

VICINITY MAP NTS

ARCHITECTURAL CONCEPT

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PROJECT DATA SUMMARY	
LEGAL ADDRESS:	LOT 14, BLOCK 15, PLAN 3094JK
LAND DESCRIPTION:	LANED PROPERTY
JURISDICTION:	THE CITY OF CALGARY
ZONING:	R-CG (RESIDENTIAL - GRADE ORIENTED INFILL)
BUILDING TYPE:	SEMI-DETACHED RESIDENTIAL DWELLING AND SEMI-DETACHED GARAGE C/W BASEMENT SECONDARY SUITES
BLDG CONSTRUCTION:	COMBUSTIBLE
CODE CLASSIFICATION:	PART 9 - NBC ALBERTA EDITION 2023
SITE INFORMATION:	
PARCEL AREA:	5006 ft² OR 465.05m²
BUILDING AREA:	1606 ft² OR 149.23m²
GARAGE AREA:	903 ft² OR 83.89m²
BUILDING HEIGHT:	34'-10" OR 10.92m
FRONT SETBACK:	5.81m
SIDE YARD SETBACK:	1.22m (EAST) AND 1.21m (WEST)
REAR YARD SETBACK:	10.24m
PARKING:	2 STALLS PER DWELLING

ABBREVIATIONS	
A.F.F.	- ABOVE FINISHED FLOOR /(SUB-FLOOR)
C/L	- CENTER LINE
C/W	- COMPLETE WITH
CANT.	- CANTILEVER
DP	- DROPPED
DIM	- DIMENSION/(S)
EX	- EXISTING
EXT	- EXTERIOR
F/A	- FRESH AIR INTAKE
FD	- FLOOR DRAIN
FL	- FLUSHED
FR	- FRENCH DOOR
FR	- FIRE RESISTANCE RATING
F.O.B	- FACE OF BEAM
FURN	- FURNACE
HRV	- HEAT RECOVERY VENTILATION UNIT
HW	- HOT WATER TANK
HUMD	- HUMIDIFIER
INT	- INTERIOR
O/H	- OVERHEAD DOOR
PROP	- PROPOSED
R.O.	- ROOF OVERHANG
RFP	- ROOF PITCH
REF	- REFER/REFERENCE
S.A.	- STRUCTURE ABOVE
STD	- STANDARD
TBD	- TO BE DETERMINED

SYMBOLS	
	- PERSON HEIGHT REFERENCE. HEIGHT OF IMAGE IS 5'-10" OR 1.78m
	- CROSS-SECTION FLAG
	- ROOF TRUSS DIRECTION AND SPACING
	- FLOOR JOIST DIRECTION AND SPACING
	- WINDOW TAG
	- DOOR TAG
CROSS SECTION TAGS	
	- EXT. WALL TAG
	- INT. WALL TAG
	- FLOOR TAG
	- ROOF TAG

REVISIONS	
REVISION# 1 2026 - 07 - 24:	▲ 1 - Dwelling is completely redesigned in order to reduce square footage of living space and parcel coverage. Please see all floor layouts for clarification of all redesign changing. Building setbacks have been adjusted as per the new redesign, additionally, landscaping has been updated.

