

LONDON TOWN CENTRE TI - TENANT 3 CALGARY, ALBERTA

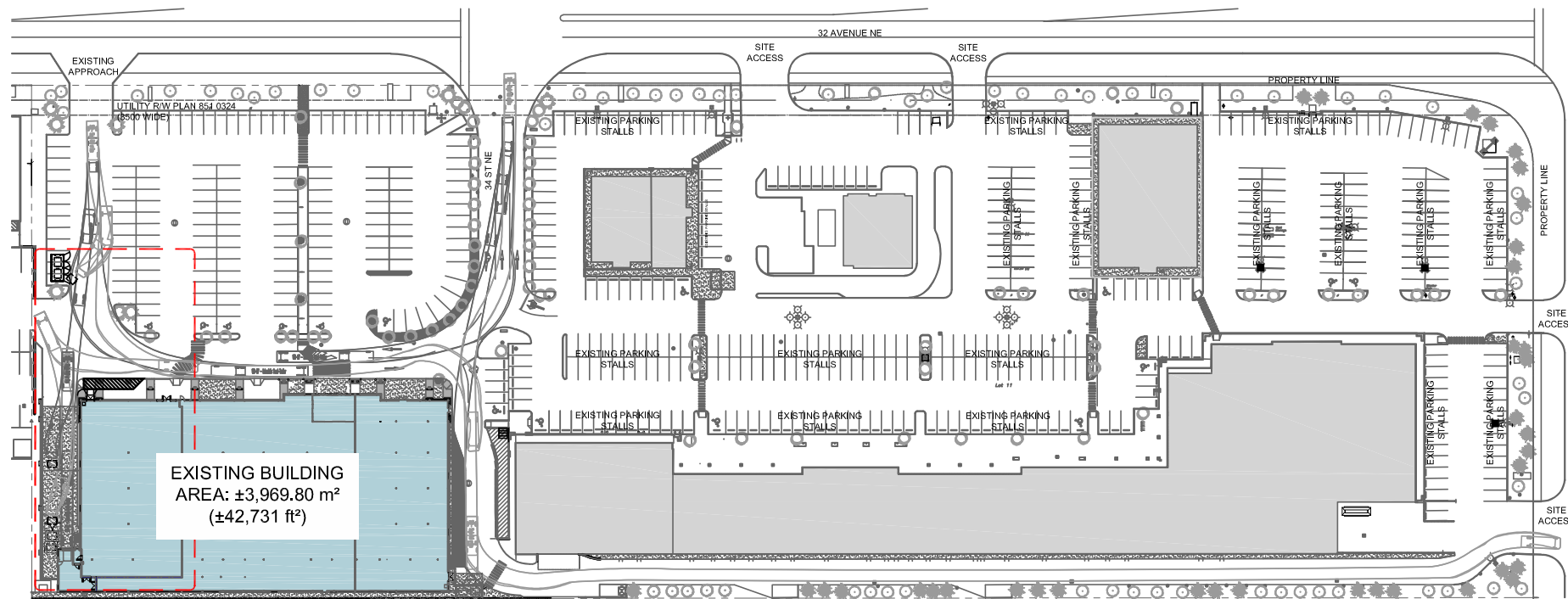
ISSUED FOR DEVELOPMENT PERMIT



1 VICINITY PLAN
DP0.0
SCALE N.T.S.

SITE INFORMATION		DEVELOPMENT SYNOPSIS	
PROJECT INFORMATION	EXTERIOR ALTERATIONS: - DEMOLITION OF EXISTING CURBS - NEW LOADING AND UNLOADING AREA - ADDITION OF NEW EXTERIOR DOUBLE DOORS - NEW 2 - 6 YD² GARBAGE BINS - NEW GARBAGE ENCLOSURE	CITY OF CALGARY LAND USE BYLAW 1P2207	
LEGAL DESCRIPTION	PLAN 8510323, BLOCK 2, LOTS 8 TO 12	ZONING	COMMERCIAL - COMMUNITY 2 (C-C2 0.3N15)
MUNICIPAL ADDRESS	#830, 3545 32ND AVENUE N.E., CALGARY, ALBERTA	USE	PERMITTED: RETAIL
		AREAS	BUILDING AREA ±3,969.80 m ² (±42,731 ft ²) SCOPE AREA ±991.42m ² (±10,671,50ft ²)
DRAWING LIST			
ARCHITECTURAL BCW ARCHITECTS			
DP0.0	COVER PAGE & SITE PLAN		
DP0.1	SITE PHOTOS AND DETAILS		
DP0.2	SITE DETAILS		
DP2.0	BASE BUILDING: MAIN FLOOR PLAN		
DP2.1	BASE BUILDING: MEZZANINE FLOOR PLAN		
DP3.0	BUILDING ELEVATIONS		

