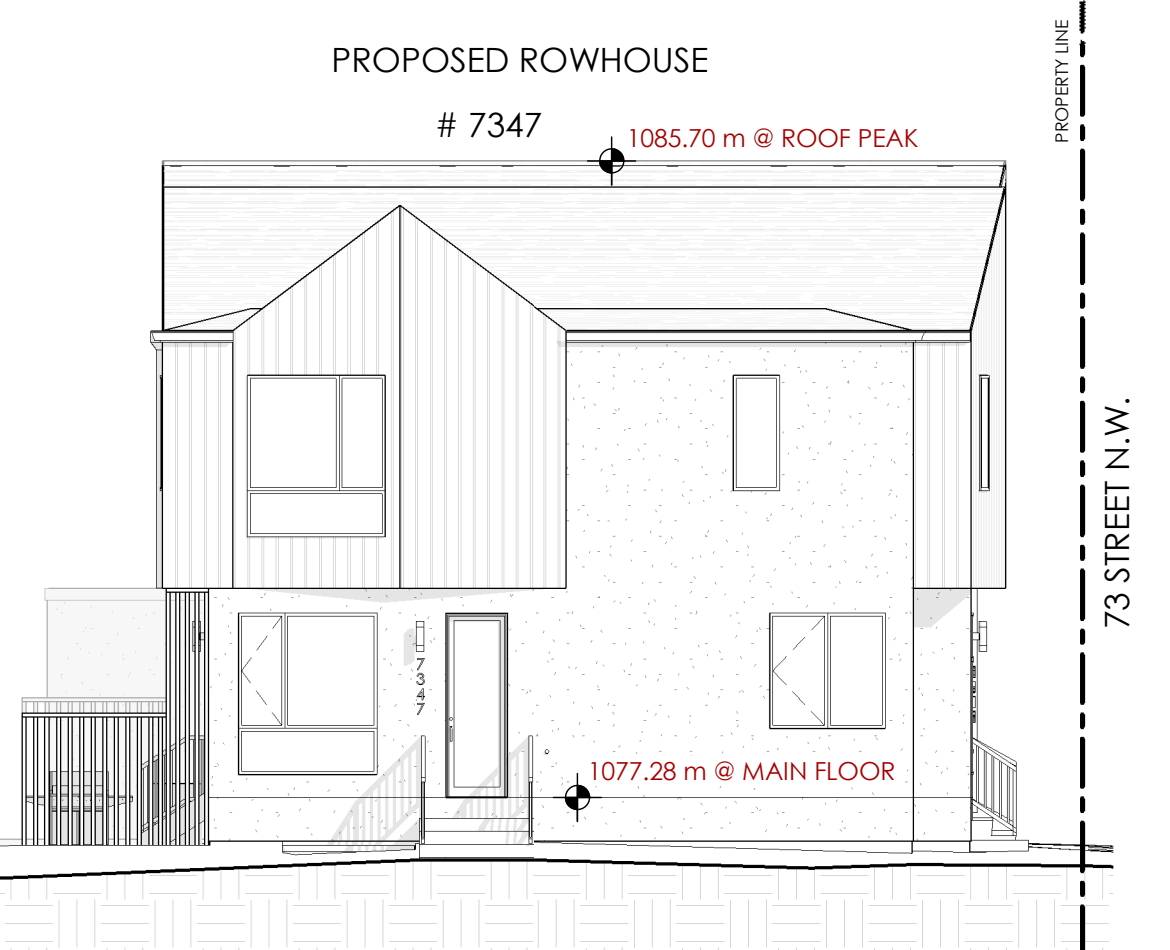
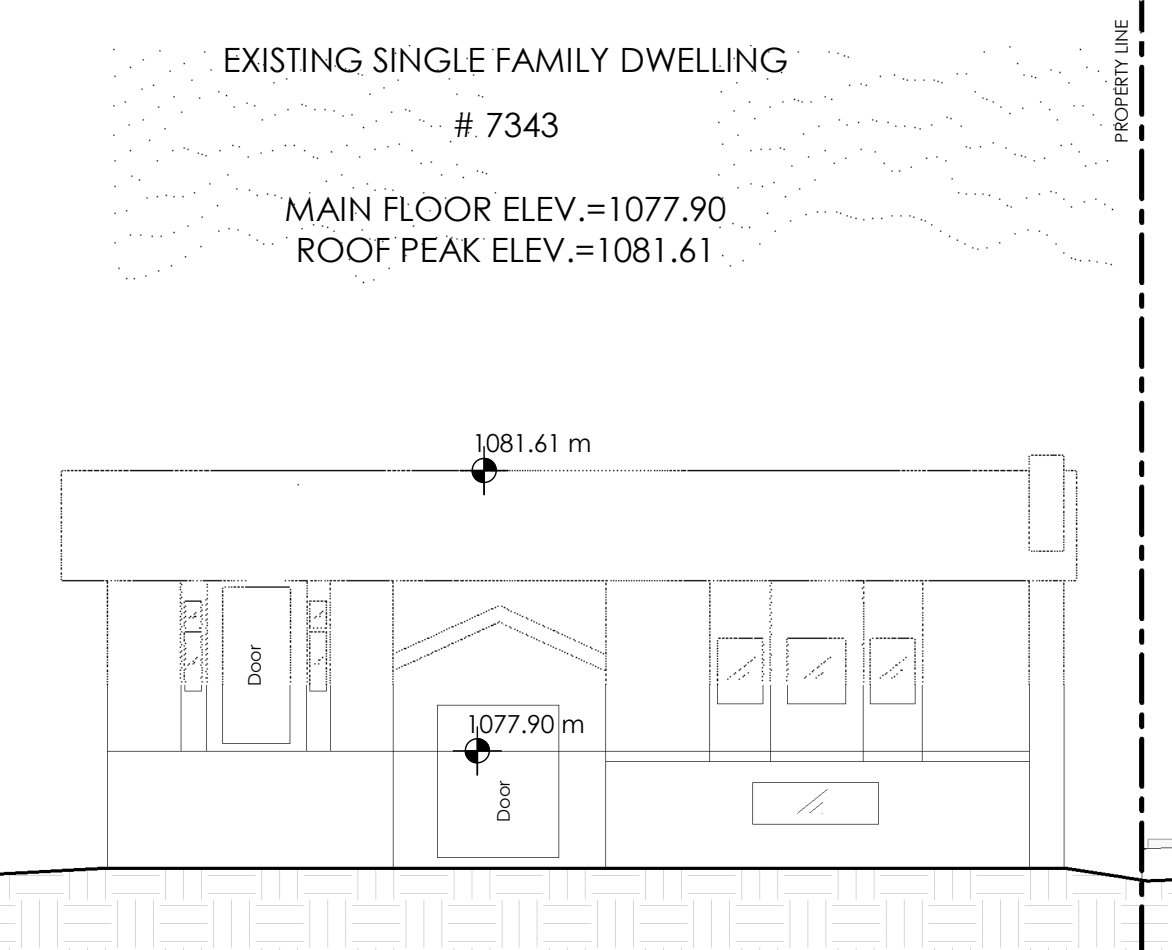
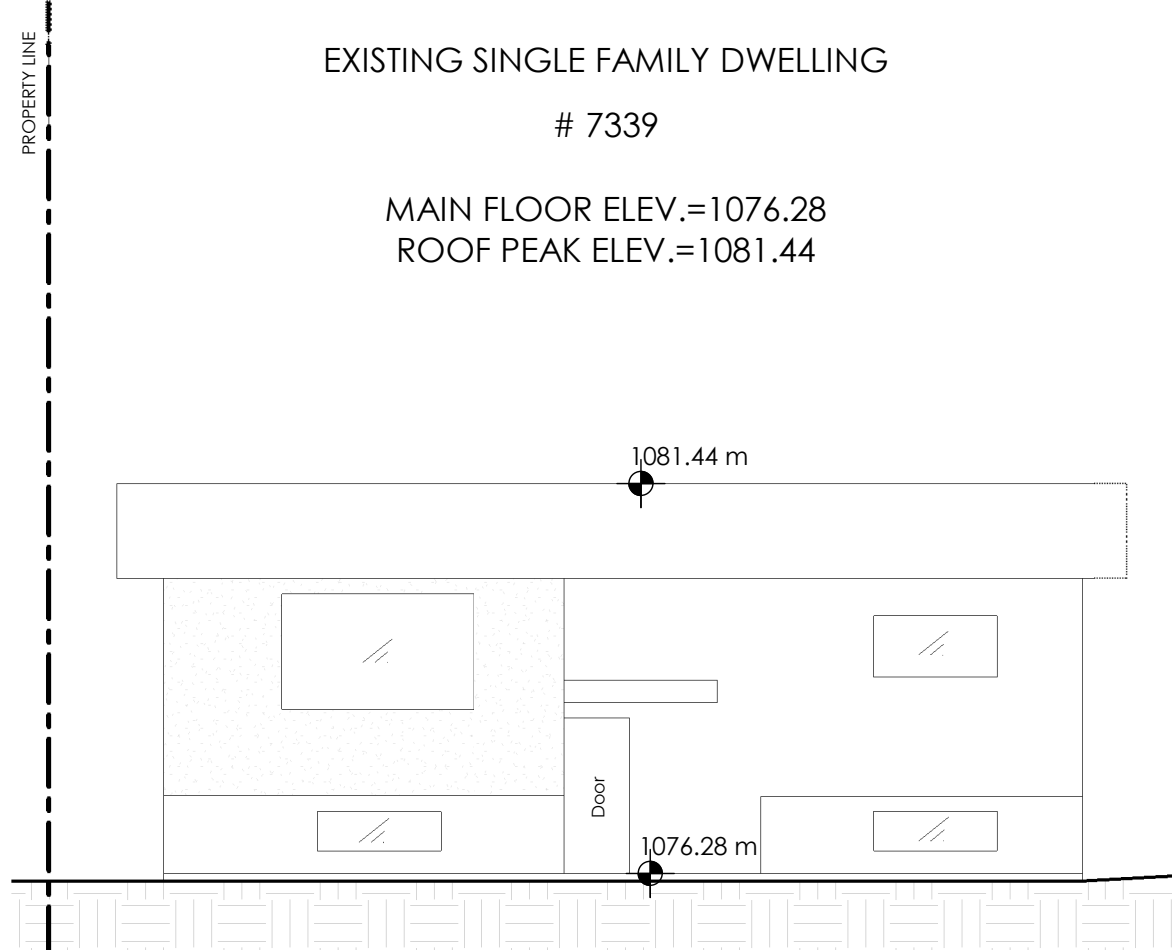
DENSITY CALCULATION