GENERAL NOTES	
1.	The General Contractor/Builder shall carefully study and compare the construction documents and shall at once notify the Designer/Architect of any error, inconsistency, or omission he/she may discover. Contractor shall perform no portion of the work at any time without the construction documents, approved shop drawings, product data or samples for such portion of the work.
2.	The term "Owner" herein refers to the party with which the general contractor has contracted to perform the work.
3.	The General Contractor/Builder shall maintain at the site for the Designer/Architect, one record copy of all drawings, specifications, addenda, change orders, and other modifications, in good order and marked currently to record all changes made during construction, and approved shop drawings, product data and samples.
4.	General Contractor/Builder to coordinate all construction and design documents supplied by Anomaly Drafting and Design, any construction work pertaining to HVAC systems, security systems, special electrical requirements, etc, shall be handled by both the Owner and General Contractor's specific vendors.
5.	Each contractor /subcontractor shall be responsible for daily clean-up and removal of debris as related to his trade. Space shall be left clean and ready for the next trade. At the final phase, the General Contractor/Builder shall leave the area clean for the Owner to move-in.
6.	Wall construction dimensions are from the face of stud, outside face of sheathing, face of concrete, top of subfloor to underside of ceiling. In the event that dimensions refer to the face of dry-wall, they will be equipped with a tolerance. The General Contractor/Builder shall compensate for such when laying out or measuring chalk lines.
7.	When dimensioned electrical outlets are measured from the face of stud to the centerline of the location, unless noted otherwise.
8.	Unless noted otherwise provided in contract documents, the General Contractor/Builder is responsible for providing and paying for all prints for trade distributions, labour, construction equipment, and machinery, tools, transportation and other facilities and services necessary for proper execution and completion of work.
9.	The General Contractor/Builder shall supervise and direct the work. Using the contractor's best skill and attention, the contractor shall be solely responsible for all construction means, methods, techniques, sequences and procedures, and shall coordinate all portions of the work.
10.	The General Contractor/ Builder shall be responsible to the Owner for the acts and omissions of the contractor's employees, subcontractors, and their agents and employees, and other persons performing any of the work under this contract.
11.	The General Contractor/Builder is responsible for enforcing strict discipline and good order among contractors, employees and will not employ on the work any unfit person or anyone not skilled in the task assigned to them.
12.	The General Contractor/Builder warrants to the owner that all equipment and material furnished under this contract will be new, unless noted otherwise specified, and all work will be of good quality, free from faults and defects and in conformance with contract documents all work not conforming to these requirements, including substitutions not properly approved and authorized, may be considered defective and will be removed & replaced at the General Contractor/Builder's expense.
13.	The General Contractor/Builder will be presumed to have inspected, read, and thoroughly familiarized themselves with the construction documents. Failure or omission by any contractor to examine any form, instrument, or document shall not relieve them of any obligation regarding their work.
14.	All finishes, specified or not, shall be approved by the Designer/Architect in conjunction with the Owner for sustainability prior to application.
15.	Where special items require an extended lead time, preventing installation by the projected move-in date. The General Contractor is to propose an available alternate for approval by the Owner and Designer/architect, as well as to prepare pricing for possible temporary assemblies and/or finishes.
16.	All construction to be per the National Building Code - Alberta Edition 2023. The General Contractor/Builder shall notify Anomaly Drafting and Design, of any conflict between the drawings and governing codes before beginning construction.
17.	All plans are drawn to scale as much as possible. But they are not intended to be or should not be scaled.
18.	The General Contractor/Builder is to verify all dimensions, conditions, etc, before submission of proposals and to familiarize themselves with existing conditions as well as the nature and scope of the work. Notify the Designer/Architect in writing of any variations or discrepancies before beginning construction.
19.	The General Contractor/Builder to verify the size, location and characteristics of all mechanical and electrical equipment and prepare all spaces accordingly.
20.	"Typical" means typical for all similar conditions unless noted otherwise.
21.	All gypsum board partition returns shall have metal "L" corner beads from floor to ceiling.
22.	"Align" means similar components of construction (i.e., walls, jams, etc) shall align across voids or with the existing wall.
23.	The General Contractor/Builder is to coordinate the keying system with the Owner.
24.	All wall angles are either 90 degrees or 45 degrees unless noted otherwise.
25.	All required firestopping is to be ULC-approved.
26.	The Owner, without invalidating the contract, may request additional work or make changes by altering, adding to, or deducting from the work, and the contract sum will be adjusted accordingly. All such work must be performed under the original contract conditions, except that any requests for time extensions resulting from these changes should be addressed at the time the change is ordered.
27.	The General Contractor/Builder is responsible for scheduling all inspections for the work when required.
28.	The General Contractor/Builder should notify the Designer/Architect immediately if he/she cannot comply with all the notes called for on all documents and drawings before construction.
29.	The General Contractor/ Builder shall furnish and install any and all items required to meet all codes as required by the National Building Code - Alberta Edition 2023.
30.	The General Contractor/ Builder shall furnish and install all items required to meet accessibility standards as required in Part 3 of the National Building Code - Alberta Edition 2023.

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email: info@anomalydraftinganddesign.com phone: 403 971 9275				PROJECT STATUS: PREPARED FOR DEVELOPMENT PERMIT		SHEET TITLE: TITLE PAGE	
PROJECT TYPE: SEMI-DETACHED DWELLING	PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB	PROJECT NO.: NH018	SCALE: 1/4"= 1'-0"	DRAFTER: EKS	SHEET NO.: A0		
AREA OF FLOOR: 2140 SQFT	TOTAL DEV. SQFT: 2140 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 07/24/26	ISSUE DATE M/D/Y: 07/24/26	REVISION ISSUE #: 1		

