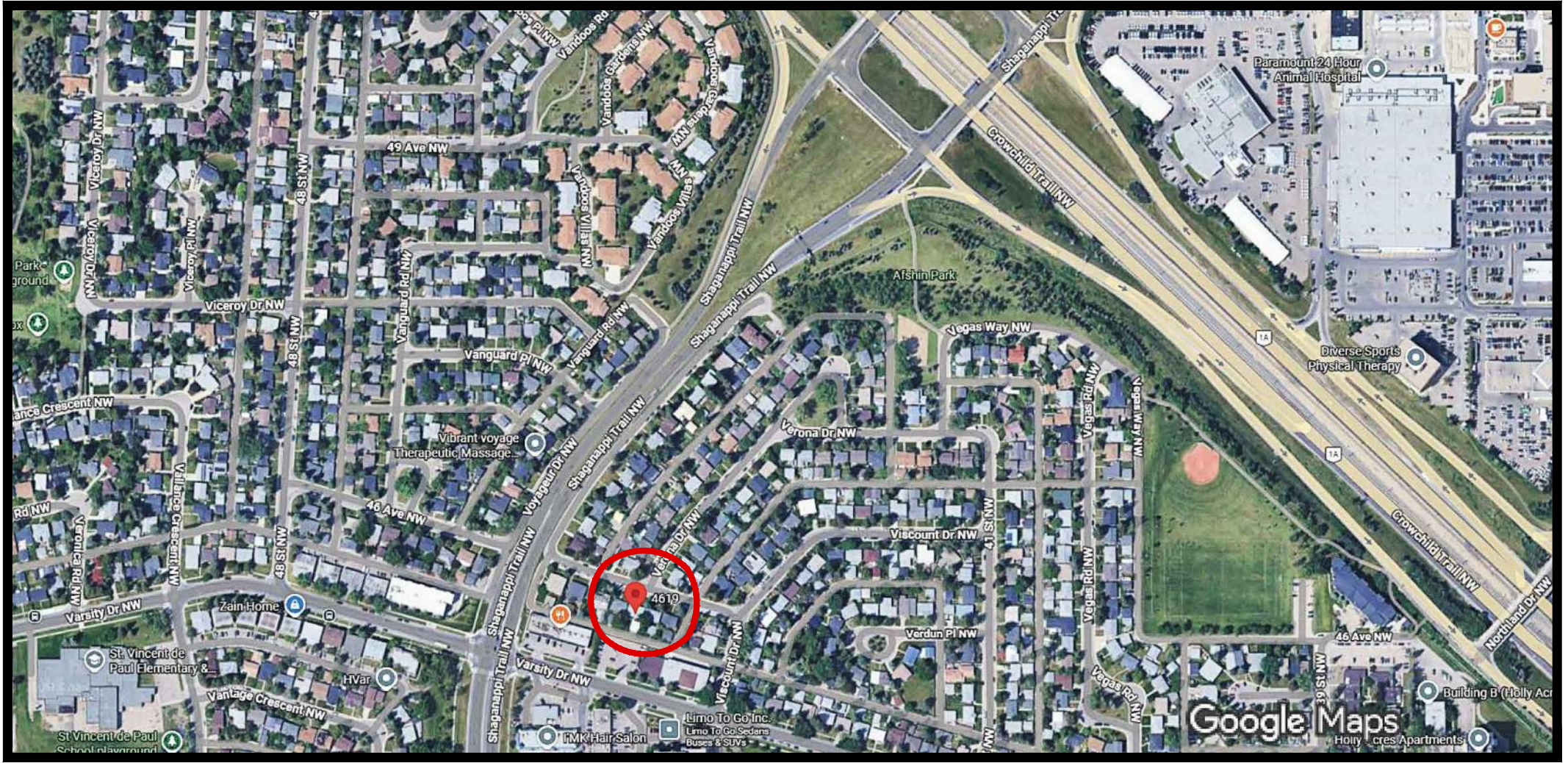
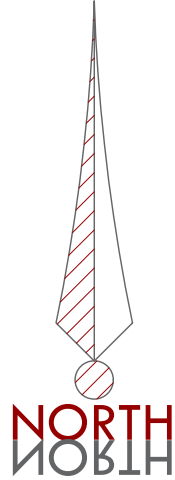




ARCHITECTURAL CONCEPT

VICINITY MAP NTS

PROJECT DRAWING INDEX	
GENERAL	
A0	TITLE PAGE
A1	SCHEDULES
A1.1	EXISTING SITE PHOTOS
A1.2	EXISTING SURVEY
SITE	
A2	EXISTING SITE PLAN
A3	PROPOSED SITE PLAN
A4	STREETSCAPE
FLOOR	
A5	FOUNDATION LAYOUT
A6	BASEMENT DEVELOPMENT LAYOUT
A7	MAIN FLOOR LAYOUT
A8	UPPER FLOOR LAYOUT
A9	THIRD FLOOR LAYOUT
A10	ROOF LAYOUT
ELEVATIONS	
A11	FRONT ELEVATION
A12	LEFT ELEVATION
A13	REAR ELEVATION
A14	RIGHT ELEVATION
CROSS SECTIONS	
A15	CROSS SECTION A
A16	CROSS SECTION B
ELECTRICAL LAYOUTS	
A17	ELECTRICAL MAIN FLOOR LAYOUT
A18	ELECTRICAL UPPER FLOOR LAYOUT
STANDARD CONSTRUCTION DETAILS	
C1	STD. RADON AND FOUNDATION DETAILS
C2	STD. SHEATHING AND CLADDING NOTES AND DETAILS
C3	STD. FRAMING AND GARAGE SUITE F.R.R. DETAILS
C4	STD. MECHANICAL PENETRATIONS DETAILS
C5	STD. DOOR AND DECK FRAMING DETAILS
C6	STD. WINDOW FLASHING DETAILS
C7	STD. WINDOW FLASHING AND CATHEDRAL FRAMING DETAILS
C8	STD. ATTIC FRAMING DETAILS

PROJECT DATA SUMMARY	
LEGAL ADDRESS:	LOT 14, BLOCK 15, PLAN 3094JK
LAND DESCRIPTION:	LANED PROPERTY
JURISDICTION:	THE CITY OF CALGARY
ZONING:	R-CG (RESIDENTIAL - GRADE ORIENTED INFILL)
BUILDING TYPE:	SEMI-DETACHED RESIDENTIAL DWELLING AND SEMI-DETACHED GARAGE C/W BASEMENT SECONDARY SUITES
BLDG CONSTRUCTION:	COMBUSTIBLE
CODE CLASSIFICATION:	PART 9 - NBC ALBERTA EDITION 2023
SITE INFORMATION:	
PARCEL AREA:	5006 ft² OR 465.05m²
BUILDING AREA:	1929 ft² OR 179.22m²
GARAGE AREA:	903 ft² OR 83.89m²
BUILDING HEIGHT:	34'-10" OR 10.92m
FRONT SETBACK:	5.81m
SIDE YARD SETBACK:	1.22m (EAST) AND 1.21m(WEST)
REAR YARD SETBACK:	10.24m
PARKING:	2 STALLS PER DWELLING

ABBREVIATIONS	
A.F.F.	- ABOVE FINISHED FLOOR - T.O.SUBFLOOR OR SLAB
CANT.	- CANTILEVER
S.A.	- STRUCTURE ABOVE
DP	- DROPPED
FL	- FLUSHED
HWT	- HOT WATER TANK
FURN	- FURNACE
O/H	- OVERHEAD
HUMD	- HUMIDIFIER
HRV	- HEAT RECOVERY VENTILATION UNIT
FD	- FLOOR DRAIN
FR	- FRENCH DOOR
SS	- SOLID CORE
FF	- FIRE RATED
F.R.R.	- FIRE RESISTANCE RATING
F.O.B	- FACE OF BEAM
C/L	- CENTER LINE
F/A	- FRESH AIR INTAKE
TBD	- TO BE DETERMINED

SYMBOLS

GENERAL NOTES
- ALL DISCREPANCIES ARE TO BE NOTED AND BROUGHT TO THE ATTENTION OF THE DESIGNER. UNDER NO CIRCUMSTANCES ARE CHANGES TO BE MADE WITHOUT THE PERMISSION FROM THE DESIGNER.
- ALL DIMENSIONS REFERRING TO THE EXTERIOR OF BUILDING ARE TO FACE OF SHEATHING UNLESS NOTED OTHER WISE.
- HVAC AND MECHANICAL IS TO BE SUPPLIED AND INSTALLED BY OTHERS.
FRAMING: - ALL LOAD BEARING LINTELS ARE TO BE (2)-2X10 #2 SPRUCE UNLESS NOTED BY STRUCTURAL ENGINEER. - ALL WINDOW AND DOOR SIZES ROUGH OPENING REQUIREMENTS ARE TO BE CONFIRMED BY WINDOW AND DOOR MANUFACTURER. - FRAMER IS TO APPLY NAILS AND FASTENERS AS PER ROOF TRUSS SUPPLIER'S REQUIREMENTS. - JOINTS IN PANEL TYPE SHEATHING MUST BE NOT LESS THAN 2MM BETWEEN SHEETS AS PER 9.23.16. 4 SENTENCE (2) IN THE N.B.C. ALBERTA EDITION 2023.
FLASHING: - FLASHING AT ROOF PENETRATIONS SHALL CONFORM TO THE MINIMAL REQUIREMENTS WITHIN 9.26.4.9 SENTENCE (3) OF N.B.C. ALBERTA EDITION 2023 - FLASHING AT CHIMNEY OR ROOF SADDLE IS TO CONFORM TO THE MINIMAL REQUIREMENTS WITHIN 9.26.4.3. OF N.B.C. ALBERTA EDITION 2023 - METAL USED FOR FLASHING IS TO MEET THE REQUIREMENTS OF 9.3.3.2. OF THE N.B.C. ALBERTA EDITION 2023.
FOUNDATION: - GARAGE FOUNDATION WILL IS REQUIRED TO BE SUPPORTED BY CONCRETE POURED STRIP FOOTING. - WIDTH OF STRIP-FOOTING TO MEET THE MINIMUM REQUIREMENTS WITHIN TABLE 9.15.3.4. OF THE N.B.C. ALBERTA EDITION 2023. - THICKNESS OF STRIP-FOOTING TO MEET THE MINIMUM REQUIREMENTS OF 9.15.3.8. OF THE N.B.C. ALBERTA EDITION 2023. - IN THE EVENT OF STEP FOOTING, STEP-FOOTING IS TO MEET THE MINIMUM REQUIREMENTS OF 9.15.3.9. OF THE N.B.C. ALBERTA EDITION 2023. - FOUNDATION WALL THICKNESS TO MEET THE MINIMUM REQUIREMENTS OF TABLE 9.15.4.2. -A. OF THE N.B.C. ALBERTA EDITION 2023.
CAULKING & SEALANT: - SEALANTS SHALL BE APPLIED WHERE REQUIRED TO PREVENT WATER ENTERING INTO STRUCTURE. CONTRACTOR IS TO ENSURE SEALANT IS APPLIED ACCORDING TO 9.27.4.1 SENTENCES (1) THROUGH (3) OF N.B.C. ALBERTA EDITION 2023. - CAULKING SHALL BE PROVIDED TO COINCIDE WITH USE OF FLASHING FOR STUCCO APPLICATION. AS PER 9.27.3. AND 9.27.4 OF THE N.B.C. ALBERTA EDITION 2019. CAULKING AND FLASHING WILL BE USED TO PREVENT WATER SEEPAGE BETWEEN CHANGES IN EXTERIOR FINISH MATERIALS. - MECHANICAL PENETRATIONS THROUGH EXTERIOR FINISH MATERIALS MUST BE CAULKED AS PER 9.27.4. OF THE N.B.C. ALBERTA EDITION 2023. - STUCCO IS TO BE APPLIED LOW IN TEMPERATURE CONDITIONS AS PER CODE 9.28.6.1 SENTENCES (1) AND (2) OF N.B.C. ALBERTA EDITION 2023.
STUCCO: - STUCCO APPLICATION IS METHOD IS TO BE 9.28.6. OF THE N.B.C. ALBERTA EDITION 2023 OR AN ALTERNATIVE METHOD SHOWN 9.28.6.6. SENTENCES (1) THROUGH (6). - SELF FURRING DEVICES SHALL CONFORM AS PER 9.28.4.4 OF THE N.B.C. ALBERTA EDITION 2023. - APPLICATION OF STUCCO LATH WILL ADHERE TO 9.28.4.5. SENTENCE (4) OF THE N.B.C. ALBERTA EDITION 2023.

email: info@anomalydraftinganddesign.com
phone: 403 971 9275

PROJECT TYPE: SEMI-DETACHED DWELLING		PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB		PROJECT NO: NH018		SCALE: 1/4"= 1'-0"		DRAFTER: EKS		SHEET NO.: A0
AREA OF FLOOR:	TOTAL DEV. SQFT: 2438 SQFT	ISSUED TO: MUNICIPALITY		DWG DATE M/D/Y: 04/03/26		ISSUE DATE M/D/Y: 04/04/26		REVISION ISSUE #: X		

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.