UNITS PER HECTARES = 75
HECTARES = 0.055987
UNITS = 4.199

4 UNITS PROPOSED

GROSS BUILDING AREA

Name	Imperial	Metric
GARAGE #1	447 FT ²	41.54 m ²
UNIT 1 & 2	447 FT ²	41.49 m ²
GARAGE #2	894 FT ²	83.03 m ²
UNIT 3 & 4	894 FT ²	83.03 m ²
SECONDARY SUITE A	609 FT ²	56.57 m ²
SECONDARY SUITE A ENTRY	26 FT ²	2.42 m ²
Developed	635 FT ²	58.99 m ²
SECONDARY SUITE B	637 FT ²	59.15 m ²
SECONDARY SUITE B ENTRY	28 FT ²	2.56 m ²
Developed	664 FT ²	61.71 m ²
SECONDARY SUITE C	637 FT ²	59.15 m ²
SECONDARY SUITE C ENTRY	28 FT ²	2.56 m ²
Developed	664 FT ²	61.71 m ²
SECONDARY SUITE D	396 FT ²	36.56 m ²
SECONDARY SUITE D ENTRY	26 FT ²	2.44 m ²
Developed	624 FT ²	58.00 m ²
UNIT 1	587 FT ²	54.55 m ²
SECOND FLOOR	663 FT ²	61.60 m ²
Developed	1250 FT ²	116.15 m ²
UNIT 2	592 FT ²	54.95 m ²
SECOND FLOOR	670 FT ²	62.25 m ²
Developed	1262 FT ²	117.20 m ²
UNIT 3	591 FT ²	54.93 m ²
SECOND FLOOR	670 FT ²	62.25 m ²
Developed	1261 FT ²	117.18 m ²
UNIT 4	595 FT ²	55.32 m ²
SECOND FLOOR	660 FT ²	61.29 m ²
Developed	1255 FT ²	116.61 m ²



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7	2024.11.20	Prior to Decision Requirements
10	2024.12.20	DR2 Prior to Decision Requirements
22	2026.03.13	Bike Storage
24	2026.03.20	Revised DP