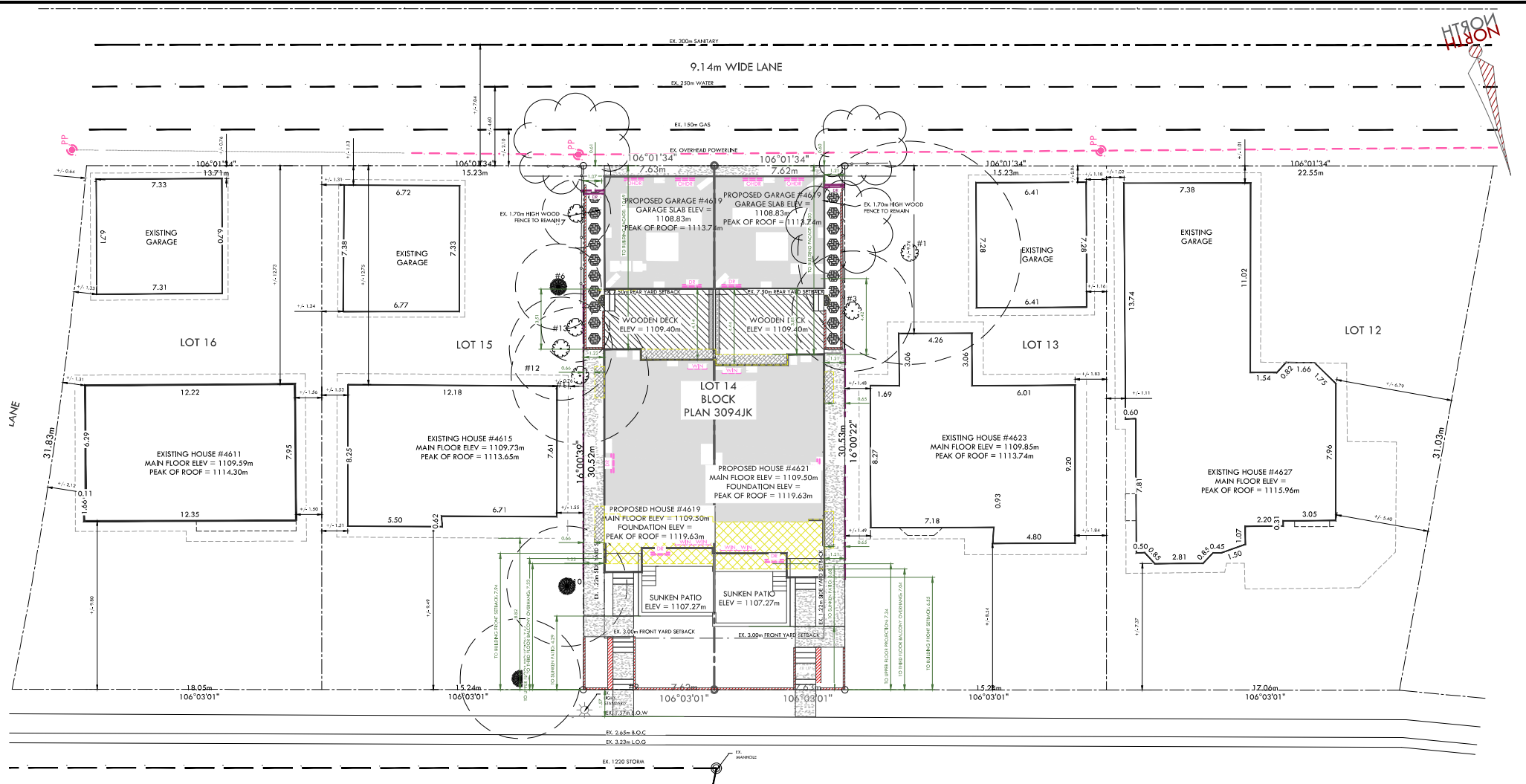


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PROJECT TYPE: SEMI-DETACHED DWELLING		PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB		PROJECT NO: NH018	SCALE: 1/4" = 1'-0"	DRAFTER: EKS	SHEET NO: A3
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2140 SQFT	ISSUED TO: MUNICIPALITY		DWG DATE M/D/Y: 07/24/26	ISSUE DATE M/D/Y: 07/24/26	REVISION ISSUE R: 1	