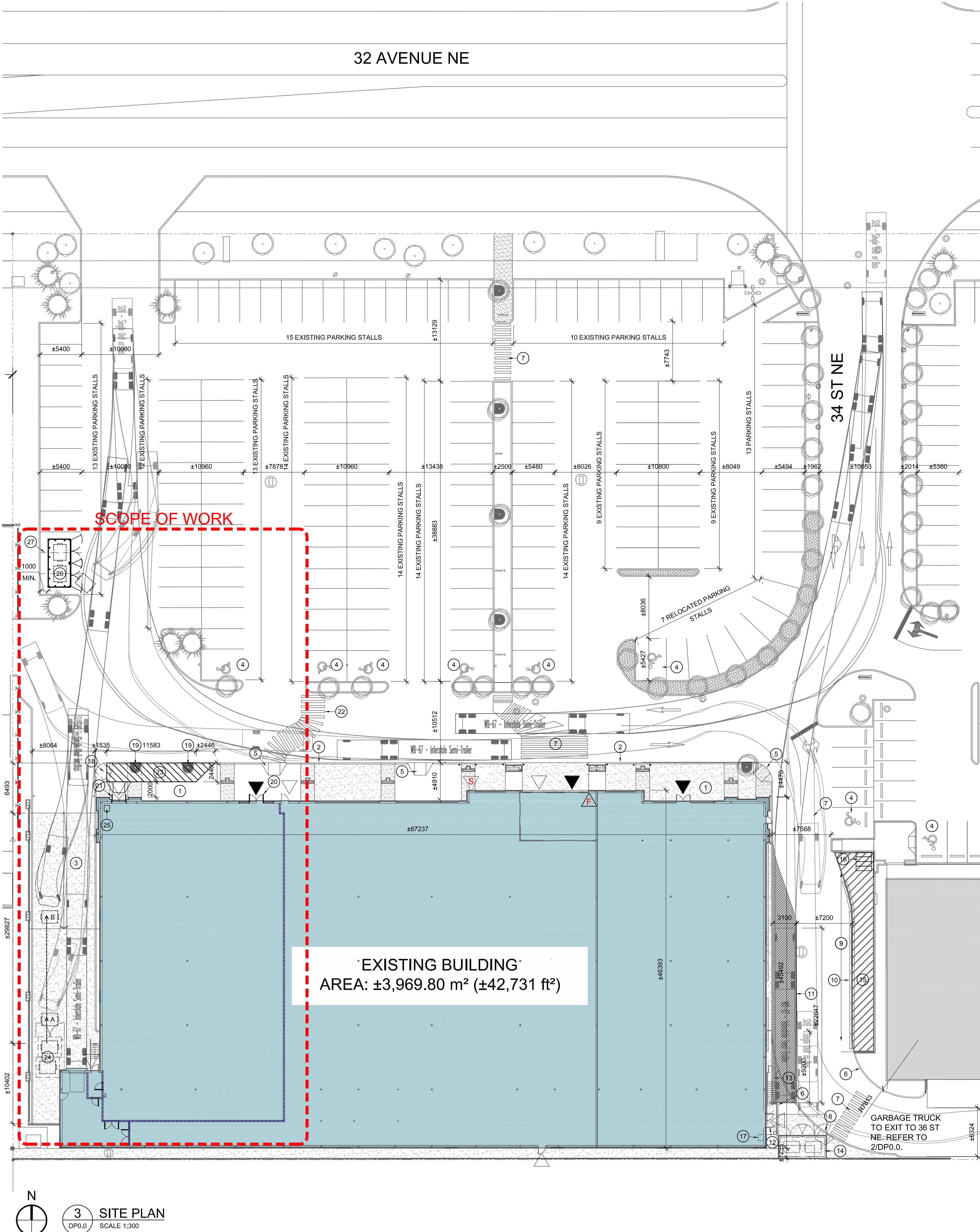
BUILDING CODE SYNOPSIS			
BASE BUILDING COMPLETED TO THE NBC (AE) 1997 CODE. PERMIT APPLICATION IS FOR EXTERIOR ALTERATIONS AS NOTED ON THE SITE PLAN AND FLOOR PLANS. THE INFORMATION BELOW IS FOR THE EXISTING BASE BUILDING.			
BASE BUILDING INFORMATION: NBC (AE) 2023			
BUILDING AREA	TOTAL BUILDING AREA ±3,969.80 m ² (±42,731 ft ²)	TABLE 3.4.2.1 (B) EXIT REQUIREMENTS	CRITERIA FOR ONE EXIT (FLOOR AREA SPRINKLERED) = 200 m ²
3.2.2.69 BUILDING CLASSIFICATION	GROUP E, UP TO 3 STOREYS, SPRINKLERED	3.4.2.5 TRAVEL DISTANCE	45m