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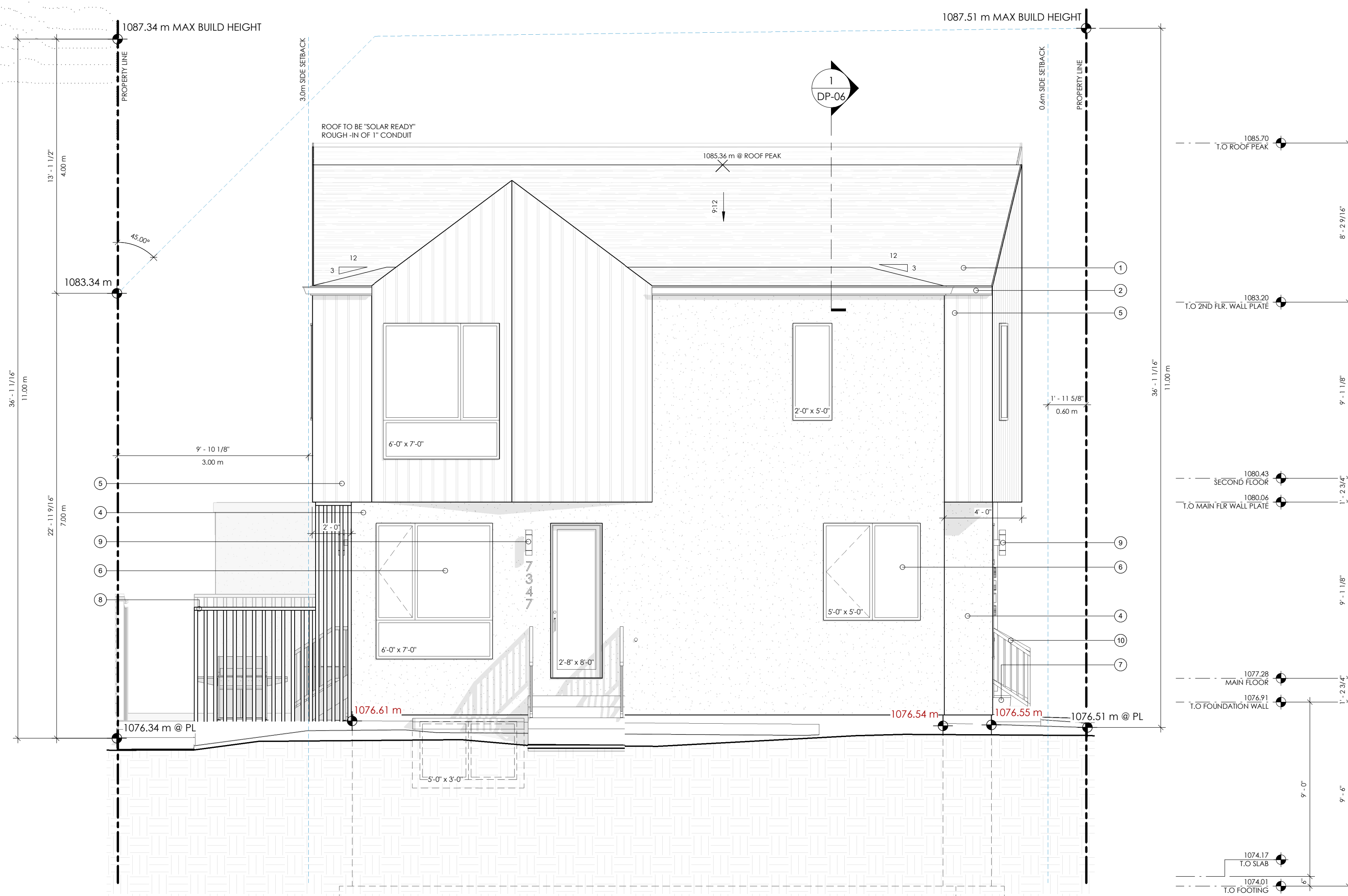
FLOOR AREAS

MAIN FLOOR	587 SF
SECOND FLOOR	663 SF
UNIT 1: Total	1250 SF
MAIN FLOOR	592 SF
SECOND FLOOR	670 SF
UNIT 2: Total	1262 SF
MAIN FLOOR	591 SF
SECOND FLOOR	670 SF
UNIT 3: Total	1261 SF
MAIN FLOOR	595 SF
SECOND FLOOR	660 SF
UNIT 4: Total	1255 SF
SECONDARY SUITE A	609 SF
SECONDARY SUITE B	637 SF
SECONDARY SUITE C	637 SF
SECONDARY SUITE D	598 SF
SECONDARY SUITE A ENTRY	26 SF
SECONDARY SUITE B ENTRY	28 SF
SECONDARY SUITE C ENTRY	28 SF
SECONDARY SUITE D ENTRY	26 SF
GARAGE #1 UNIT 1 & 2	447 SF
GARAGE #2 UNIT 3 & 4	447 SF