A NORTH "FRONT YARD
STREETSCAPE" VIEW
SOUTH SIDE OF VIRGINIA DRIVE NW
LOOKING SOUTHWEST



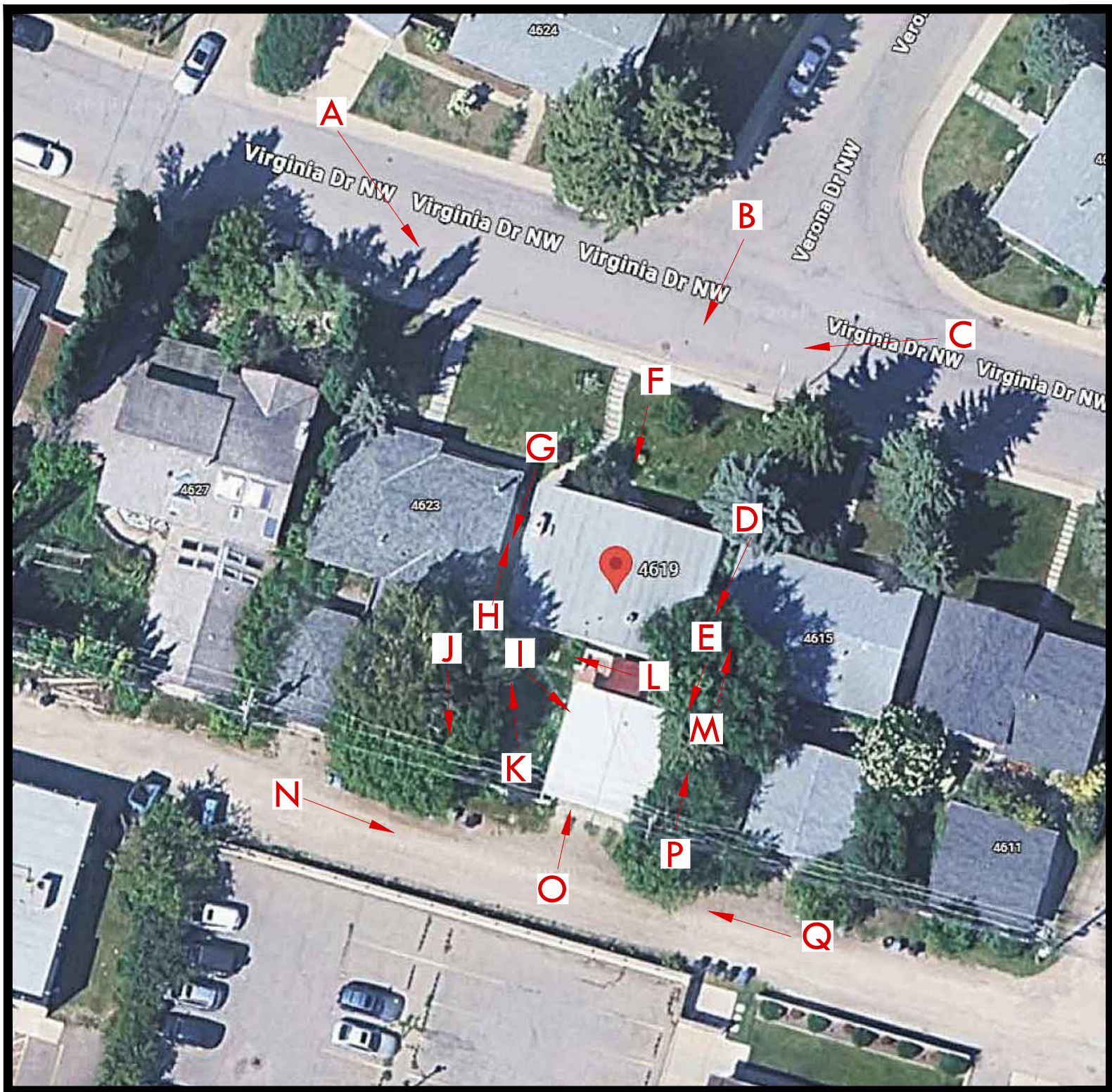
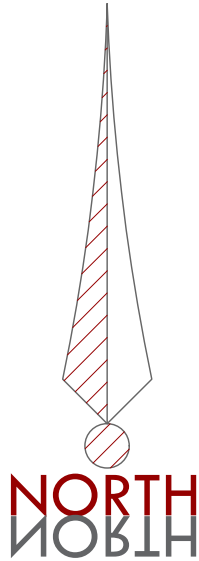
B EAST OF NORTH "FRONT
YARD STREETSCAPE" VIEW
EAST OF VIRGINIA DRIVE NW LOOKING
WEST



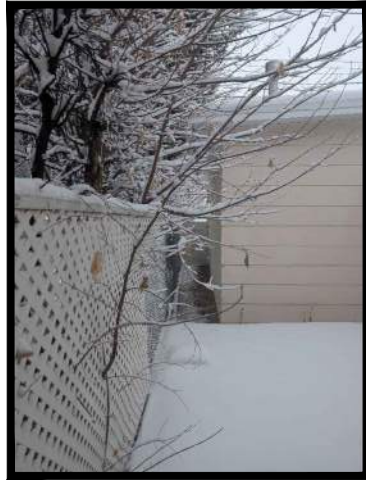
C NORTHEAST "FRONT YARD
STREETSCAPE" VIEW
NORTHEAST OF VIRGINIA DRIVE NW
LOOKING WEST



D EAST "LEFT" SIDE YARD VIEW
EAST OF PROPERTY LOOKING SOUTH



VICINITY MAP NTS



E EAST "LEFT" REAR YARD VIEW
EAST OF REAR PROPERTY LOOKING SOUTH



F EAST OF NORTH "FRONT"
ELEVATION VIEW
WEST OF NORTH OF VIRGINIA DRIVE NW
LOOKING WEST



G WEST "RIGHT" SIDE YARD VIEW
WEST OF PROPERTY WEST OF SOUTH



H WEST "RIGHT" SIDE YARD VIEW
WEST OF PROPERTY LOOKING NORTH OF
EAST



I WEST REAR YARD VIEW
WEST OF PROPERTY LOOKING EAST OF
SOUTH



J WEST "RIGHT" REAR YARD
VIEW
WEST OF PROPERTY LOOKING SOUTH



K SOUTH REAR YARD VIEW
SOUTH OF REAR YARD LOOKING NORTH



L EAST REAR YARD VIEW
EAST OF PROPERTY LOOKING WEST



M EAST "LEFT" SIDE YARD VIEW
EAST OF PROPERTY LOOKING EAST OF
NORTH



N SOUTHWEST REAR LANE
STREETSCAPE VIEW
SOUTHWEST OF REAR LANE LOOKING EAST



O SOUTH REAR ELEVATION VIEW
SOUTH OF REAR LANE LOOKING NORTH



P NORTH REAR YARD VIEW
NORTH OF REAR LANE LOOKING EAST OF
NORTH



Q SOUTHEAST REAR LANE
STREETSCAPE VIEW
SOUTHEAST OF REAR LANE LOOKING WEST

email: info@anomalydraftinganddesign.com
phone: 403 971 9275



PROJECT STATUS:
**PREPARED FOR
DEVELOPMENT PERMIT**

SITE PHOTOS

PROJECT TYPE: SEMI-DETACHED DWELLING	PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB	PROJECT NO: NH018	SCALE: 1/4" = 1'-0"	DRAFTER: EKS	SHEET NO.:
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2438 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 04/03/26	ISSUE DATE M/D/Y: 04/04/26	REVISION ISSUE #: X

A1.1

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.

CITY OF CALGARY
ALBERTA

PLAN SHOWING
SITE SURVEY
AFFECTING

LOT 14, BLOCK 15, PLAN 3094JK
WITHIN
N.W. 1/4 SEC.36-24-2-W5M

NOTES:

Distances shown are in metres and decimals thereof.
Location of underground utilities are copied from City of Calgary Block Profile sheets.
All elevations are geodetic elevations and are derived from ASCM 68015, Elevation = 1106.470

PROPERTY DESCRIPTION:

CLIENT:

MUNICIPAL ADDRESS:

4619 - VIRGINIA DRIVE N.W.
CALGARY, ALBERTA

DATE OF SURVEY:

JUNE 26, 2024

SCALE 1:200

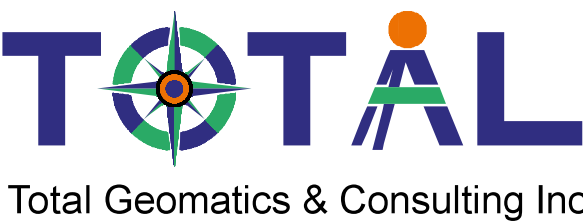


LEGEND

Spot elevations are shown thus	1106.00
Subject Property is shown thus	
Eave Fascia are shown thus	
Fences are shown thus	
Building foundation shown thus	
Overhead Utilities shown thus	
Gas line shown thus	
Sanitary Lines shown thus	
Storm lines shown thus	
Water lines shown thus	
AGT Lines shown thus	
E.L. Lines shown thus	
Coniferous trees are shown thus	
Deciduous trees are shown thus	
Shrubs are shown thus	
Tree Canopy shown thus	
Manhole shown thus	
Power Poles shown thus	
Light Standards shown thus	