3.2.2.69 (2) CONSTRUCTION TYPE	COMBUSTIBLE AND NON-COMBUSTIBLE	3.4.3.2 EXIT WIDTH REQUIRED	6.1mm WIDTH PER PERSON
3.2.2.69 SPRINKLERED	YES	TENANT IMPROVEMENT AREA INFORMATION: NBC (AE) 2023	
3.2.2.69 (2) FIRE RESISTANCE RATING OF ASSEMBLIES	MEZZANINES SHALL HAVE, IF OF COMBUSTIBLE CONSTRUCTION, AN FRR NOT LESS THAN 45 MIN.	3.1.3.1 TABLE 3.1.3.1 SEPARATION OF MAJOR OCCUPANCIES	2HR F.R.R.
OTHER FIRE SEPARATIONS	JANITOR'S ROOM = 1 HR FRR GAS/SPRINKLER ROOM = 1 HR FRR MEZZ. COMPRESSOR ROOM = 1 HR FRR	T1 OCCUPANCY CLASSIFICATION	3.2.2.69 GROUP E, UP TO 3 STOREYS, SPRINKLERED COMBUSTIBLE AND NON-COMBUSTIBLE CONSTRUCTION
		3.4.2.5 LOCATION OF EXITS TRAVEL DISTANCE	45m