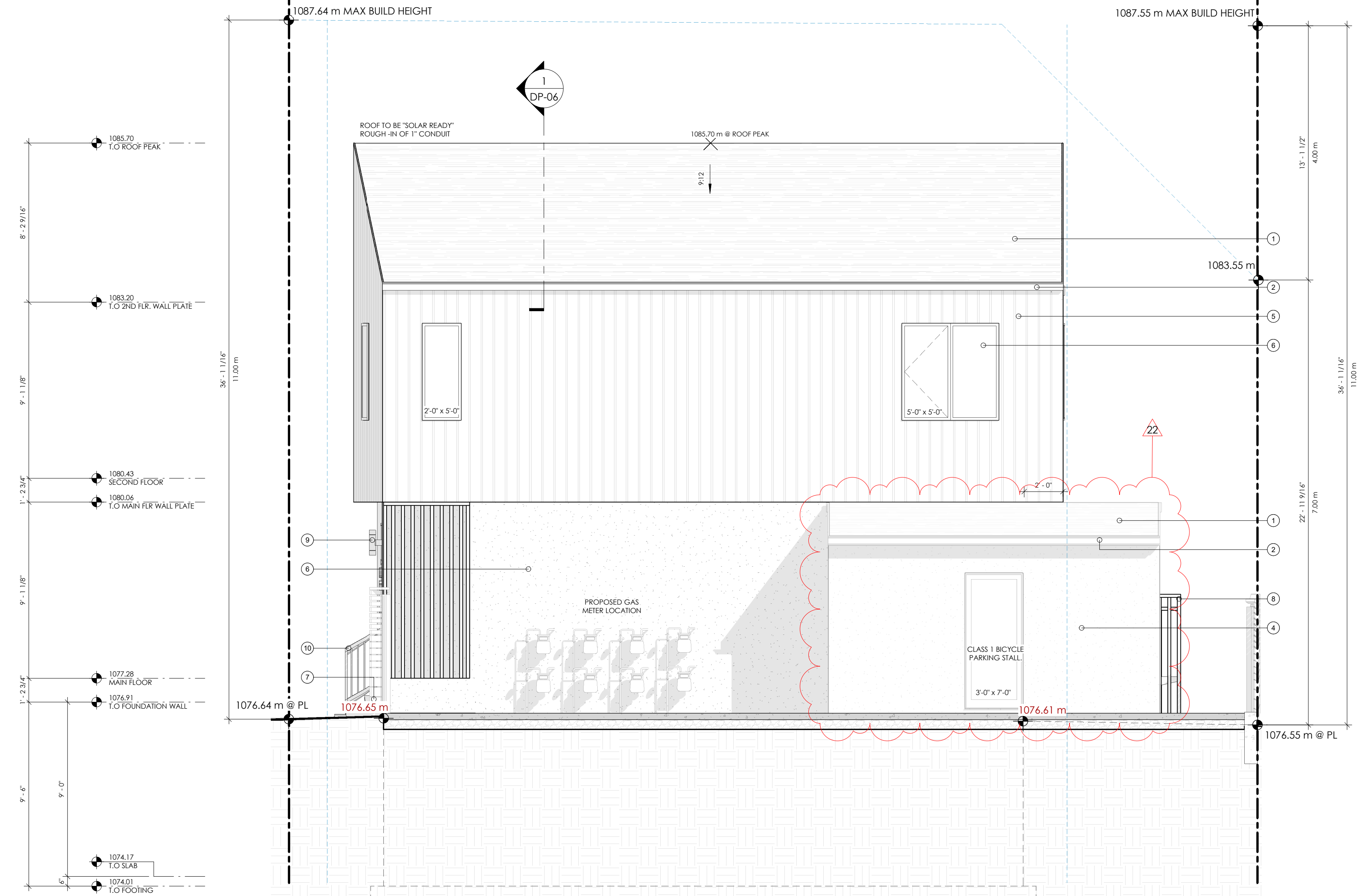
NOT FOR CONSTRUCTION

NORTH, WEST, & SOUTH ELEVATIONS

DP-02



1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"

MATERIAL LEGEND

- 1 ASPHALT SHINGLES
- 2 ALUMINUM SOFFIT & RAINWARE
- 3 6" HARDIE TRIM FASCIA
- 4 FLOAT FINISHED ACRYLIC STUCCO OVER CEMENTITIOUS BASE
- 5 CORRUGATED METAL SIDING W/ 1" REVEAL
- 6 EXTERIOR WINDOWS AS PER SPECIFICATION - BLACK FRAME
- 7 PRECAST CONCRETE STEP, FINISH TO BE SELECTED
- 8 PRIVACY SCREEN (2.0m HEIGHT)
- 9 EXTERIOR LIGHT - SELECTION I.B.D.
- 10 ALUMINUM PICKET RAILING
- 11 SLAT WALL

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PROJECT LOCATION

3512 73 STREET N.W.,
CALGARY, ALBERTA
LOT: 1, BLOCK: 2,
PLAN: 390ZJK

FLOOR AREAS

MAIN FLOOR	587 SF
SECOND FLOOR	663 SF
UNIT 1: Total	1250 SF
MAIN FLOOR	592 SF
SECOND FLOOR	670 SF
UNIT 2: Total	1262 SF
MAIN FLOOR	591 SF
SECOND FLOOR	670 SF
UNIT 3: Total	1261 SF
MAIN FLOOR	595 SF
SECOND FLOOR	660 SF
UNIT 4: Total	1255 SF
SECONDARY SUITE A	609 SF
SECONDARY SUITE B	637 SF
SECONDARY SUITE C	637 SF
SECONDARY SUITE D	598 SF
SECONDARY SUITE A ENTRY	26 SF
SECONDARY SUITE B ENTRY	28 SF
SECONDARY SUITE C ENTRY	28 SF
SECONDARY SUITE D ENTRY	26 SF
GARAGE #1	447 SF
UNIT 1 & 2	
GARAGE #2	447 SF
UNIT 3 & 4	

NOT FOR CONSTRUCTION

EAST ELEVATION & LOWER SUITE FLOOR PLAN

DP-03



- MATERIAL LEGEND**
- ① ASPHALT SHINGLES
 - ② ALUMINUM SOFFIT & RAHWARE
 - ③ 6\"/>

1 EAST ELEVATION
1/4\"/>

UNIT 1	UNIT 2	UNIT 3	UNIT 4
FIRE COMPARTMENT AREA: 35.99 m ²	FIRE COMPARTMENT AREA: 40.00 m ²	FIRE COMPARTMENT AREA: 40.00 m ²	FIRE COMPARTMENT AREA: 39.66 m ²
LIMITING DISTANCE: 3.00 m	LIMITING DISTANCE: 3.00 m	LIMITING DISTANCE: 3.00 m	LIMITING DISTANCE: 3.00 m
OPENING LIMITS: 21.50%	OPENING LIMITS: 21.50%	OPENING LIMITS: 21.50%	OPENING LIMITS: 25.50%
OPENINGS AREA: 4.65 m ²	OPENINGS AREA: 4.97 m ²	OPENINGS AREA: 4.97 m ²	OPENINGS AREA: 2.22 m ²
OPENINGS %: 13.05%	OPENINGS %: 17.42%	OPENINGS %: 17.42%	OPENINGS %: 5.60%



3 SPATIAL SEPARATION - WEST
1\"/>

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5	2024.11.20	ByLaw Discrepancies - Bike Stalls
6	2024.11.20	ByLaw Discrepancies - Cartilage Bins
7	2024.11.20	Prior to Decision Requirements
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LOT: 1, BLOCK: 2,
PLAN: 390ZJK