TREE SCHEDULE

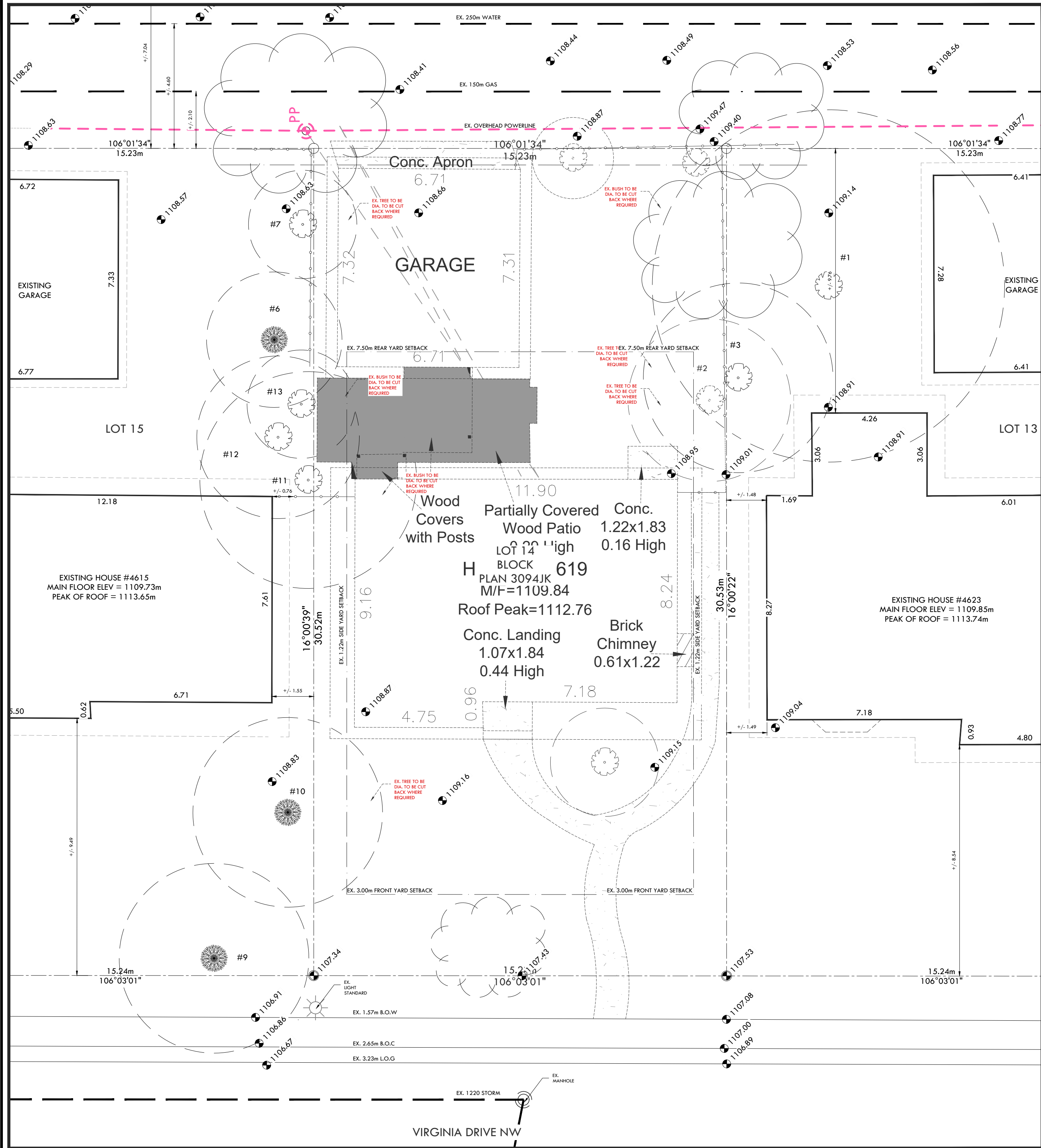
Tree #	Variety	Canopy (m)	Trunk (m)	Height (m)
1	DEC	13	0.5	14
2	DEC	6	0.2	12
3	DEC	7	0.3	12
4	DEC	0	0.3	2
5	DEC	3	0.3	4
6	CON	5	0.5	14
7	DEC	4	0.2	6
8	DEC	4	0.2	4
9	CON	7	0.5	14
10	CON	7	0.6	13
11	DEC	8	0.5	14
12	DEC	6	0.3	13
13	DEC	4	0.3	14



NITIN BANSAL A.L.S.	TOTAL GEOMATICS & CONSULTING INC	DATE: JULY 1, 2024
DWN BY: CD	93 ROYAL CREST VIEW N.W., CALGARY	JOB NO: TG24-0233
CK'D BY: NB	T3G SW5, ALBERTA, PH: (403) 478 3635	ACAD FILE NO: TG24-0233DP

DISCLAIMER:

This plan represents best information at the time of Survey.
Total geomatics and Consulting Inc. and its employees take
no responsibility for the location of any Underground Conduits,
Pipes or any other facilities whether shown on or Omitted from this plan.
All underground installation should be located by the
respective authorities prior to Construction
CALL ALBERTA ONE CALL: 1-800-242-3447



EX. GENERAL SITE PLAN INFORMATION

LEGAL DESCRIPTION

LOT: 14
BLOCK: 15
PLAN: 3094JK
MUNICIPAL ADDRESS: 4619 VIRGINIA DRIVE NW, CALGARY, ALBERTA

EXISTING LOT INFORMATION

AREA OF EXISTING LOT: 465.05m² - PARCEL ARE TO BE ZONED R-CG.
LOT IS OUTSIDE OF FLOODWAY FLOOD FRINGE ZONE.

GROSS FLOOR AREA OF EXISTING BUILDING: 108.99 m²
AREA OF EXISTING STORAGE: 49.09 m² (DEMOLISHED)

EXISTING LOT COVERAGE: 33.99%

EXISTING SUBFLOOR MAIN FLOOR ELEV.: 1109.84m
EXISTING BUILDING HEIGHT: 2.86m
EXISTING ROOF PEAK: 1112.76m

EXISTING WOODEN DECK OR PATIO AREA: N/A
EXISTING BALCONY AREA: N/A
EXISTING AREA OF DRIVEWAY: 6.80m²
EXISTING AREA OF SIDEWALK: 26.38m²

PLEASE NOTE: THE NOTES REFLECTED ABOVE REFER TO THE REAR OF THE PROPERTY. ANY CHANGES TO THE MAIN DWELLING WILL BE REFERENCED WITHIN THE PROPOSED DATA, IF YOU HAVE ANY QUESTIONS PLEASE CONTACT ANOMALY DRAFTING AND DESIGN.

EXISTING SITE GENERAL NOTES

- EXISTING CONCRETE RETAINING WALLS TO BE REMOVED AFTER COMPLETION OF BUILDING FRAMING.
- EXISTING TREES TO BE REMOVED AS NOTED AND TREES TO BE CUT BACK WHERE REQUIRED.
- GC IS TO DISCONNECT SERVICES TO EXISTING BUILDING PRIOR TO DEMOLITION.
- GC IS TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING GAS LINE.
- GC IS TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING STORM LINE.
- GC IS TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING SEWER LINE.
- GC IS TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING BURIED ELECTRICAL CABLE LINE.
- REMOVAL OF EXISTING BUILDING WILL REQUIRE ASBESTOS TREATMENT FOR STORAGE, TRANSPORT, AND DISPOSAL.
- EXISTING GARAGE DURING DEMOLITION IS TO BE REINFORCED WITH THE NECESSARY PRECAUTIONS TO ELIMINATE TRESPASSERS AND VAGRANTS.
- BACKFILL REQUIREMENTS ARE TO BE DETERMINED BY AWARDED STRUCTURAL ENGINEER.
- GC IS TO NOTE THAT ALL SITE VEHICLES ARE TO ACCESS THE SITE FROM THE REAR LANE ONLY.**
- GC IS TO NOTE AREAS FOR STORING BUILDING MATERIALS.
- SITE IS TO BE PROTECTED WITH A 2.44m HIGH SECURITY FENCE, COMPLETE WITH BARBED WIRE TO DETER TRESPASSING AND THEFT.
- FOR TREE PROTECTION, GC IS TO REVIEW SITE DETAILS FOR CLARIFICATION.
- UTILITY TRENCH WIDTH TO BE DETERMINED ON SITE.

EXISTING SITE PLAN LEGEND

--- WIN --- EXISTING PROPERTY LINE
--- DR --- EXISTING SETBACK LINE
--- EXISTING FENCE
--- EXISTING ROOF OVERHANG
--- LINE OF ITEMS TO BE REMOVED
--- EX. OVERHEAD POWER-LINES
--- EXISTING GAS LINE
--- EXISTING WATER LINE
--- EXISTING SANITARY LINE
--- EXISTING ELECTRICAL CABLE
--- POWER LINE AERIAL TRESPASS
--- TEMP. CONSTRUCTION FENCE
--- TEMP. PROTECTION FENCE

--- WIN --- EXISTING FOUNDATION WINDOW
--- DR --- EXISTING FOUNDATION MAIN DOOR

1164.44 EXISTING GEODEC ELEVATION

● END OF SEGMENT
● FOUND I PIN
● EXISTING WATER VALVE

+/- 2.76 EXISTING DIMENSIONS

EXISTING WOOD DECK

EXISTING AREA OF STRUCTURE ABOVE

AREA OF EXISTING BUILDING

AREA OF EXISTING UR/W

EX. BYLAW SITE PLAN INFORMATION

LEGAL DESCRIPTION

LOT: 14
BLOCK: 10
PLAN: 3323HR
MUNICIPAL ADDRESS: 6 FENTON ROAD SE, CALGARY, ALBERTA

EXISTING LOT INFORMATION

AREA OF EXISTING LOT: 511.09m² - PARCEL ARE TO BE ZONED R-CG.
LOT IS OUTSIDE OF FLOODWAY FLOOD FRINGE ZONE.

GROSS FLOOR AREA OF EXISTING BUILDING: 100.76m²
AREA OF EXISTING GARAGE (TO BE REMOVED): 28.65m²

PLEASE NOTE GARAGE IS BELOW GRADE UNDERNEATH EXISTING DECK

THE CITY OF CALGARY LANDUSE BYLAW:

525 SENTENCE (1) - THE RESIDENTIAL - GRADE ORIENTED INFILL (R-CG) DISTRICT:

(A) ACCOMMODATES EXISTING RESIDENTIAL DEVELOPMENT;
(B) ACCOMMODATES A WIDE RANGE OF GRADE-ORIENTATED DEVELOPMENT;
(C) ACCOMMODATES SECONDARY SUITES AND BACKYARD SUITES WITH NEW AND EXISTING RESIDENTIAL DEVELOPMENT.

525 SENTENCE (2) - THE RESIDENTIAL - GRADE-ORIENTED INFILL (R-CGEX) DISTRICT HAS THE SAME PURPOSE AS THE RESIDENTIAL - GRADE-ORIENTATED INFILL (R-CG) DISTRICT EXCEPT THAT IT DOES NOT ACCOMMODATE SECONDARY SUITES OR BACKYARD SUITES.

529 SENTENCE (1) - THE MAXIMUM DENSITY FOR PARCELS DESIGNATED R-CG DISTRICT IS 75 UNITS PER HECTARE.

534 SENTENCE (4) - FOR ALL OTHER USES, THE MAXIMUM PARCEL COVERAGE IS 45.0 PER CENT.

535 SENTENCE (2) - ON A LANED PARCEL, THERE IS NO MAXIMUM BUILDING HEIGHT FOR A MAIN RESIDENTIAL BUILDING WHOLLY CONTAINED TO THE REAR OF 40.0 PER CENT PARCEL DEPTH WHERE:

(A) THERE IS MORE THAN ONE MAIN RESIDENTIAL BUILDING ON THE PARCEL;
(B) 50.0 PER CENT OR MORE OF THE UNITS ON THE PARCEL ARE CONTAINED IN MAIN RESIDENTIAL BUILDINGS LOCATED WITHIN THE FIRST 60.0 PER CENT OF THE PARCEL DEPTH; AND
(C) WHERE THE MINIMUM SEPARATION DISTANCE OF THE MAIN RESIDENTIAL BUILDINGS ON THE FRONT PORTION OF THE PARCEL AND THE MAIN RESIDENTIAL BUILDINGS CONTAINED ON THE REAR PORTION OF THE PARCEL IS 6.5 METRES.

537 SENTENCE (1) - THE MINIMUM BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.

539 SENTENCE (1) - SUBJECT TO SUBSECTIONS (3) THROUGH (9), THE MINIMUM BUILDING SETBACK FROM ANY SIDE PROPERTY LINE IS 1.2 METRES.

540 SENTENCE -

(1) UNLESS OTHERWISE REFERENCED IN SUBSECTION (2) THE MINIMUM BUILDING SETBACK FROM A REAR PROPERTY LINE IS 7.5 METRES.
(2) ON A LANED OR CORNER PARCEL, THE MINIMUM BUILDING SETBACK FROM A REAR PROPERTY LINE IS 1.2 METRES.

541 SENTENCE (1) - UNLESS OTHERWISE REFERENCED IN SUBSECTIONS (2), (3) AND (4), THE MAXIMUM BUILDING HEIGHT IS 11.0 METRES MEASURED FROM GRADE.

543 SENTENCE (1) - FOR DEVELOPMENTS OF THREE UNITS OR MORE, EACH UNIT AND SUITE MUST HAVE AMENITY SPACE THAT IS LOCATED OUTDOORS AND IS LABELED ON THE REQUIRED LANDSCAPE PLAN.
(2) AMENITY SPACE MAY BE PROVIDED AS COMMON AMENITY SPACE, PRIVATE AMENITY SPACE OR A COMBINATION OF BOTH.

544 SENTENCE (1) - WHERE A BALCONY IS LOCATED ON THE ROOF OF THE FIRST OR SECOND STOREY OF A MAIN RESIDENTIAL BUILDING AND DOES NOT OVERHANG ANY FACADE OF THE STOREY BELOW, THE BALCONY MAY HAVE A MAXIMUM FLOOR AREA THAT EQUALS 50.0 PER CENT OF THE HORIZONTAL CROSS SECTION OF THE STOREY BELOW.