A3

A3



A NORTHWEST STREETScape PLAN VIEW
SCALE: 1" = 150m

PROPOSED HOUSE #4619
MAIN FLOOR ELEV = 1109.50m
FOUNDATION ELEV =
PEAK OF ROOF = 1113.74m

PROPOSED HOUSE #4621
MAIN FLOOR ELEV = 1109.89m
FOUNDATION ELEV =
PEAK OF ROOF = 1113.74m

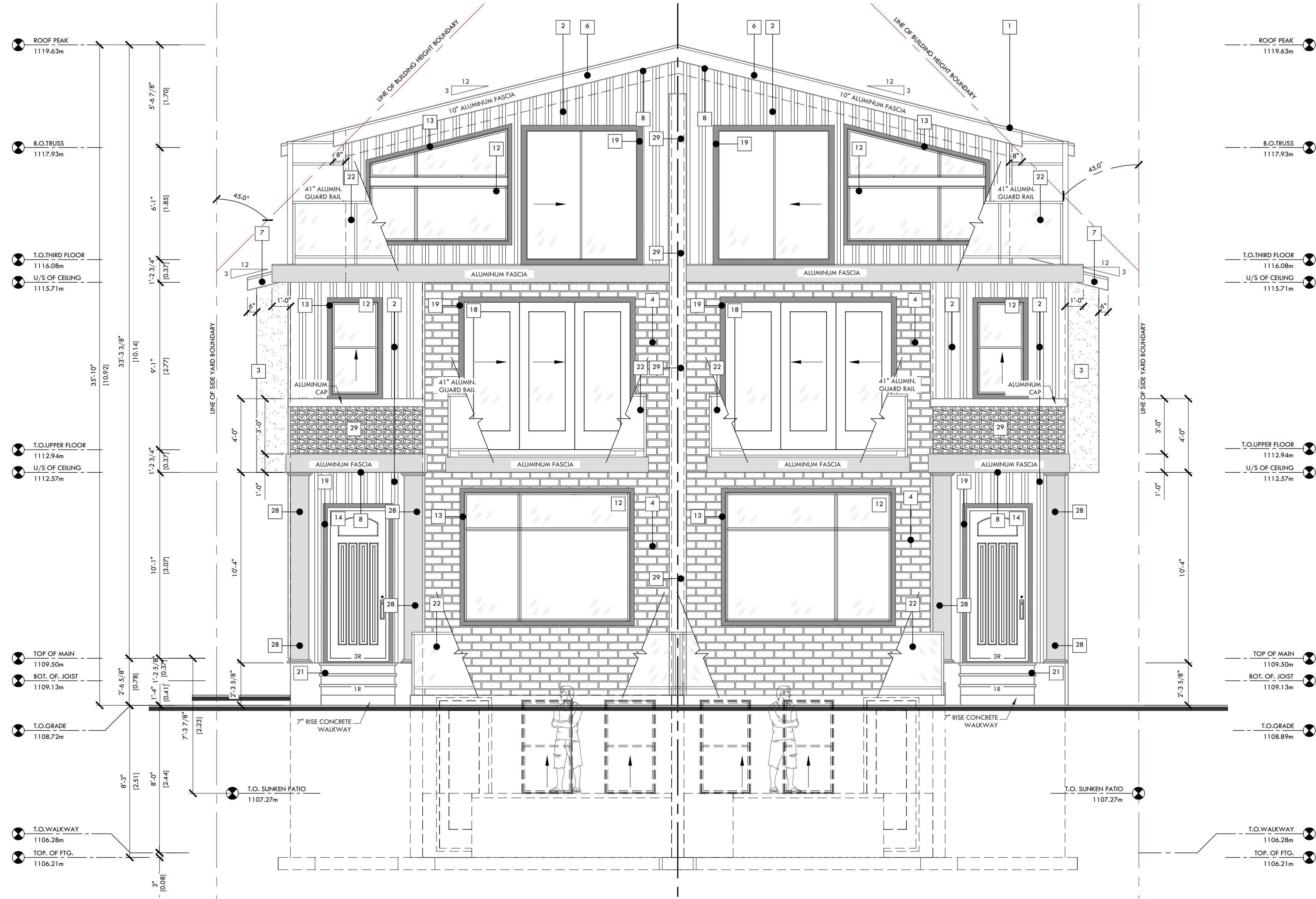


A NORTHWEST STREETScape ELEVATION VIEW
SCALE: 1" = 150m

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ANOMALY DRAFTING AND DESIGN		PROJECT STATUS: 94 PREPARED FOR DEVELOPMENT PERMIT	SHEET TITLE: STREETScape LAYOUTS
PROJECT TYPE: SEMI-DETACHED DWELLING	PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB	PROJECT NO.: NH018	SCALE: 1/4" = 1'-0"
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2140 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 07/24/26
		REVISION ISSUE #: 1	DRAFTER: EKS

A4



- ### ELEVATION GENERAL NOTES
- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
 - ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
 - LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
 - EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
 - DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
 - WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
 - GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
 - G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.
 - MECHANICAL PENETRATIONS SHOWN ARE APPROXIMATE, THEREFORE, PENETRATIONS TO BE DETERMINED ON SITE.
 - TERRAIN SHOWN IS APPROXIMATE, THEREFORE, IT WILL BE DETERMINED ON SITE. G.C. IS TO CONTACT DESIGNER FOR ANY DISCREPANCIES.
 - SOFFIT LIGHTING TO BE DETERMINED FOR BUILDING PERMIT SUBMISSION.
 - CONCRETE RETAINING WALLS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO BUILDING PERMIT SUBMISSION.
 - PRIVACY SCREEN TO BE DETERMINED.