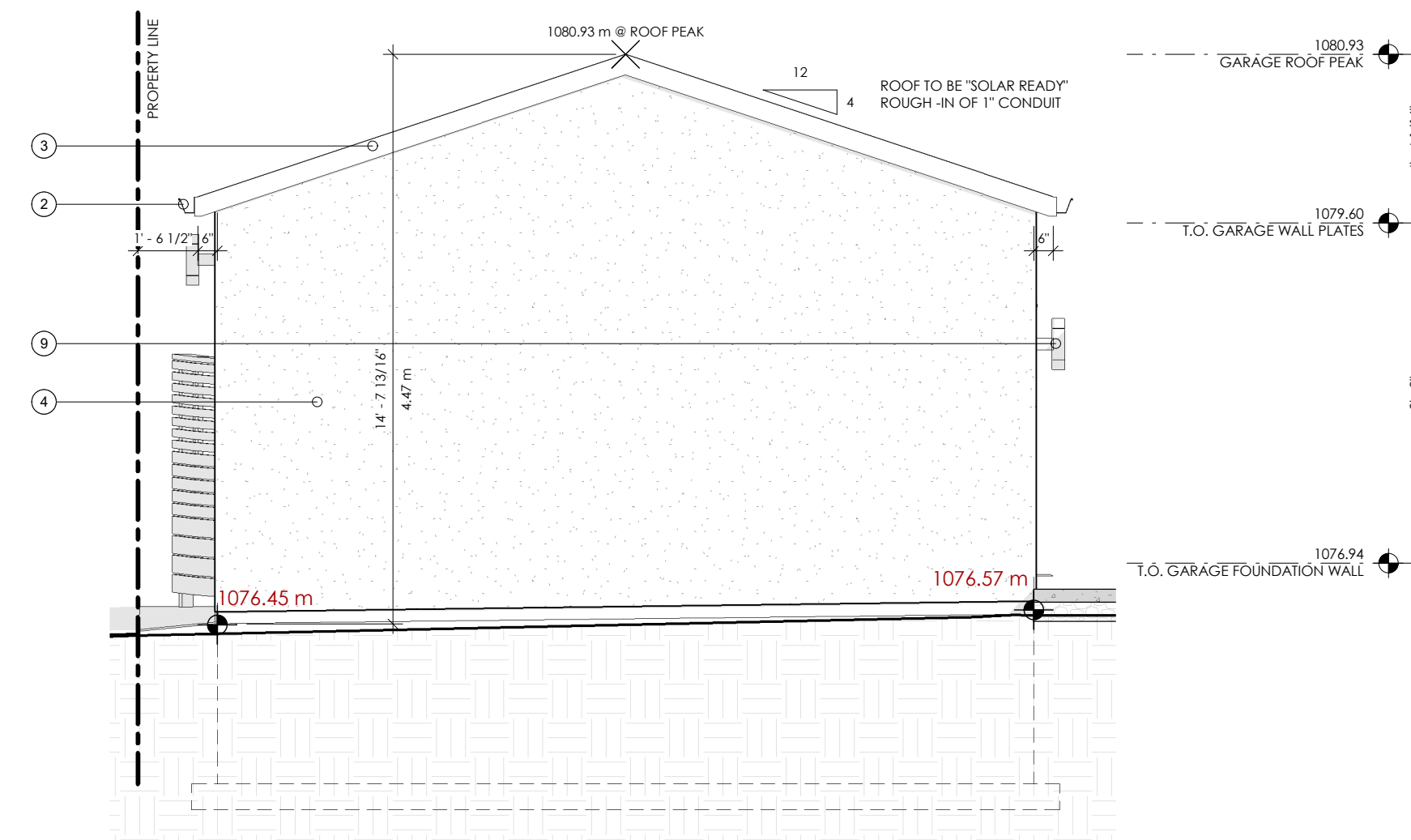
FLOOR AREAS

MAIN FLOOR	587 SF
SECOND FLOOR	663 SF
UNIT 1: Total	1250 SF
MAIN FLOOR	592 SF
SECOND FLOOR	670 SF
UNIT 2: Total	1262 SF
MAIN FLOOR	591 SF
SECOND FLOOR	670 SF
UNIT 3: Total	1261 SF
MAIN FLOOR	595 SF
SECOND FLOOR	660 SF
UNIT 4: Total	1255 SF
SECONDARY SUITE A	609 SF
SECONDARY SUITE B	637 SF
SECONDARY SUITE C	637 SF
SECONDARY SUITE D	598 SF
SECONDARY SUITE A ENTRY	26 SF
SECONDARY SUITE B ENTRY	28 SF
SECONDARY SUITE C ENTRY	28 SF
SECONDARY SUITE D ENTRY	26 SF
GARAGE #1	447 SF
UNIT 1, 2 & 2	447 SF
GARAGE #2	447 SF
UNIT 3 & 4	447 SF

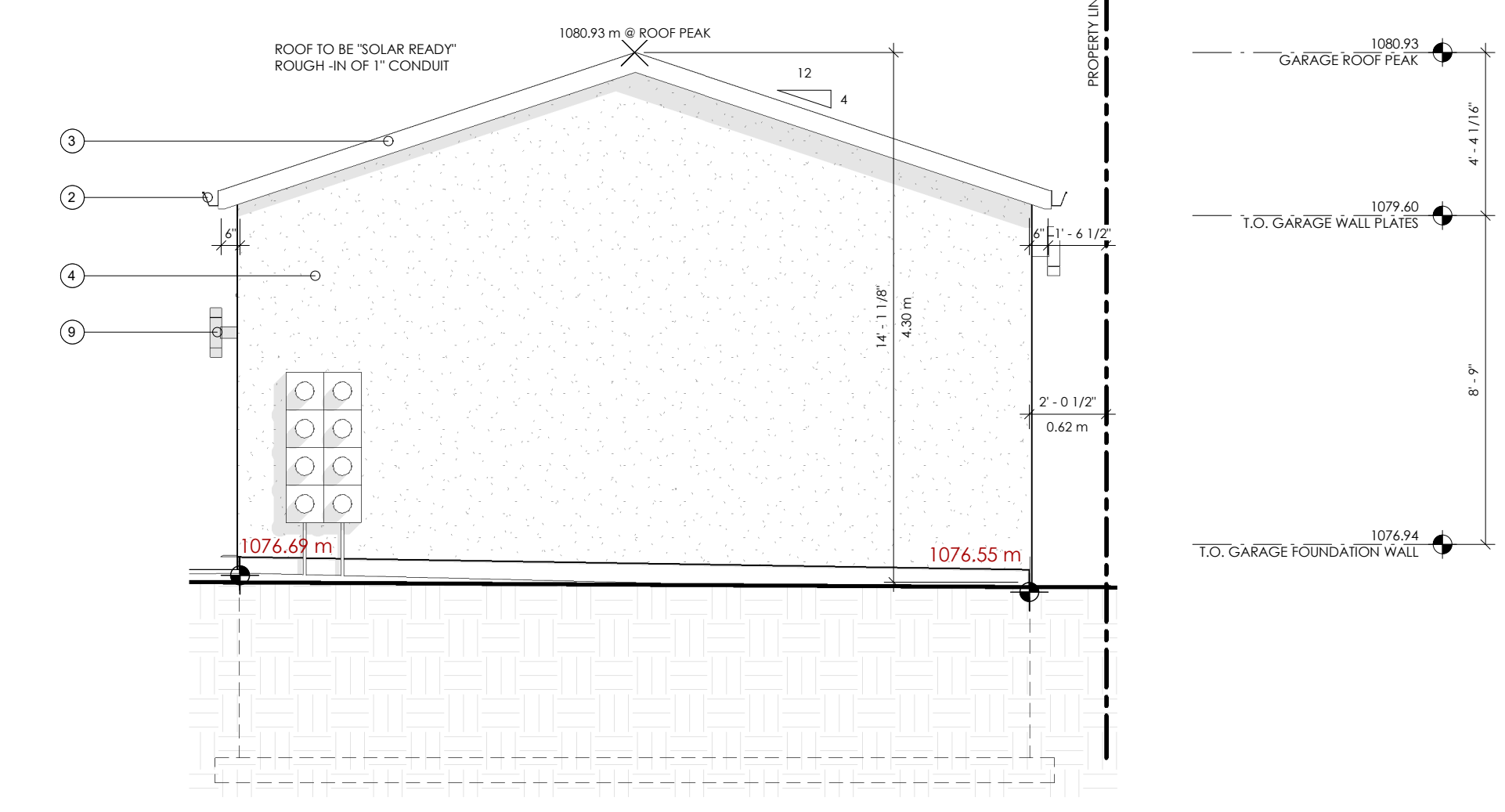
NOT FOR CONSTRUCTION

GARAGE PLANS

DP-05



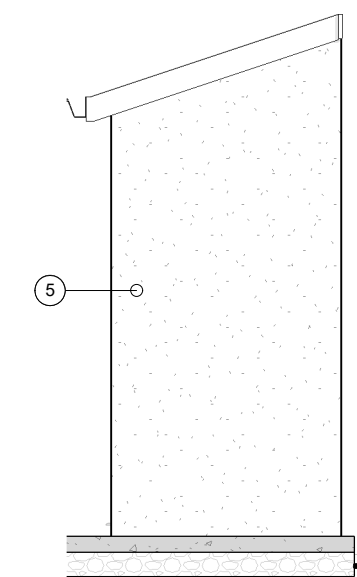
2 EAST ELEVATION - GARAGE
1/4" = 1'-0"