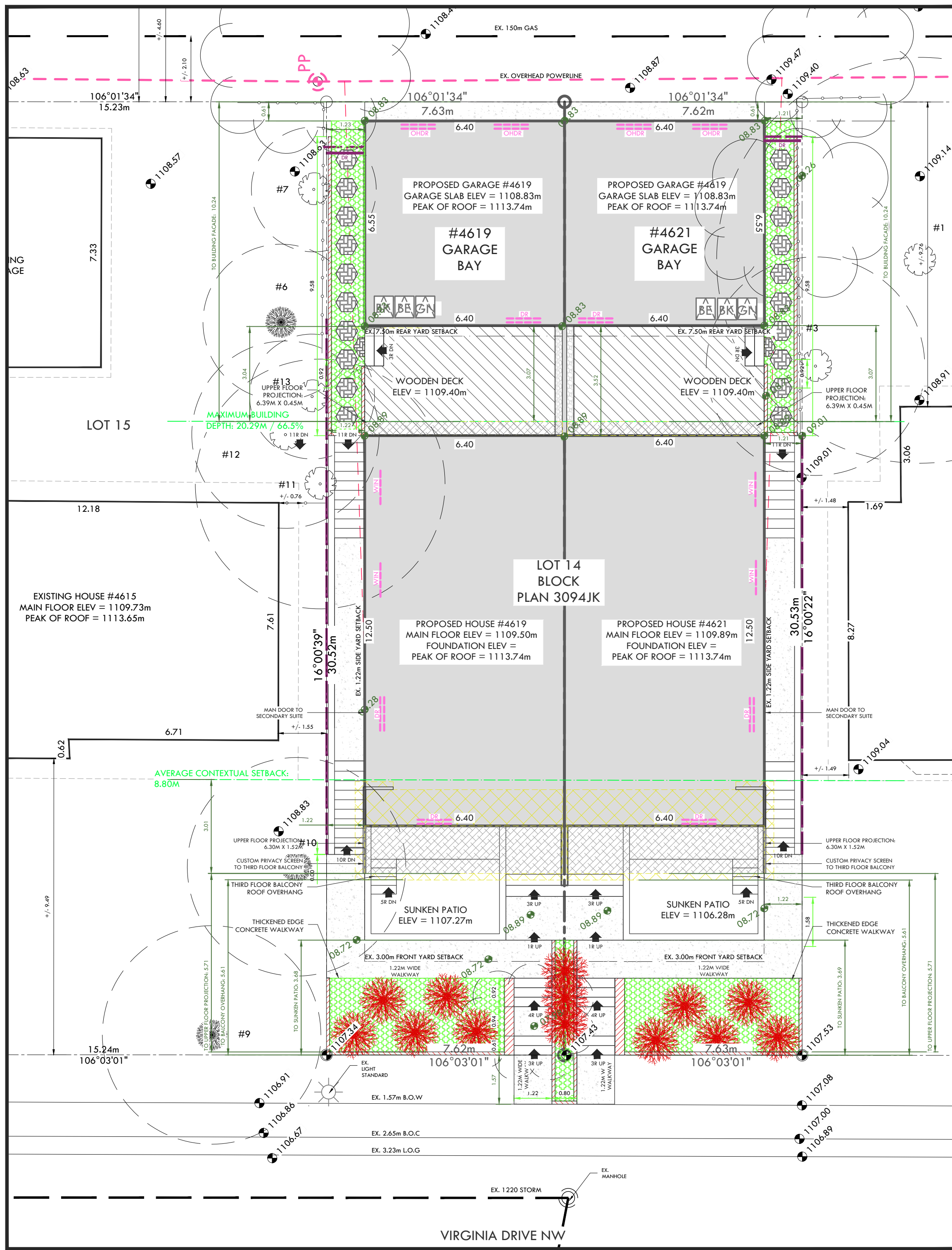
(2) A BALCONY ATTACHED TO A CONTEXTUAL SINGLE DETACHED DWELLING, CONTEXTUAL SEMI-DETACHED DWELLING, OR ROWHOUSING BUILDING THAT IS A PERMITTED USE:
(C) MUST NOT HAVE A BALCONY ON THE REAR FACADE WITH A HEIGHT GREATER THAN 6.0 METRES, WHEN MEASURED VERTICALLY AT ANY POINT FROM GRADE TO THE PLATFORM OF THE BALCONY.

EXISTING TREE SCHEDULE							
TREE NO.	TYPE	TRUNK DIA.	CANOPY DIA.	HEIGHT	NAME	STATUS	CLASSIFICATION
1	Deciduous	0.5	13	14		NEIGHBOR	REMAIN
2	Deciduous	0.2	6	12		PRIVATE	REMOVE
3	Deciduous	0.3	7	12		NEIGHBOR	REMAIN
4	Deciduous	0.3	0	2	Bushes	NEIGHBOR	REMAIN
5	Deciduous	0.3	3	4		NEIGHBOR	REMAIN
6	Coniferous	0.5	5	14		NEIGHBOR	REMAIN
7	Deciduous	0.2	4	6		NEIGHBOR	REMAIN
8	Deciduous	0.2	4	4		NEIGHBOR	REMOVE
9	Coniferous	0.5	7	14		NEIGHBOR	REMAIN
10	Coniferous	0.6	7	13		NEIGHBOR	REMAIN
11	Deciduous	0.5	8	14		NEIGHBOR	REMAIN
12	Deciduous	0.3	6	13		NEIGHBOR	REMAIN
13	Deciduous	0.3	4	14		NEIGHBOR	REMAIN

EXISTING SITE PLAN
SCALE: 1 = 100m

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.

PROJECT TYPE: SEMI-DETACHED DWELLING		PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB		PROJECT STATUS: PREPARED FOR DEVELOPMENT PERMIT		SHEET TITLE: PROPOSED SITE LAYOUT	
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2438 SQFT	ISSUED TO: MUNICIPALITY	PROJECT NO.: NH018	SCALE: 1/4" = 1'-0"	DRAWN BY: EKS	REVISION ISSUE #:	SHEET NO.: A2
DWG DATE M/D/Y: 04/03/26		ISSUE DATE M/D/Y: 04/04/26		X			



NH018 - SITE SPECIFIC NOTES

- ENMAX IS TO BRING A NEW PANEL TO SUITE. GC IS TO SPEAK TO ENMAX PRIOR TO INSTALL.
- CONCRETE PADS SHOWN ARE APPROXIMATE AND WILL BE DETERMINED ON SITE.
- REINFORCE THE HOMEOWNER IS TO NOTE THAT ALL EXISTING FENCING REMOVED WILL NOT BE REPLACED, REPLENISHED, OR REFURBISHED BY THE GENERAL CONTRACTOR. IT IS THE HOMEOWNER'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE NEW FENCING. THE GENERAL CONTRACTOR CAN LEND THEIR ASSISTANCE WHEN MAKING THESE ARRANGEMENTS.
- LANDSCAPING: THE HOMEOWNER IS TO NOTE THAT ALL EXISTING LANDSCAPING REMOVED WILL NOT BE REPLACED, REPLENISHED, OR REFURBISHED BY THE GENERAL CONTRACTOR. IT IS THE HOMEOWNER'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE NEW LANDSCAPING. THE GENERAL CONTRACTOR CAN LEND THEIR ASSISTANCE WHEN MAKING THESE ARRANGEMENTS.
- CONCRETE WALKWAYS AND PATIOS: THE HOMEOWNER IS TO NOTE THAT ALL EXISTING CONCRETE WALKWAYS OR PATIOS REMOVED WILL NOT BE REPLACED, REPLENISHED, OR REFURBISHED BY THE GENERAL CONTRACTOR. IT IS THE HOMEOWNER'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE NEW CONCRETE WALKWAYS OR PATIO. THE GENERAL CONTRACTOR CAN LEND THEIR ASSISTANCE WHEN MAKING THESE ARRANGEMENTS.

PROPOSED DEVELOPMENT INFORMATION

LEGAL DESCRIPTION
LOT: 14
BLOCK: 15
PLAN: 3323HR
MUNICIPAL ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, ALBERTA

PROPOSED SITE INFORMATION
AREA OF EXISTING LOT: 465.05 m²
BUILDING FRONT SETBACK: 8.80m
BUILDING EAST SIDE YARD SETBACK: 1.22m
BUILDING WEST SIDE YARD SETBACK: 1.21m
BUILDING REAR SETBACK: 10.24m
GARAGE REAR SETBACK FROM LAKE: 0.61m
GARAGE EAST SIDE YARD SETBACK: 1.22m
GARAGE WEST SIDE YARD SETBACK: 1.21m
GARAGE BUILDING SEPARATION: 3.04m
AVERAGE CONTEXTUAL SETBACK: 8.80m
BUILDING DEPTH: 20.29m
DEPTH OF PARCEL: 30.52m
MAXIMUM BUILDING DEPTH: 66.50m
PROPOSED AREA OF NEW BUILDING: 179.22m² = [(AREA OF CANTILEVER PROJECTION: 9.60m² + 9.60m²) + (AREA OF BUILDING: 160.02m²)]
AREA OF PROPOSED GARAGE: 83.89m²
PROPOSED LOT COVERAGE: 0.57%
PROPOSED BUILDING HEIGHT: 10.14m
TOP OF MAIN SUBFLOOR: 1109.50m
BOTTOM OF JOIST ELEV.: 1109.13m
TOP OF UPPER FLOOR: 1112.94m
TOP OF THIRD FLOOR: 1116.08m
ROOF PEAK: 1119.63m
TOP OF SUNKEN PATIO: 1107.27m
TOP OF WALKWAY: 1106.38m
LOWEST TOP OF FOOTING: 1106.30m

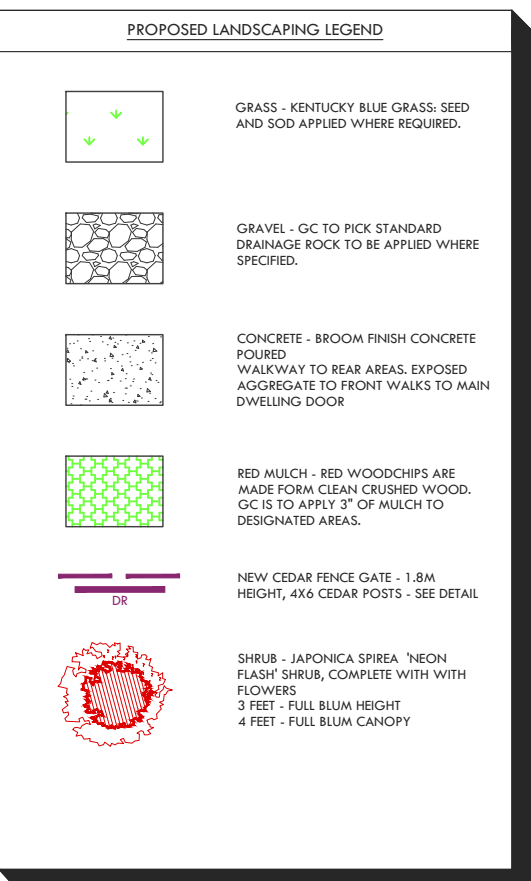
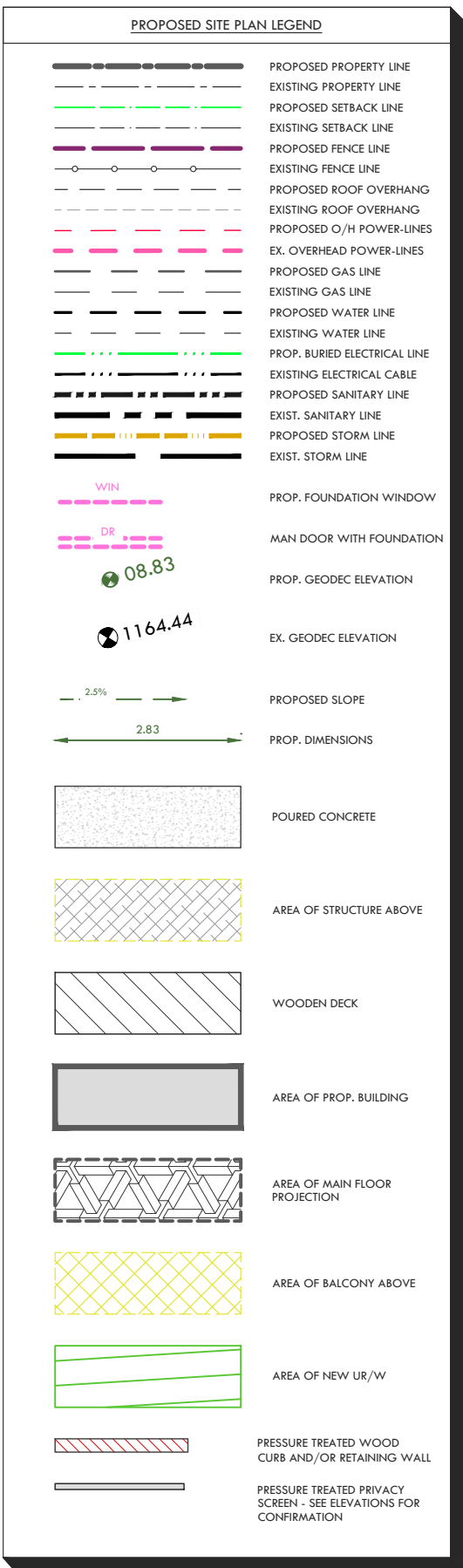
PROPOSED SITE GENERAL NOTES