- ### EXTERIOR FINISHES LEGEND
- MANUFACTURED VENEER BRICK:
 - VERTICAL CORRUGATED SIDING: LUX PANEL METAL SIDING
 - STUCCO: ACRYLIC STUCCO
 - FEATURE STUCCO: ACRYLIC STUCCO
 - ROOF SHINGLES: ASPHALT WOOD SHINGLES. SEE SPEC FOR SHINGLES:
 - METAL CLADDING PANEL
 - LUX ARCHITECTURAL WOOD PANELING: COMPOSITE WOOD PANELING
 - LUX ARCHITECTURAL: COMPOSITE WOOD TRIM TO WINDOWS AND DOORS

EXTERIOR FINISH MATERIALS LIST				
ITEM#	ITEM NAME	MANUFACTURER / SUPPLIER	DESCRIPTION	COLOUR
1	ASPHALT SHINGLE ROOF	IKO MANUFACTURING	ASPHALT SHINGLE ROOFING	BLACK OR GREY
2	COMPOSITE METAL PANELING	ARMOUR SIDE	ARMOUR SIDE WALL PANEL PROFILE #3	VICTORIAN ONYX
3	ACRYLIC STUCCO	TBD	ACRYLIC STUCCO TO MATCH ABYSS BLACK BY LP SMARTSIDE	ABYSS BLACK
4	BRICK VENEER	IKI/ELDORADO STONE	2" VENEER BRICK (THIN BRICK) TUNDRA STONE	HARTFORD
5	ACRYLIC STUCCO	TBD	ACRYLIC STUCCO TO MATCH ABYSS BLACK BY LP SMARTSIDE	WASHED WHITE
6	10" ALUMINUM FASCIA	TBD	ALUMINUM	BLACK
7	8" ALUMINUM FASCIA	TBD	ALUMINUM	BLACK
8	PRE-FINISHED ALUMINUM SOFFIT	LUX ARCHITECTURAL PRODUCTS	LUXLAP SMOOTH SOFFIT	COPPERWAVE
9	PRE-FINISHED ALUMINUM SOFFIT	TBD	PREFINISHED PERFORATED ALUMINUM SOFFIT	GREY
10	PRE-FINISHED ALUMINUM DOWNSPOUT	TBD	PREFINISHED ALUMINUM DOWNSPOUT	BLACK
11	VINYL WINDOW	TBD	VINYL BASEMENT WINDOW	WHITE
12	ALUMINUM WINDOWS	TBD	ALUMINUM WINDOW	BLACK
13	FEATURED WINDOW TRIM	LUX ARCHITECTURAL PRODUCTS	RANDOM PLANL WINDOW TRIM 3.5"	TOBACCO
14	FRONT DOOR	TBD	FIBREGASS INSULATED DOOR, PAINTED TO MATCH BURNT ORANGE	ORANGE
15	MAN DOOR	TBD	FIBREGASS INSULATED DOOR	GREY
16	REAR DOOR	TBD	FIBREGASS INSULATED DOOR - WOOD GRAIN DOOR CHERRY STAIN	WOOD
17	ENTRANCE DOOR	TBD	FIBREGASS INSULATED DOOR - PAINTED TO MATCH GREY	GREY
18	PATIO SLIDER	TBD	3 PANEL SLIDER DOOR	BLACK
19	DOOR TRIM	LUX ARCHITECTURAL PRODUCTS	HARDIE TRIM 3 1/2" WIDE	TOBACCO
20	RETAINING WALL	TBD	PRESSURE TREATED WOOD WINDOW WELL CUSTOM FRAMED	STAINED SIENNA
21	CONCRETE RISERS	TBD	BROOM FINISH - CONCRETE TREADS AND LANDING W/ AGGREGATE RISERS	N/A
22	ALUMINUM RAILING BLACK	TBD	ALUMINUM RAILING C/W FROSTED PRIVACY GLASS PANELS	BLACK
23	ALUMINUM RAILING BLACK	TBD	ALUMINUM RAILING C/W ALUMINUM PICKETS	BLACK
24	PT. WOOD DECK	EVERLAST	INFINITY SERIES - COMPOSITE DECK PLANKING	LIGHT CREAM
25	ALUMINUM STEEL FENCE	TBD	STEEL COMPOSITE FENCE	BLACK/ COMPOSITE WOOD
26	STEEL OVERHEAD DOOR	TBD	STEEL INSULATED OVERHEAD DOOR	DARK GREY
27	EXTERIOR LIGHT	TBD	EXTERIOR LIGHT FIXTURE - WALL SCONCE	BLACK
28	CLADDED METAL POST	TBD	1 1/4" X 1 1/4" BUILT-UP COLUMN WRAPPED IN ALUMINUM CLADDING	BLACK
29	CLADDED COLUMN	LUX ARCH	CUSTOM FLAT PANEL	BLACK
30	CLADDED BEAM	LUX ARCH	CUSTOM FLAT PANEL	BLACK