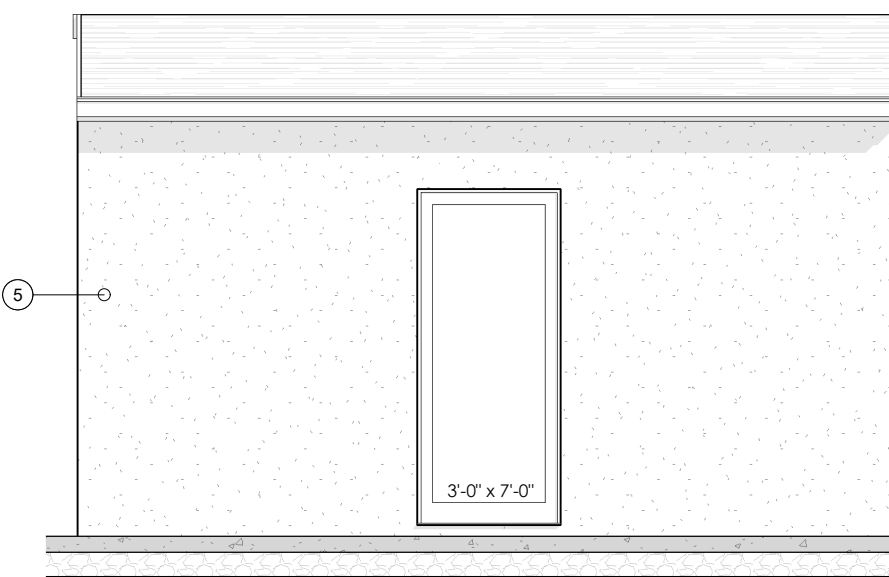
3 WEST ELEVATION - GARAGE
1/4" = 1'-0"



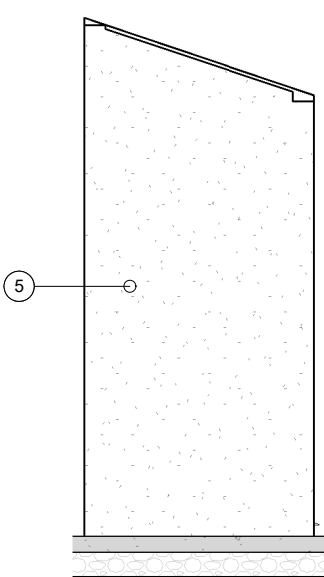
10 NORTH ELEVATION - BIKE STORAGE
1/4" = 1'-0"



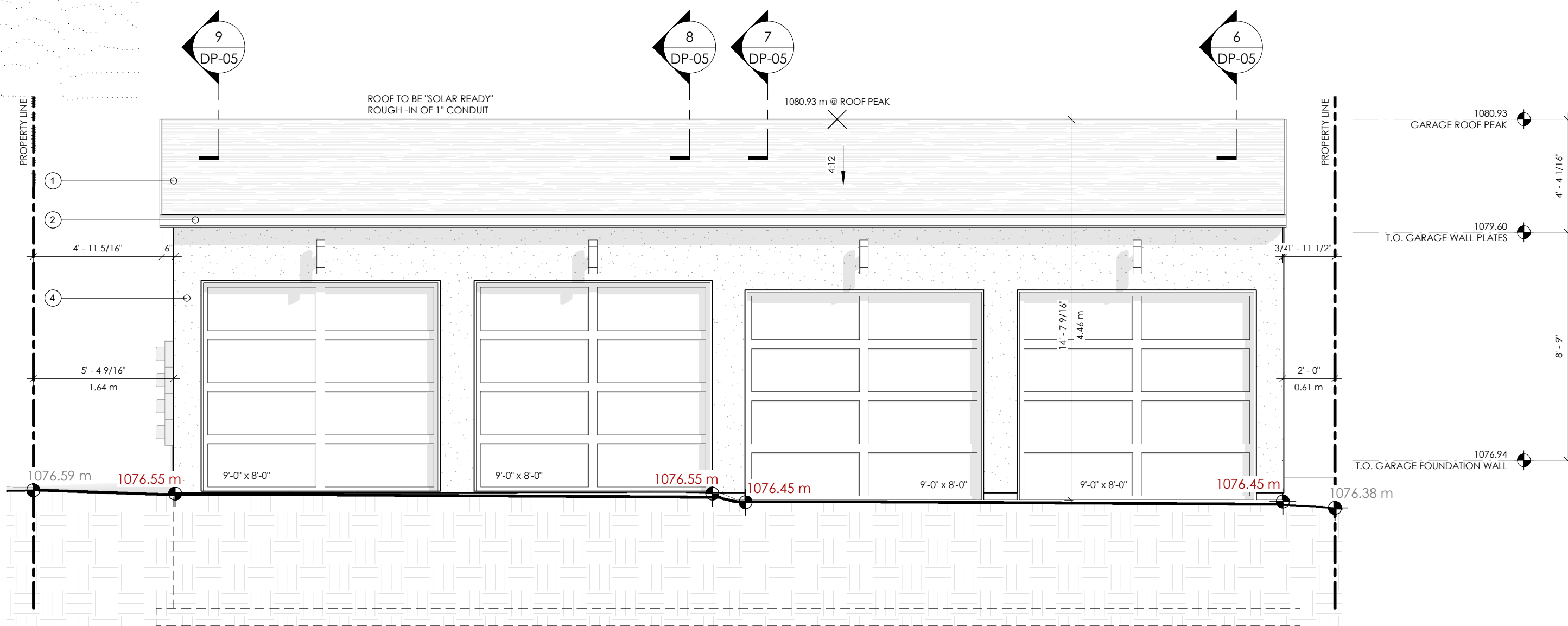
11 EAST ELEVATION - BIKE STORAGE
1/4" = 1'-0"