- DUE TO EXISTING SITE CONDITIONS, NEW GEODETIC ELEVATIONS MAY BE ADJUSTED WHERE APPLICABLE ON SITE. GC IS TO CONFIRM GRADE ADJUSTMENTS WITH ANOMALY DRAFTING AND DESIGN.
- FOR SLOPING GRADE PERCENTAGE TO THE SIDE ELEVATIONS OF THE NEW SUITE, GC IS TO REVIEW ARCHITECTURAL ELEVATIONS FOR CLARIFICATION.
- ELECTRICAL MAINTENANCE IS TO BE DETERMINED ON SITE DUE TO EXISTING SITE CONDITIONS. IN THE EVENT THE ELECTRICAL MAINT TO THE MAIN DWELLING CANNOT BE RE-ATTACHED TO THE MAIN DWELLING, THE GC IS TO TRENCH THE CABLE UNDERGROUND.
- ALL HANDDOORS LEADING TO THE EXTERIOR ARE TO HAVE A THRESHOLD OR DOOR SILL TO BE MINIMUM OF 4" ABOVE GRADE.
- IN THE EVENT, WHEN A SUMP PUMP AND/OR GRINDER IS REQUIRED FOR ADEQUATE DRAINAGE FROM SUITE, THE GC IS TO NOTIFY THE HOMEOWNER AND DESIGNER IMMEDIATELY.
- HEIGHT THE FOUNDATION CURB WITHIN THE GARAGE IS TO BE VERIFIED ON SITE. GC IS TO CONTACT THE DESIGNER IMMEDIATE IF THE FOUNDATION HEIGHT IS REQUIRED TO BE MODIFIED.
- GC IS TO VERIFY THE SOIL FOR ADEQUATE COMPRESSION FOR SLAB INSTALLMENT. IN THE EVENT, THE SLAB IS NOT SATISFACTORY, CONCRETE PILES FOR SUPPORT TO MAIN FLOOR SLAB TO BE INSTALLED WHERE REQUIRED.
- PRIOR TO BACKFILL INSTALLATION, GC IS TO VERIFY THAT INSULATION IS ADDED TO THE FOUNDATION WALLS AS PER THE FOUNDATION PLAN.
- GC IS TO VERIFY EXISTING SITE CONDITIONS FOR CONCRETE PARKING PADS AND / OR WALKWAYS.
- ELECTRICAL METER AND PANEL LOCATIONS TO BE DETERMINED ON SITE. GC IS TO CONFIRM WITH ENMAX IF THERE IS SUFFICIENT SPACE WITHIN SIDE YARD FOR THE METER. HOMEOWNERS, ARE TO BE NOTIFIED IF METER IS TO BE PLACED ON THE FRONT ELEVATION FACING THE STREET OR LAKE.

GENERAL LANDSCAPING BYLAW INFORMATION

THE CITY OF CALGARY LANDSCAPE BYLAW:
S42 SENTENCE (5) - AMENITY SPACE PROVIDED OUTDOORS AT GRADE MUST BE INCLUDED IN THE CALCULATION OF A LANDSCAPED AREA.
SENTENCE (6) - ANY PART OF THE PARCEL USED FOR MOTOR VEHICLE ACCESS, MOTOR VEHICLE PARKING STALLS, LOADING STALLS AND GARBAGE OR RECYCLING FACILITIES MUST NOT BE INCLUDED IN THE CALCULATION OF A LANDSCAPED AREA.
SENTENCE (7) - A MINIMUM OF 30 PER CENT OF THE LANDSCAPED AREA MUST BE IRRIGATED WITH SOFT SURFACED LANDSCAPING.
SENTENCE (8) - ALL SOFT SURFACED LANDSCAPED AREA MUST BE IRRIGATED BY AN UNDERGROUND SYSTEM, UNLESS OTHERWISE PROVIDED BY A LOW WATER IRRIGATION SYSTEM.

PLEASE NOTE: THE NOTES REFLECTED ABOVE REFER TO THE REAR OF THE PROPERTY. ANY CHANGES TO THE MAIN DWELLING WILL BE REFERENCED WITHIN THE PROPOSED DATA, IF YOU HAVE ANY QUESTIONS PLEASE CONTACT ANOMALY DRAFTING AND DESIGN.



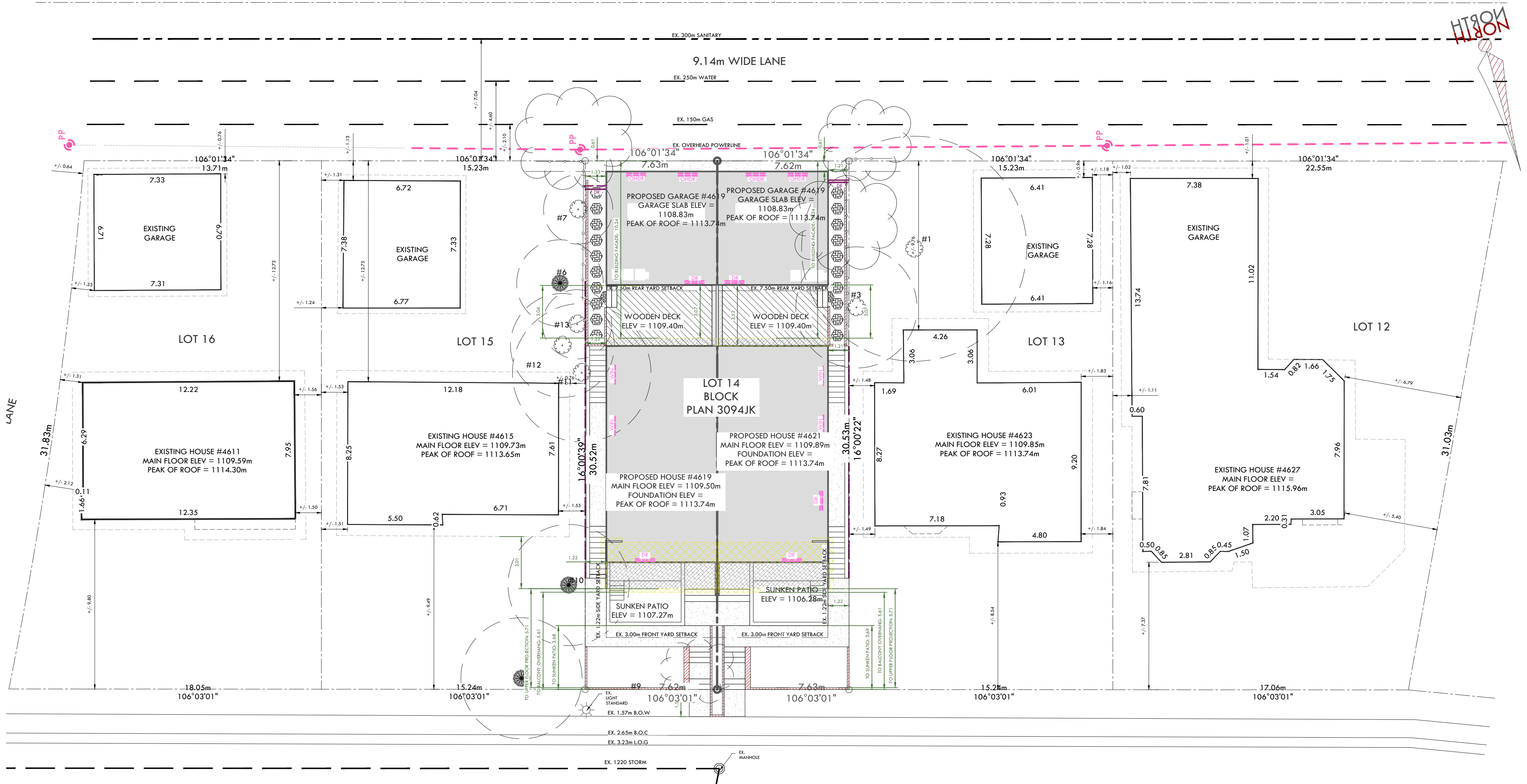
PROPOSED SITE PLAN
SCALE: 1"= 100m

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.

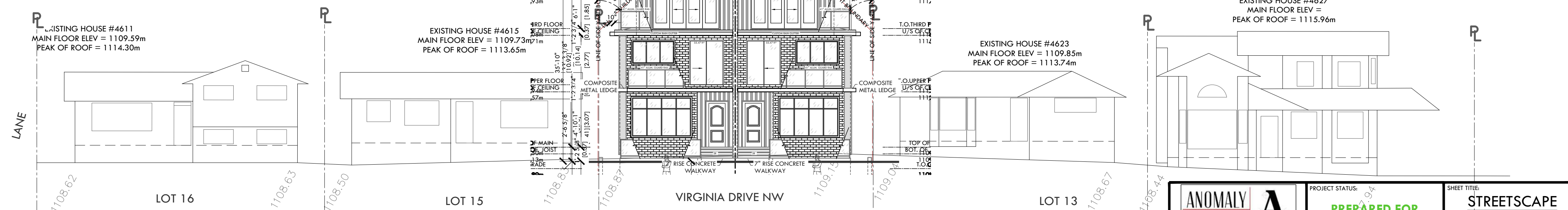
email: info@anomalydraftinganddesign.com
phone: 403 971 9275



PROJECT TYPE: SEMI-DETACHED DWELLING		PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB		PROJECT STATUS: PREPARED FOR DEVELOPMENT PERMIT		SHEET TITLE: PROPOSED SITE LAYOUT	
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2438 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 04/03/26	SCALE: 1/4"= 1'-0"	ISSUE DATE M/D/Y: 04/04/26	DRAFTER: EKS	SHEET NO.: A3
				REVISION ISSUE #: X			