2 OVERALL SITE PLAN
DP0.0
SCALE 1:1500

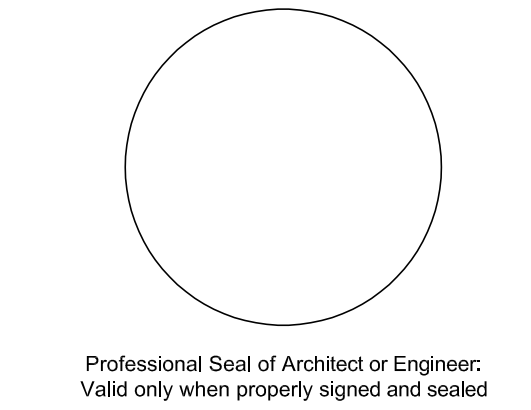
SITE PLAN KEY NOTES	
1	EXISTING CONCRETE SIDEWALK.
2	EXISTING 150mm WIDE CONCRETE CURB.
3	EXISTING CONCRETE LOADING RAMP.
4	EXISTING BARRIER FREE PARKING STALL.
5	EXISTING DEPRESSED BARRIER-FREE CONCRETE RAMP.
6	DP2025-01098 EXISTING 150mm WIDE CONCRETE CURB.
7	EXISTING 100 WIDE PAINTED DIAGONAL STRIPE PAINT.
8	DP2025-01098 EXISTING 150mm WIDE CONCRETE CURB REMOVED.
9	DP2025-01098 10 EXISTING PARKING STALLS REMOVED AND RELOCATED.
10	DP2025-01067 EXISTING CONCRETE JERSEY BARRIER.
11	DP2025-01098 TENANT 1 - EXISTING LOADING AREA FOR 53' SEMI-TRAILER.
12	DP2025-01098 TENANT 1 - EXISTING DOUBLE DOOR.
13	DP2025-01098 EXISTING EXTERIOR STAIRS DEMOLISHED.
14	DP2025-01067 EXISTING GARBAGE ENCLOSURE.
15	DP2025-01067 EXISTING 100 WIDE PAINTED DIAGONAL STRIPE PAINT 2 COATS YELLOW BEADED REFLECTIVE PAINT.
16	DP2025-01067 EXISTING 4 - CLASS 2 BICYCLE STALLS.
17	DP2025-01067 TENANT 1 - EXISTING 1 - 0.7m x 0.8m GREEN CART FOR ORGANICS, STORED INSIDE THE BUILDING AND WHEELED OUT FOR COLLECTION.
18	EXISTING DEPRESSED BARRIER-FREE CONCRETE RAMP TO BE REMOVED TO SUIT NEW LOADING AND UNLOADING AREA.
19	EXISTING TREE GRATES TO BE REMOVED TO SUIT NEW LOADING AND UNLOADING AREA.
20	EXISTING SINGLE DOOR AND FRAME TO BE REMOVED. PROPOSED NEW DOUBLE DOOR ENTRY AND FRAME IN SAME OPENING.
21	PROPOSED NEW DOUBLE SWING DOOR TO SERVE LOADING AND UNLOADING AREA c/w SLOPED CURB CUT.
22	PROPOSED PAINTED PEDESTRIAN CROSSWALK.
23	PROPOSED LOADING AND UNLOADING AREA c/w DIAGONAL STRIPE PAINT - 2 COATS YELLOW BEADED REFLECTIVE PAINT.
24	PROPOSED (2) 6-YARD GARBAGE BINS TO REMAIN WITHIN EXISTING ENCLOSURE. BINS TO BE WHEELED TO DESIGNATED COLLECTION POINTS (A AND/OR B) AS REQUIRED FOR WASTE PICK-UP.
25	0.7m x 0.8m GREEN CART FOR ORGANICS, STORED INSIDE THE BUILDING AND WHEELED OUT FOR COLLECTION.
26	PROPOSED (2) 6-YARD GARBAGE BINS ENCLOSURE. BINS TO BE WHEELED AS REQUIRED FOR WASTE PICK-UP.
27	3 EXISTING PARKING STALLS TO BE REMOVED. EXISTING CAR RECEPTACLES TO BE ABANDONED.

SITE PLAN LEGEND	
▼	TENANT ENTRANCE LOCATION
▽	BUILDING EXIT LOCATION
△	EXISTING FIRE FIGHTER'S ENTRANCE AND FIRE ANNUNCIATOR PANEL LOCATION
△	EXISTING SIAMSE CONNECTION
---	PROPERTY LINE
---	URW
---	SCOPE LINE
■	BUILDING SCOPE
■	EXISTING BUILDINGS



3 SITE PLAN
DP0.0
SCALE 1:300

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Consultant

In Collaboration

Revisions

No.	Description	Date
1.	I.F. REVIEW	2026.02.26
2.	I.F. DP	2026.03.27

Client

Hopewell
DEVELOPMENT

Project

**LONDON TOWN
SQUARE - TENANT 3**

#830 3545 32nd AV NE,
CALGARY, ALBERTA
PLAN 8510323; BLOCK 2;
LOTS 8-12

Drawing

**COVER PAGE & SITE
PLAN**

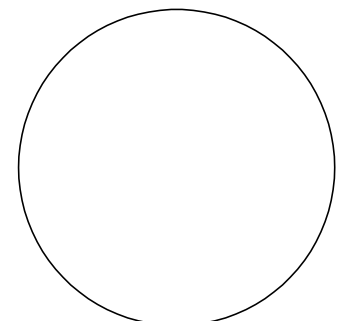
Drawn by: VB
Scale: AS NOTED

Checked by: PW
Approval by: PW

Date: JAN. 2026	Project No.: 26001-03
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DP0.0