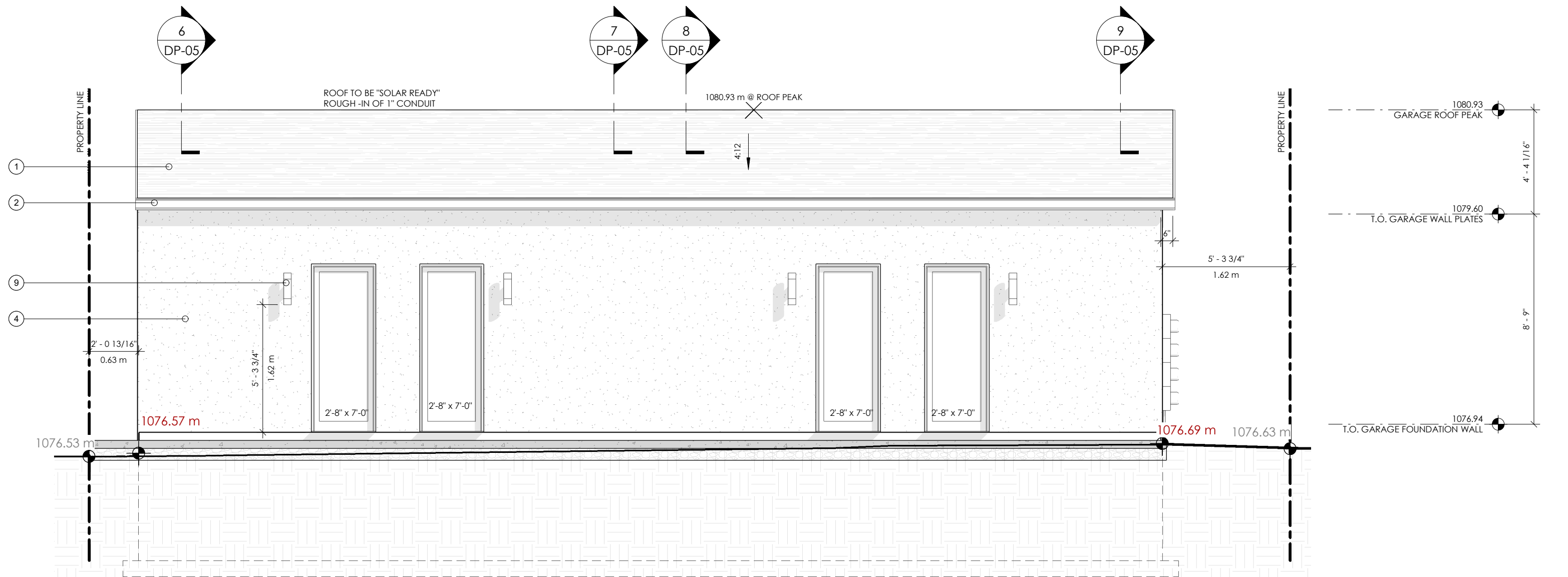
12 SOUTH ELEVATION - BIKE STORAGE
1/4" = 1'-0"



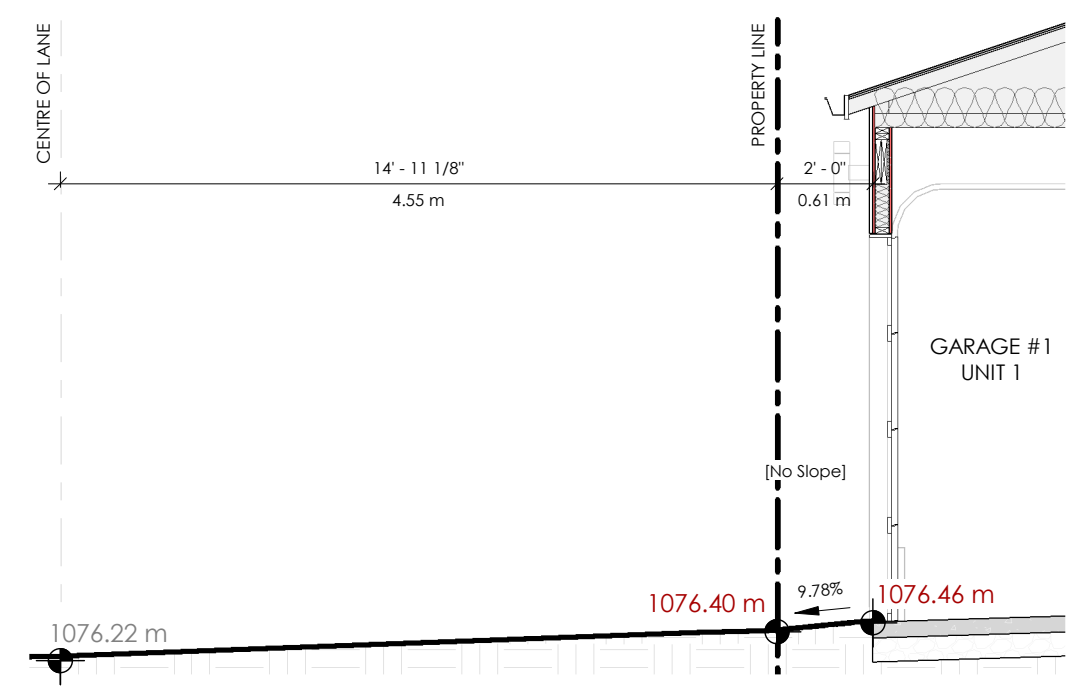
13 WEST ELEVATION - BIKE STORAGE
1/4" = 1'-0"



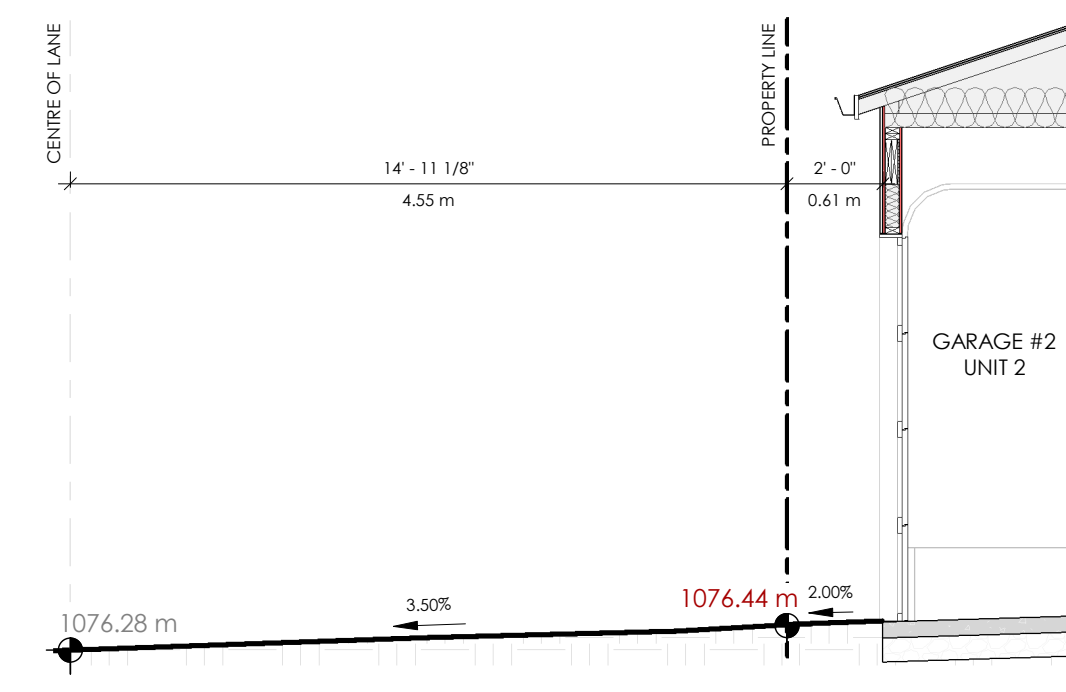
4 SOUTH ELEVATION - GARAGE
1/4" = 1'-0"