WINDOW DESCRIPTION	
U-VALUE:	R-VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings

ELEVATION VIEW OF SUNKEN PATIO AND BASEMENT ACCESS

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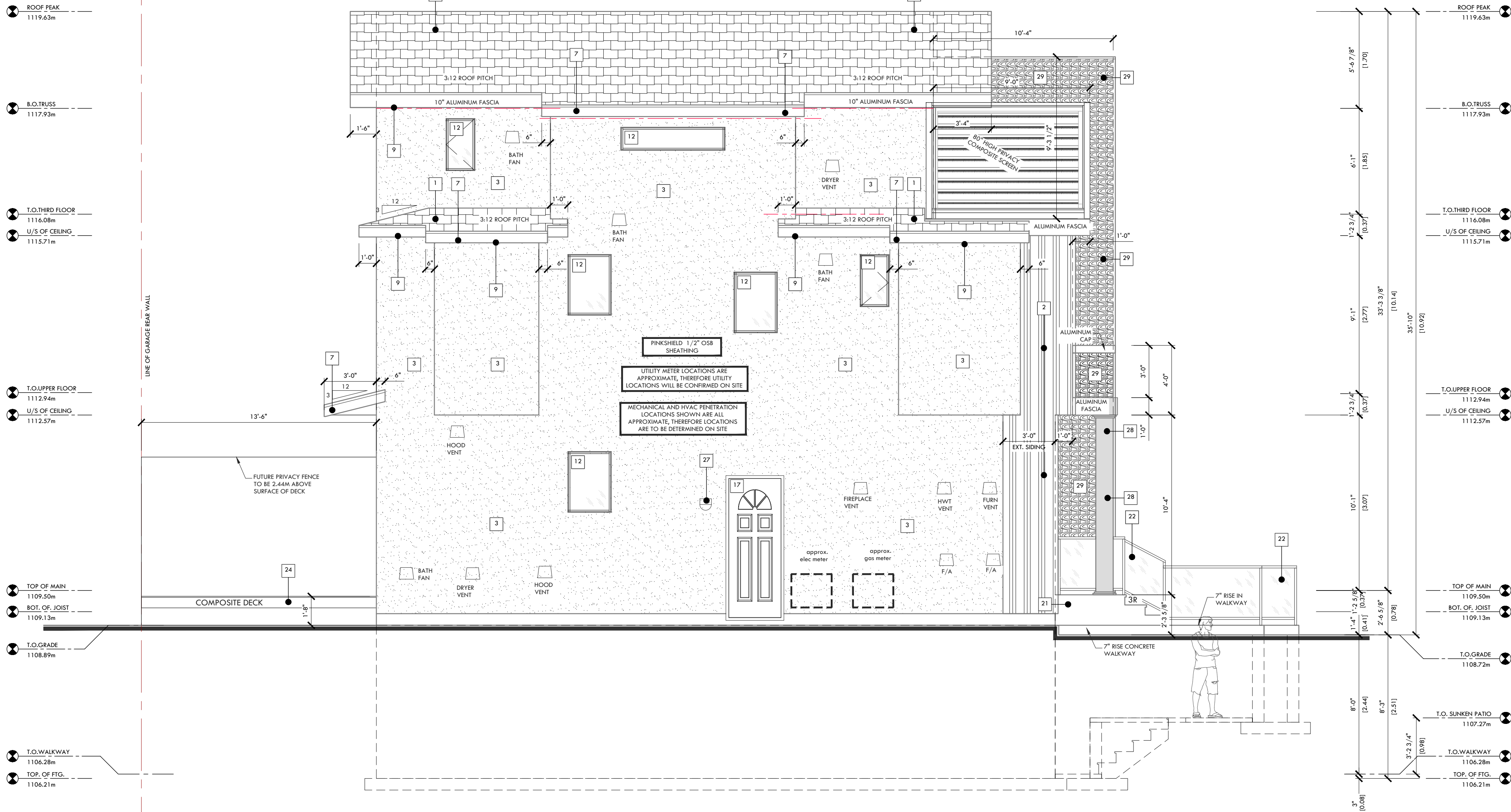
email: info@anomalydraftinganddesign.com
phone: 403 971 9275



PROJECT STATUS:
PREPARED FOR DEVELOPMENT PERMIT

SHEET TITLE: **FRONT 'NORTHEAST' ELEVATION**

PROJECT TYPE: SEMI-DETACHED DWELLING	PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB	PROJECT NO: NH018	SCALE: 1/4" = 1'-0"	DRAFTER: EKS	SHEET NO.: A11
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2140 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 07/24/26	ISSUE DATE M/D/Y: 07/24/26	REVISION ISSUE #: 1