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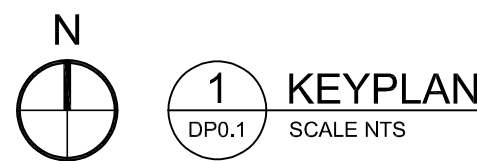
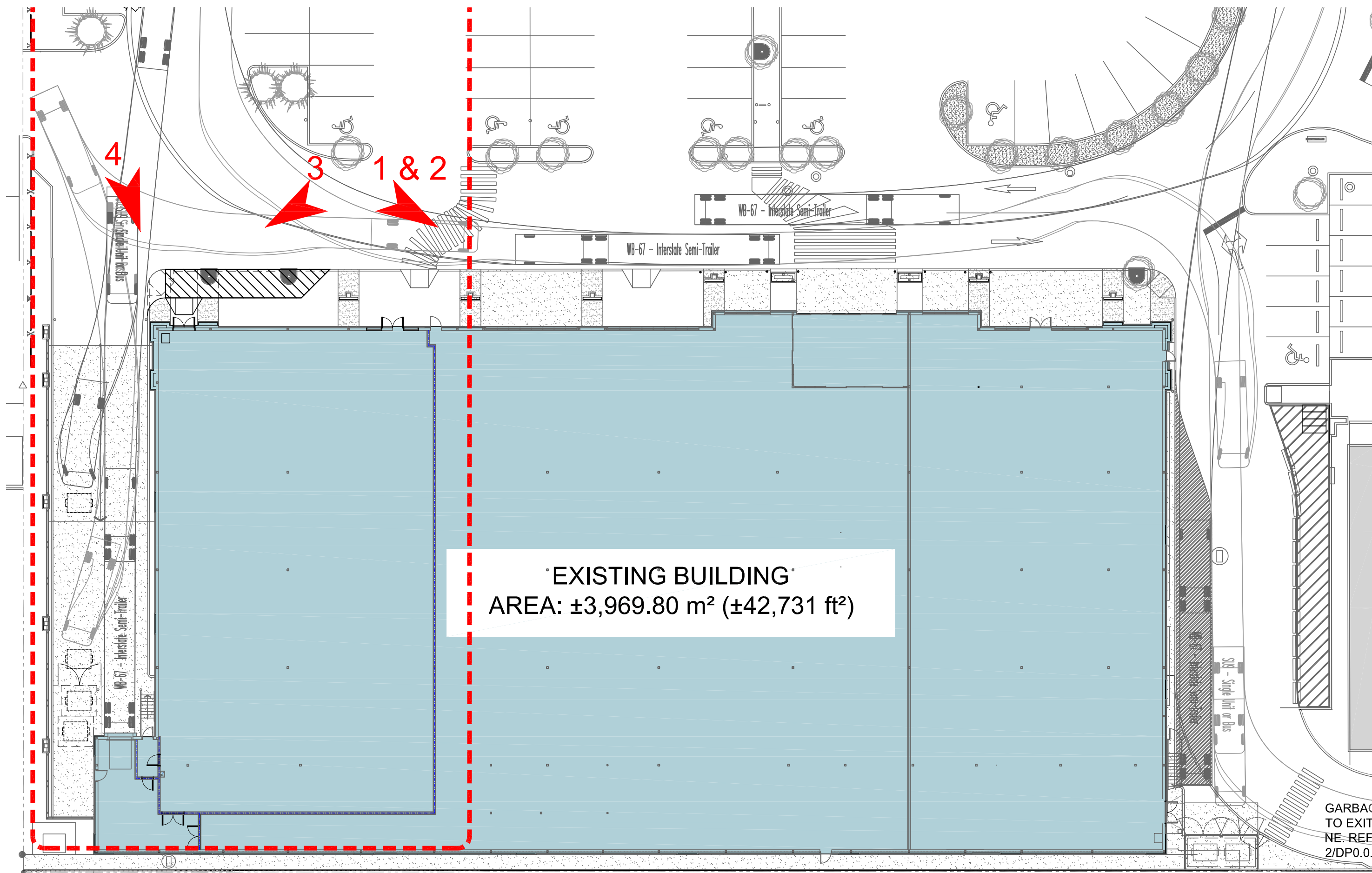
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■ Drawing
**SITE PHOTOS AND
DETAILS**