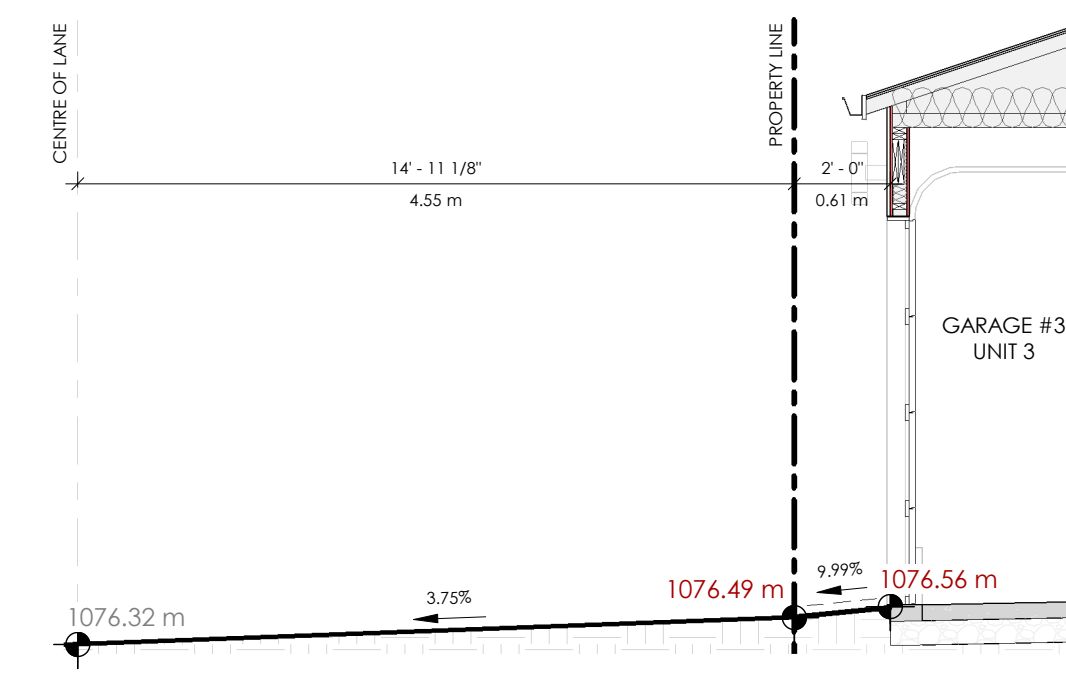
5 NORTH ELEVATION - GARAGE
1/4" = 1'-0"



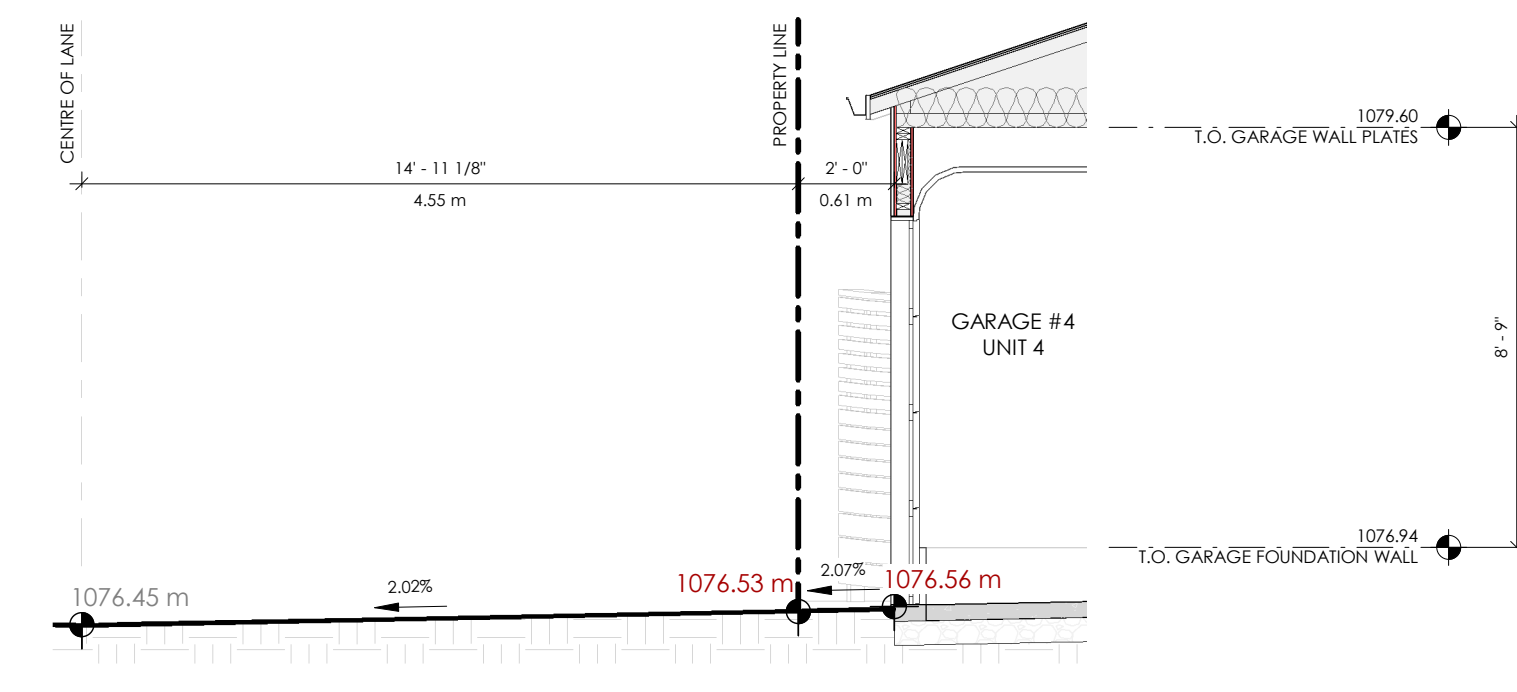
6 GARAGE SECTION - UNIT 1
1/4" = 1'-0"



7 GARAGE SECTION - UNIT 2
1/4" = 1'-0"



8 GARAGE SECTION - UNIT 3
1/4" = 1'-0"



9 GARAGE SECTION - UNIT 4
1/4" = 1'-0"

MATERIAL LEGEND

- 1 ASPHALT SHINGLES
- 2 ALUMINUM SOFFIT & BARNWARE
- 3 6\"/>