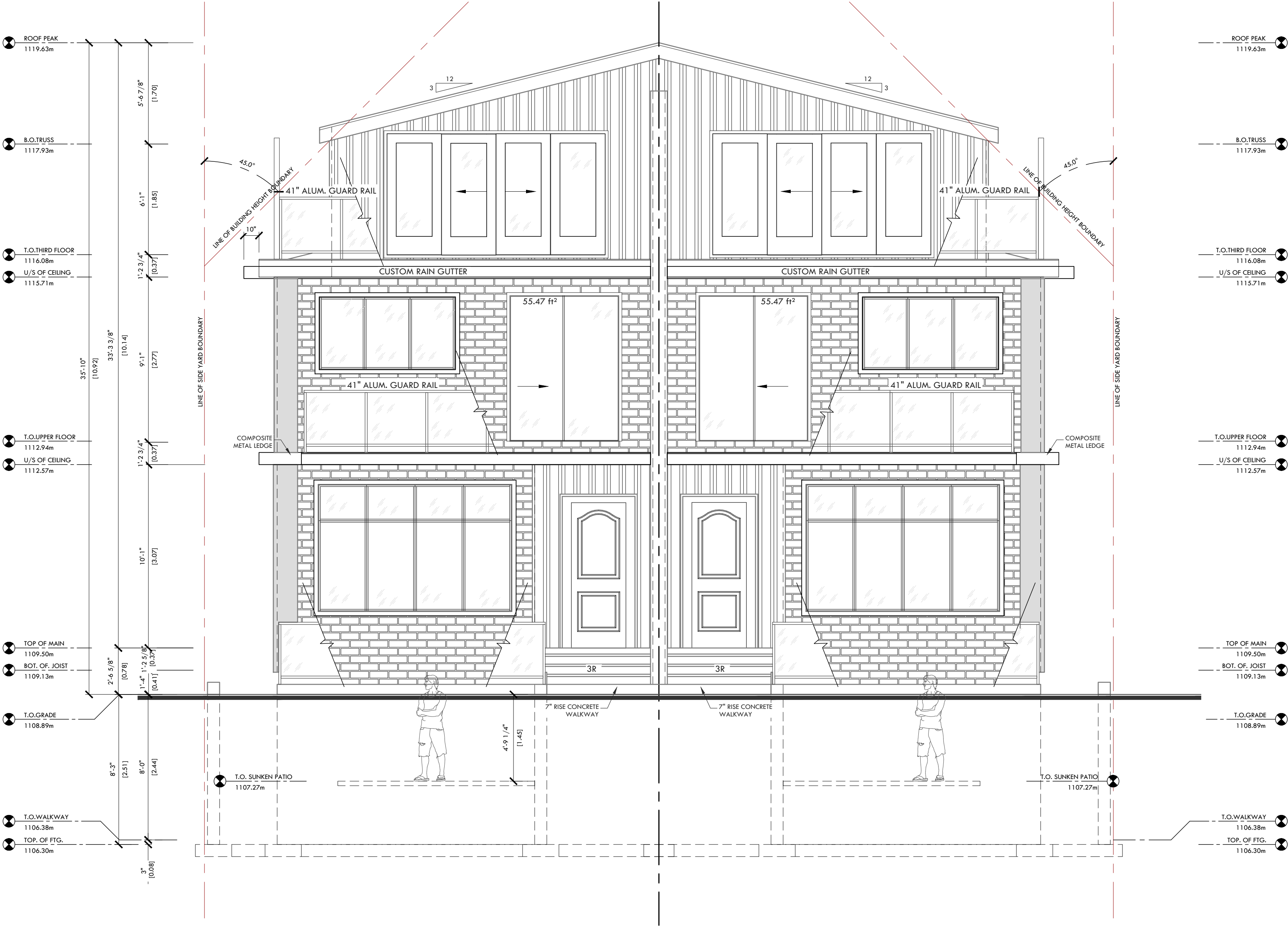
NORTHWEST STREETSCAPE PLAN VIEW
SCALE: 1 = 150m



NORTHWEST STREETSCAPE ELEVATION VIEW
SCALE: 1 = 150m

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.

		PROJECT STATUS: PREPARED FOR DEVELOPMENT PERMIT		SHEET TITLE: STREETSCAPE LAYOUTS	
PROJECT TYPE: SEMI-DETACHED DWELLING		PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB		PROJECT NO: NH018	SCALE: 1/4" = 1'-0"
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2438 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 04/03/26	ISSUE DATE M/D/Y: 04/04/26	DRAFTER: EKS
					REVISION ISSUE #: X
					SHEET NO.: A4



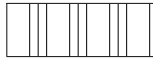
ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO REMAIN CONSTANT FOR MASONRY RETURN THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

EXTERIOR FINISHES LEGEND



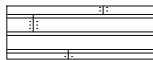
MANUFACTURED VENEER BRICK:



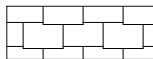
VERTICAL CORRUGATED SIDING: LUX
PANEL METAL SIDING



STUCCO: ACRYLIC STUCCO



SIDING: COMPOSITE WOOD CLADDING. SEE SPEC FOR CLADDING:



ROOF SHINGLES: ASPHALT WOOD SHINGLES. SEE SPEC FOR SHINGLES:



METAL CLADDING PANEL

WINDOW DESCRIPTION

U-VALUE:	R-VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings

email: info@anomalydraftinganddesign.com
phone: 403 971 9275



PROJECT STATUS:

**PREPARED FOR
DEVELOPMENT PERMIT**

SHEET TITLE:

FRONT ELEVATION

PROJECT TYPE:
SEMI-DETACHED DWELLING

PROJECT ADDRESS:
4619 AND 4621 VIRGINIA DRIVE
NW, CALGARY, AB

PROJECT NO:
NH018

SCALE:
1/4" = 1'-0"

DRAFTER:
EKS

SHEET NO.:

A11

AREA OF FLOOR:

N/A

TOTAL DEV. SQFT:

2438 SQFT

ISSUED TO:

MUNICIPALITY

DWG DATE M/D/Y:

04/03/26

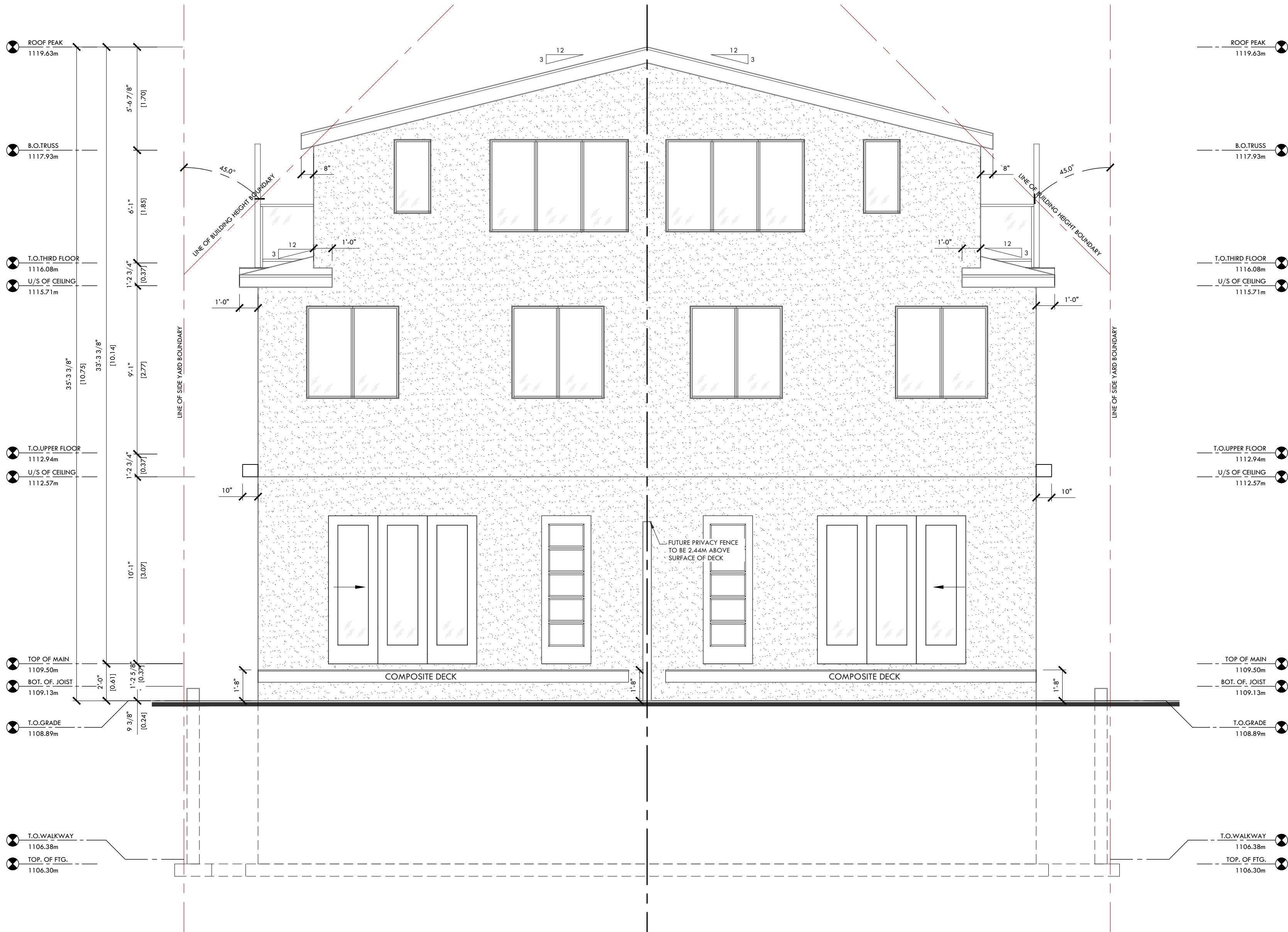
ISSUE DATE M/D/Y:

04/04/26

REVISION ISSUE #:

X

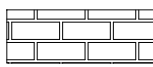
This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.



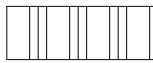
ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN, THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER, THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

EXTERIOR FINISHES LEGEND



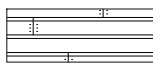
MANUFACTURED VENEER BRICK:



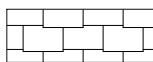
VERTICAL CORRUGATED SIDING: LUX
PANEL METAL SIDING



STUCCO: ACRYLIC STUCCO



SIDING: COMPOSITE WOOD CLADDING. SEE SPEC FOR
CLADDING:



ROOF SHINGLES: ASPHALT WOOD SHINGLES. SEE
SPEC FOR SHINGLES:



METAL CLADDING PANEL

WINDOW DESCRIPTION

U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no
coatings

email: info@anomalydraftinganddesign.com
phone: 403 971 9275

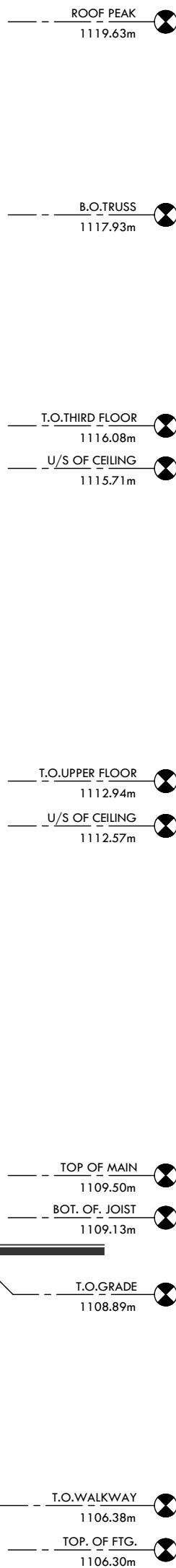
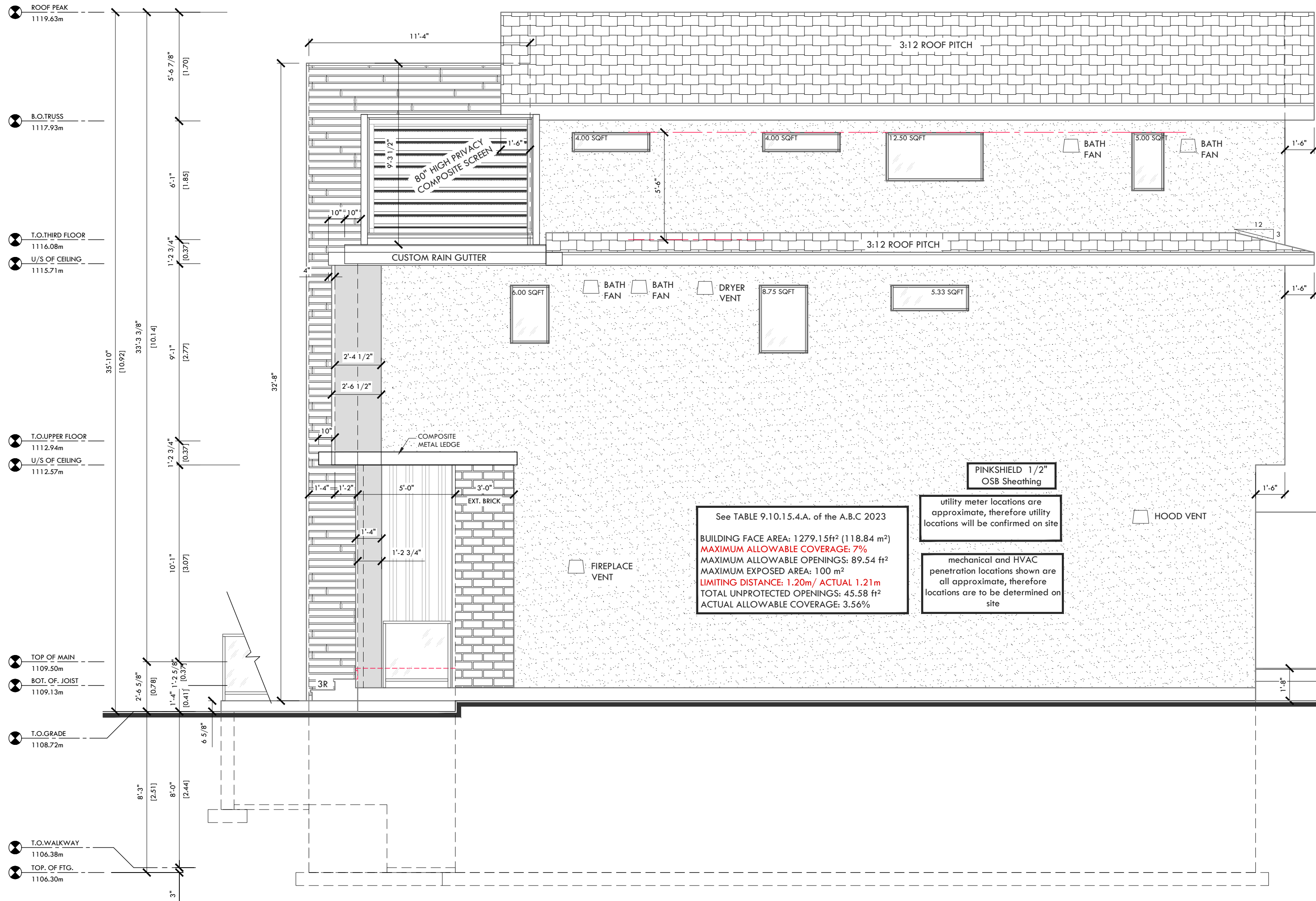