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DP0.1



SITE PHOTO 1



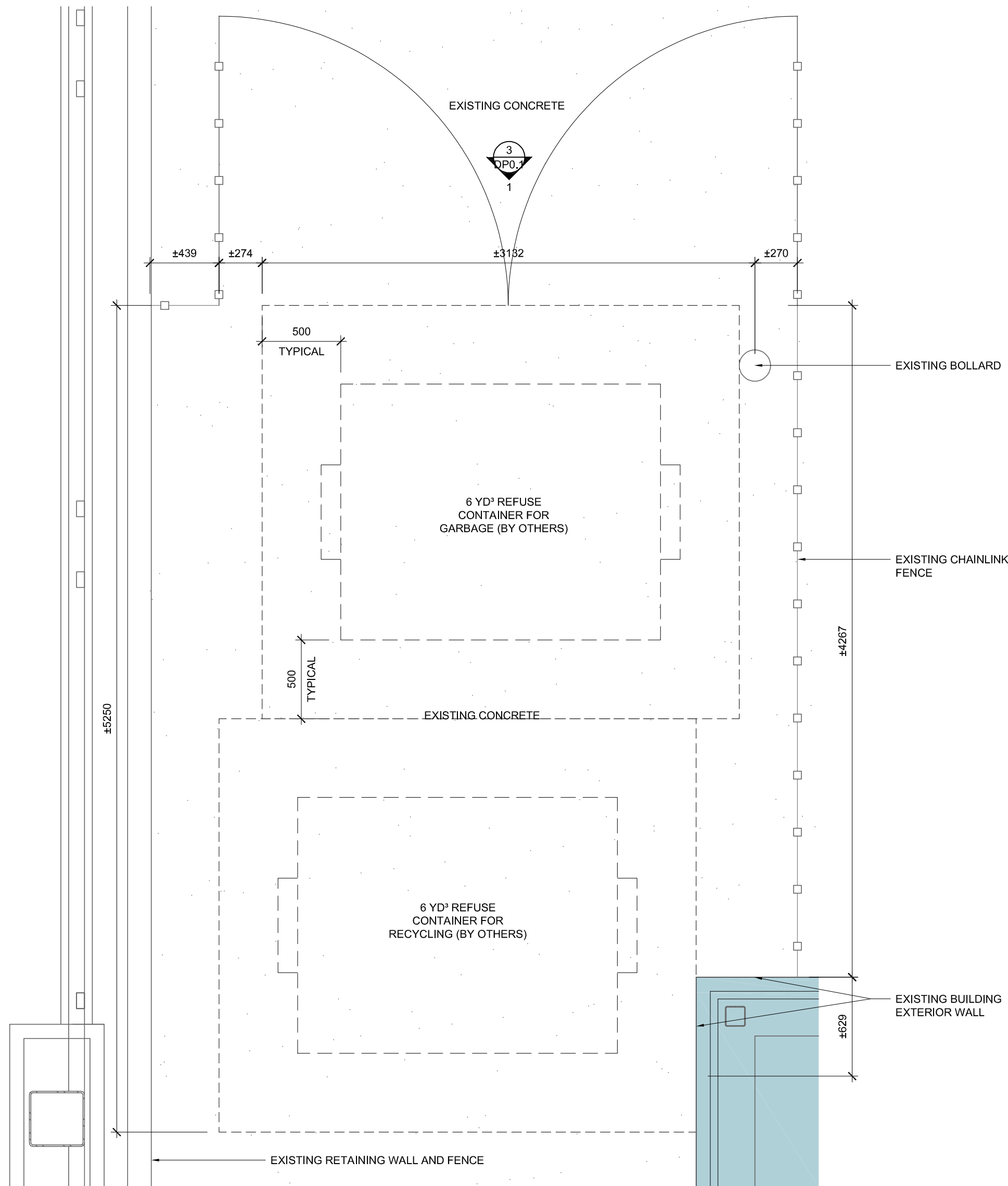
SITE PHOTO 2



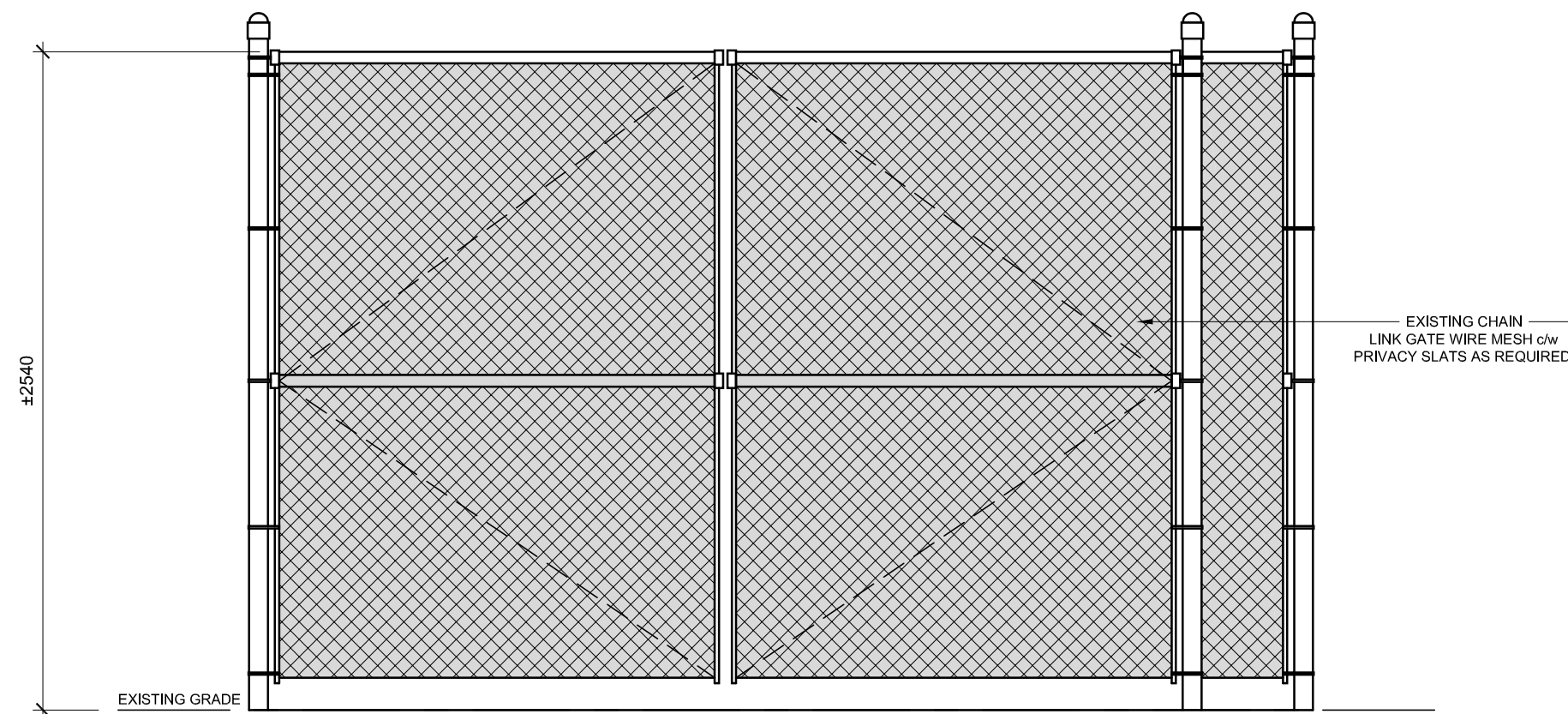
SITE PHOTO 3



SITE PHOTO 4



PLAN



ELEVATION



ELEVATION PHOTO



ELEVATION GENERAL NOTES

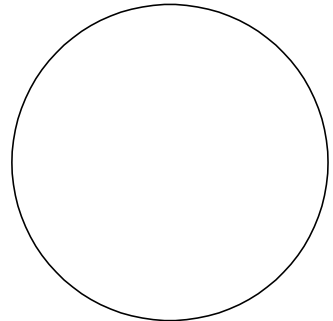
- EXISTING PDF DRAWING UNDERLAY AS PER BASE BUILDING DRAWINGS DATED SEPT 2002.
- EXISTING DRAWINGS UNDERLAY NOT TO SCALE.

BCW
Architects

Suite 300, 1717 - 10 Street NW, Calgary, AB T2M 4S2
T: (403) 283-1591 www.bcw-arch.com

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PLAN 8510323; BLOCK 2;
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■ Drawing

**BUILDING
ELEVATIONS**

Drawn by: VB
Scale: AS NOTED

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Approval by: PW

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Project No.:
26001-03

DP3.0