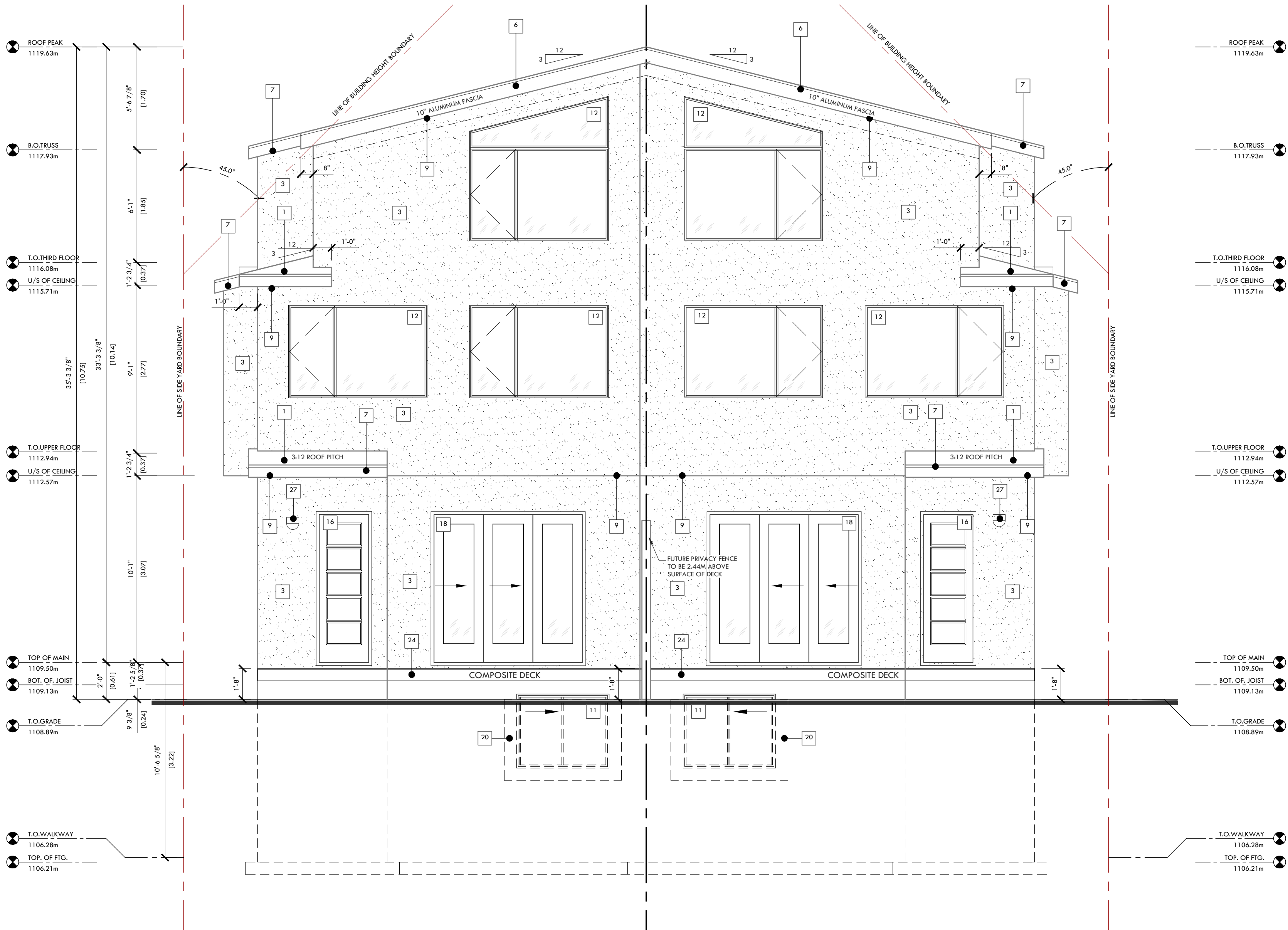
A ELEVATION VIEW OF SECONDARY ACCESS AND ENTRANCE

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phone: 403 971 9275



PROJECT TYPE: SEMI-DETACHED DWELLING		PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB		PROJECT STATUS: PREPARED FOR DEVELOPMENT PERMIT		SHEET TITLE: 'LEFT' SOUTHEAST ELEVATION	
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2140 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 07/24/26	SCALE: 1/4" = 1'-0"	ISSUE DATE M/D/Y: 07/24/26	DRAFTER: EKS	SHEET NO.: A12
				REVISION ISSUE #: 1			