PROJECT STATUS:
**PREPARED FOR
DEVELOPMENT PERMIT**

SHEET TITLE:
ELEVATION - REAR

PROJECT TYPE: SEMI-DETACHED DWELLING	PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB	PROJECT NO: NH018	SCALE: 1/4" = 1'-0"	DRAFTER: EKS	SHEET NO.: A13
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2438 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 04/03/26	ISSUE DATE M/D/Y: 04/04/26	REVISION ISSUE #: X

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.



ELEVATION VIEW OF SECONDARY ACCESS AND ENTRANCE

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.

email: info@anomalydraftinganddesign.com
phone: 403 971 9275



PROJECT STATUS:
PREPARED FOR DEVELOPMENT PERMIT

SHEET TITLE:
ELEVATION - RIGHT

PROJECT TYPE: SEMI-DETACHED DWELLING	PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB	PROJECT NO: NH018	SCALE: 1/4"= 1'-0"	DRAFTER: EKS	SHEET NO.: A14
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2438 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 04/03/26	ISSUE DATE M/D/Y: 04/04/26	REVISION ISSUE #: X

WINDOW DESCRIPTION	
U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings

ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

GARAGE FRAMING NOTES

- BEAMS GREATER THAN THE STANDARD BEAM POCKET ARE TO BE SEMI-FLUSH INTO JOIST SPACE.
- ALL DIMENSIONS REFERRING TO THE EXTERIOR OF BUILDING ARE TO FACE OF SHEATHING UNLESS NOTED OTHER WISE.
- ALL WINDOWS ON MAIN FLOOR ARE TO BE FRAMED AT 96" ABOVE SUB-FLOOR OR NOTED OTHERWISE.
- ALL DOORS ON MAIN FLOOR TO BE FRAMED AT 96" ABOVE SUB-FLOOR OR NOTED OTHERWISE.
- ALL VENTING LOCATIONS SHOWN ARE APPROXIMATE AND TO BE DETERMINED ON SITE AS PER A.B.C. 2023 STANDARDS.
- DROPS IN CEILING LOCATIONS ARE APPROXIMATE AND THEREFORE, WILL BE DETERMINED ON SITE.
- MECHANICAL DUCTING AND VENTING LOCATIONS ARE APPROXIMATE AND THEREFORE, TO BE DETERMINED ON SITE.
- ALL MECHANICAL VENTING IS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. HEIGHT OF RAILING ON RISERS IS TO BE 38" ABOVE TOP OF TREAD.
- SEE STRUCTURAL DRAWINGS TO VERIFY BEAM LOCATIONS, AND SIZES.

EXTERIOR WALL IDENTITIES

WALLS ABOVE GRADE

W1 RSI VALUE 2.99:

- STUCCO (EXTERIOR FINISH - SEE ELEVATIONS WHERE APPLICABLE)
- 19MM OR 3/4" THICK SCRATCH COAT
- METAL WIRE LATH
- 2 LAYERS OF BUILDING PAPER (MOISTURE BARRIER)
- 1/2" PKBOARD OSB PLYWOOD SHEATHING
- R22 BATT INSULATION
- 2X6 WOOD FRAMING @ 24" O/C
- 6 MIL POLYETHYLENE (VAPOR BARRIER)
- 1/2" GYPSUM BOARD

W2 RSI VALUE 3.04:

- CONCRETE BOARD SIDING: JAMES HARDIE PLANK
- 1 LAYER OF BUILDING PAPER (MOISTURE BARRIER)
- 1/2" PKBOARD OSB PLYWOOD SHEATHING
- R22 BATT INSULATION
- 2X6 WOOD FRAMING @ 24" O/C
- 6 MIL POLYETHYLENE (VAPOR BARRIER)
- 1/2" GYPSUM BOARD

EXTERIOR FINISHES LEGEND

STUCCO: ACRYLIC STUCCO

ROOF SHINGLES: ASPHALT WOOD SHINGLES. SEE SPEC FOR SHINGLES:

ROOF LAYOUT GENERAL NOTES

- ALL DIMENSIONS REFERRING TO THE EXTERIOR OF BUILDING ARE TO FACE OF SHEATHING UNLESS NOTED OTHER WISE.
- ROOF VENT LOCATIONS TO BE DETERMINED ON SITE.
- THEREFORE, GC IS NOTIFY DESIGNER FOR ANY DISCREPANCIES.
- **ROOF TRUSSES DIRECTION TO BE VERIFIED BY ENGINEERED LAYOUTS.**
- **FRAMER TO ADD ROOF SADDLES WHERE REQUIRED. GC IS TO REPORT ANY DISCREPANCIES TO THE DESIGNER.**

ROOFING IDENTITIES

CEILINGS BELOW ATTIC:

R1 RSI VALUE 8.68:

- ASPHALT SHINGLES
- ROOFING MEMBRANE
- 1/2" PLYWOOD SHEATHING
- ENGINEERED ROOF TRUSSES @ 24" O/C (SEE ENGINEERED TRUSS LAYOUTS FOR VAULTED TRUSS LOCATIONS)
- RSI 8.73 BLOWN-IN LOOSE FILL INSULATION
- 6 MIL POLYETHYLENE VAPOR BARRIER
- 1/2" GYPSUM BOARD

FLOORING IDENTITIES

F1 (FOUNDATION SLAB):

- 4" CONCRETE SLAB
- 6" MIL POLYETHYLENE (VAPOUR BARRIER)
- RIGID INSULATION
- 5" COMPACTED GRAVEL
- COMPACTED EARTH

GENERAL NOTES

- ALL DISCREPANCIES ARE TO BE NOTED AND BROUGHT TO THE ATTENTION OF THE DESIGNER. UNDER NO CIRCUMSTANCES ARE CHANGES TO BE MADE WITHOUT THE PERMISSION FROM THE DESIGNER.

- ALL DIMENSIONS REFERRING TO THE EXTERIOR OF BUILDING ARE TO FACE OF SHEATHING UNLESS NOTED OTHER WISE.

- HVAC AND MECHANICAL IS TO BE SUPPLIED AND INSTALLED BY OTHERS.

FRAMING:

- ALL LOAD BEARING LINTELS ARE TO BE (2)-2X10 #2 SPRUCE UNLESS NOTED BY STRUCTURAL ENGINEER.
- ALL WINDOW AND DOOR SIZES ROUGH OPENING REQUIREMENTS ARE TO BE CONFIRMED BY WINDOW AND DOOR MANUFACTURER.
- FRAMER IS TO APPLY NAILS AND FASTENERS AS PER ROOF TRUSS SUPPLIER'S REQUIREMENTS.
- JOINTS IN PANEL TYPE SHEATHING MUST BE NOT LESS THAN 2MM BETWEEN SHEETS AS PER 9.23.1.6, 4 SENTENCE (2) IN THE N.B.C. ALBERTA EDITION 2023.

FLASHING:

- FLASHING AT ROOF PENETRATIONS SHALL CONFORM TO THE MINIMAL REQUIREMENTS WITHIN 9.26.4.9 SENTENCE (3) OF N.B.C. ALBERTA EDITION 2023
- FLASHING AT CHIMNEY OR ROOF SADDLE IS TO CONFORM TO THE MINIMAL REQUIREMENTS WITHIN 9.26.4.3. OF N.B.C. ALBERTA EDITION 2023
- METAL USED FOR FLASHING IS TO MEET THE REQUIREMENTS OF 9.3.3.2. OF THE N.B.C. ALBERTA EDITION 2023.

FOUNDATION:

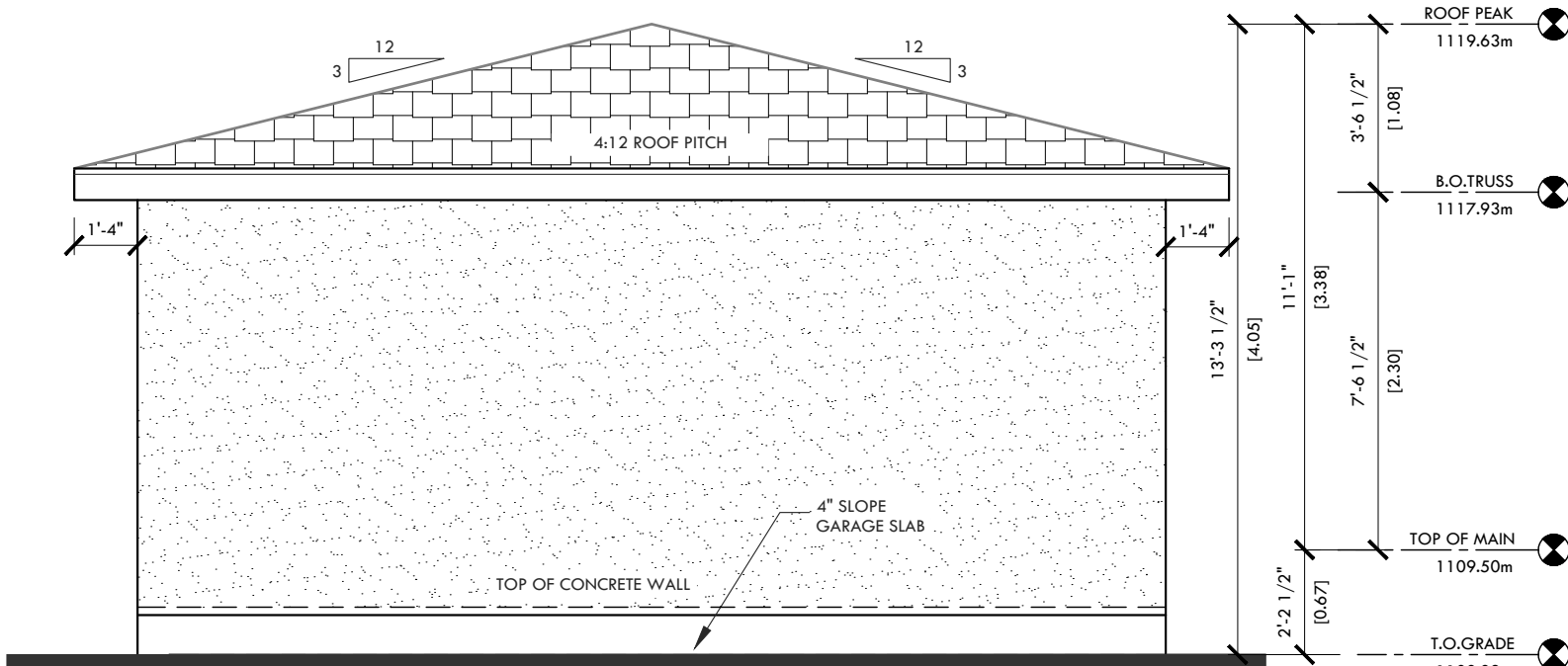
- GARAGE FOUNDATION WILL IS REQUIRED TO BE SUPPORTED BY CONCRETE POURED STRIP FOOTING.
- WIDTH OF STRIP-FOOTING TO MEET THE MINIMUM REQUIREMENTS WITHIN TABLE 9.15.3.4. OF THE N.B.C. ALBERTA EDITION 2023.
- THICKNESS OF STRIP-FOOTING TO MEET THE MINIMUM REQUIREMENTS OF 9.15.3.8. OF THE N.B.C. ALBERTA EDITION 2023.
- IN THE EVENT OF STEP FOOTING, STEP FOOTING IS TO MEET THE MINIMUM REQUIREMENTS OF 9.15.3.9. OF THE N.B.C. ALBERTA EDITION 2023.
- FOUNDATION WALL THICKNESS TO MEET THE MINIMUM REQUIREMENTS OF TABLE 9.15.4.2. -A OF THE N.B.C. ALBERTA EDITION 2023.

CAULKING & SEALANT:

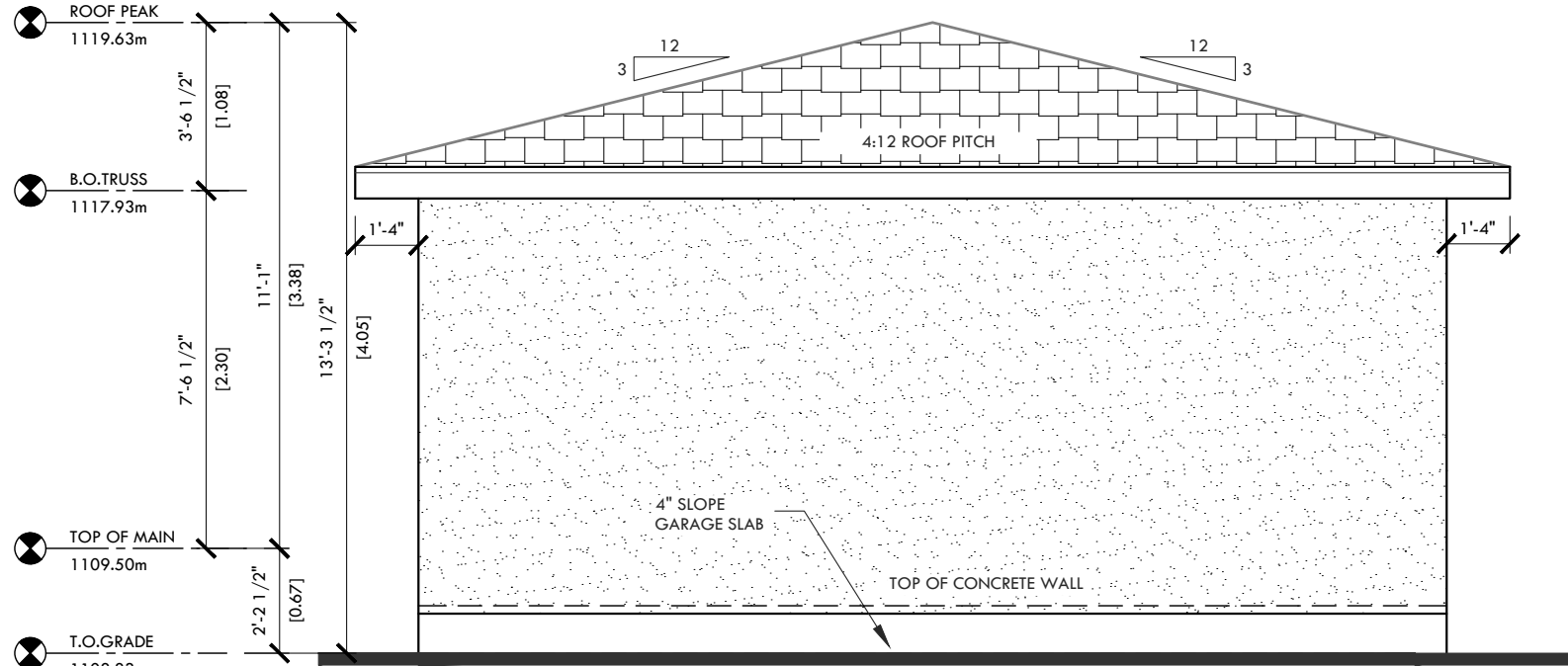
- SEALANTS SHALL BE APPLIED WHERE REQUIRED TO PREVENT WATER ENTERING INTO STRUCTURE. CONTRACTOR IS TO ENSURE SEALANT IS APPLIED ACCORDING TO 9.27.4.1 SENTENCES (1) THROUGH (3) OF N.B.C. ALBERTA EDITION 2023.
- CAULKING SHALL BE PROVIDED TO COINCIDE WITH USE OF FLASHING FOR STUCCO APPLICATION, AS PER 9.27.3. AND 9.27.4 OF THE N.B.C. ALBERTA EDITION 2019. CAULKING AND FLASHING WILL BE USED TO PREVENT WATER SEEPAGE BETWEEN CHANGES IN EXTERIOR FINISH MATERIALS.
- MECHANICAL PENETRATIONS THROUGH EXTERIOR FINISH MATERIALS MUST BE CAULKED AS PER 9.27.4. OF THE N.B.C. ALBERTA EDITION 2023.
- STUCCO IS TO BE APPLIED LOW IN TEMPERATURE CONDITIONS AS PER CODE 9.28.6.1 SENTENCES (1) AND (2) OF N.B.C. ALBERTA EDITION 2023.

STUCCO:

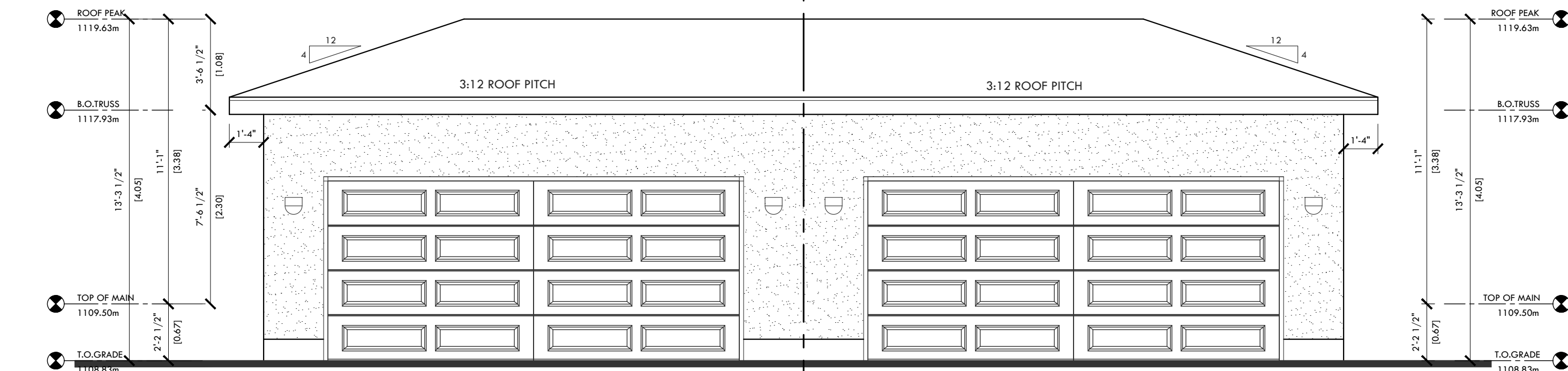
- STUCCO APPLICATION IS METHOD IS TO BE 9.28.6. OF THE N.B.C. ALBERTA EDITION 2023 OR AN ALTERNATIVE METHOD SHOWN 9.28.6.6. SENTENCES (1) THROUGH (6).
- SELF FURRING DEVICES SHALL CONFORM AS PER 9.28.4.4 OF THE N.B.C. ALBERTA EDITION 2023.
- APPLICATION OF STUCCO LATH WILL ADHERE TO 9.28.4.5. SENTENCE (4) OF THE N.B.C. ALBERTA EDITION 2023.



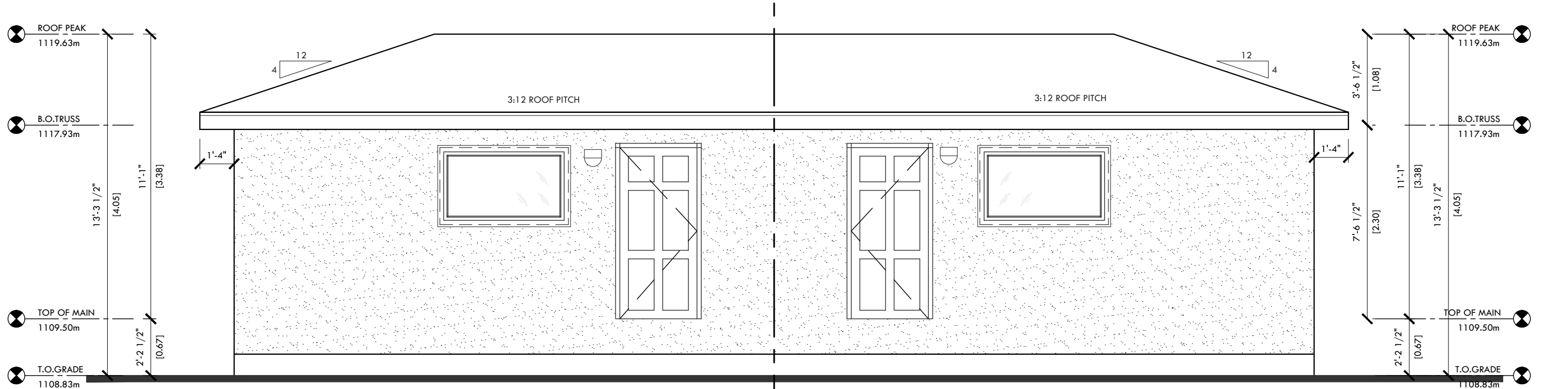
A | SOUTHWEST "LEFT" ELEVATION VIEW



B | SOUTHEAST "RIGHT" ELEVATION VIEW



C | SOUTH "FRONT" ELEVATION VIEW



D | NORTHEAST "REAR" ELEVATION VIEW

email: info@anomalydraftinganddesign.com
phone: 403 971 9275



PROJECT STATUS:

**PREPARED FOR
DEVELOPMENT PERMIT**

SHEET TITLE:

**ELEVATIONS AND
GENERAL NOTES**

PROJECT TYPE:

DETACHED GARAGE LAYOUTS

PROJECT ADDRESS:

**4619 AND 4621 VIRGINIA DRIVE
NW, CALGARY, AB**

PROJECT NO.:

NH018

SCALE:

1/4"= 1'-0"

DRAFTER:

EKS

SHEET NO.:

A1

AREA OF FLOOR:

2438 SQFT

TOTAL DEV. SQFT:

2438 SQFT

ISSUED TO:

TO ALL PARTIES

DWG DATE M/D/Y:

04/05/26

ISSUE DATE M/D/Y:

04/05/26

REVISION ISSUE #:

X

This drawing is an instrument of service, and is property of Anomaly Drafting and Design, the copyright in the same reserved to them. No reproduction is allowed without the consent of Anomaly Drafting and Design, and when made must bear its name. Drawings are never to be scaled. Contractor is to verify all dimensions and data noted herein and site conditions before commencement of work. Contractor is responsible to report any discrepancies to the designer for an adjustment.