WINDOW DESCRIPTION	
U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings

ELEVATION GENERAL NOTES

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EXTERIOR FINISHES LEGEND

	MANUFACTURED VENEER BRICK:
	VERTICAL CORRUGATED SIDING: LUX PANEL METAL SIDING
	STUCCO: ACRYLIC STUCCO
	FEATURE STUCCO: ACRYLIC STUCCO
	ROOF SHINGLES: ASPHALT WOOD SHINGLES. SEE SPEC FOR SHINGLES.
	METAL CLADDING PANEL
	LUX ARCHITECTURAL WOOD PANELING: COMPOSITE WOOD PANELING
	LUX ARCHITECTURAL: COMPOSITE WOOD TRIM TO WINDOWS AND DOORS

EXTERIOR FINISH MATERIALS LIST				
ITEM#	ITEM NAME	MANUFACTURER / SUPPLIER	DESCRIPTION	COLOUR
1	ASPHALT SHINGLE ROOF	IKO MANUFACTURING	ASPHALT SHINGLE ROOFING	BLACK OR GREY
2	COMPOSITE METAL PANELING	ARMOUR SIDE	ARMOUR SIDE WALL PANEL PROFILE #3	VICTORIAN ONYX
3	ACRYLIC STUCCO	TBD	ACRYLIC STUCCO TO MATCH ABYSS BLACK BY LP SMARTSIDE	ABYSS BLACK
4	BRICK VENEER	IXL/ELDERADO STONE	2" VENEER BRICK (THIN BRICK) TUNDRA STONE	HARTFORD
5	ACRYLIC STUCCO	TBD	ACRYLIC STUCCO TO MATCH ABYSS BLACK BY LP SMARTSIDE	WASHED WHITE
6	10" ALUMINUM FASCIA	TBD	ALUMINUM	BLACK
7	8" ALUMINUM FASCIA	TBD	ALUMINUM	BLACK
8	PRE-FINISHED ALUMINUM SOFFIT	LUX ARCHITECTURAL PRODUCTS	LUXLAP SMOOTH SOFFIT	COPPERWAVE
9	PRE-FINISHED ALUMINUM SOFFIT	TBD	PREFINISHED PERFORATED ALUMINUM SOFFIT	GREY
10	PRE-FINISHED ALUMINUM DOWNSPOT	TBD	PREFINISHED ALUMINUM DOWNSPOT	BLACK
11	VINYL WINDOW	TBD	VINYL BASEMENT WINDOW	WHITE
12	ALUMINUM WINDOWS	TBD	ALUMINUM WINDOW	BLACK
13	FEATURED WINDOW TRIM	LUX ARCHITECTURAL PRODUCTS	RANDOM PLANL WINDOW TRIM 3.5"	TOBACCO
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16	REAR DOOR	TBD	FIBREGLASS INSULATED DOOR - WOOD GRAIN DOOR CHERRY STAIN	WOOD
17	ENTRANCE DOOR	TBD	FIBREGLASS INSULATED DOOR - PAINTED TO MATCH GREY	GREY
18	PATIO SLIDER	TBD	3 PANEL SLIDER DOOR	BLACK
19	DOOR TRIM	LUX ARCHITECTURAL PRODUCTS	HARDIE TRIM 3 1/2" WIDE	TOBACCO
20	RETAINGING WALL	TBD	PRESSURE TREATED WOOD WINDOW WELL CUSTOM FRAMED	STAINED SIENNA
21	CONCRETE RISERS	TBD	BROOM FINISH - CONCRETE TREADS AND LANDING W/ AGGREGATE RISERS	N/A
22	ALUMINUM RAILING BLACK	TBD	ALUMINUM RAILING C/W FROSTED PRIVACY GLASS PANELS	BLACK
23	ALUMINUM RAILING BLACK	TBD	ALUMINUM RAILING C/W ALUMINUM PICKETS	BLACK
24	PT. WOOD DECK	EVERLAST	INFINITY SERIES - COMPOSITE DECK PLANKING	LIGHT CREAM
25	ALUMINUM STEEL FENCE	TBD	STEEL COMPOSITE FENCE	BLACK/ COMPOSITE WOOD
26	STEEL OVERHEAD DOOR	TBD	STEEL INSULATED OVERHEAD DOOR	DARK GREY
27	EXTERIOR LIGHT	TBD	EXTERIOR LIGHT FIXTURE - WALL SCONCE	BLACK
28	CLADDED METAL POST	TBD	1 1/4" X 1 1/4" BUILT-UP COLUMN WRAPPED IN ALUMINUM CLADDING	BLACK
29	CLADDED COLUMN	LUX ARCH	CUSTOM FLAT PANEL	BLACK
30	CLADDED BEAM	LUX ARCH	CUSTOM FLAT PANEL	BLACK

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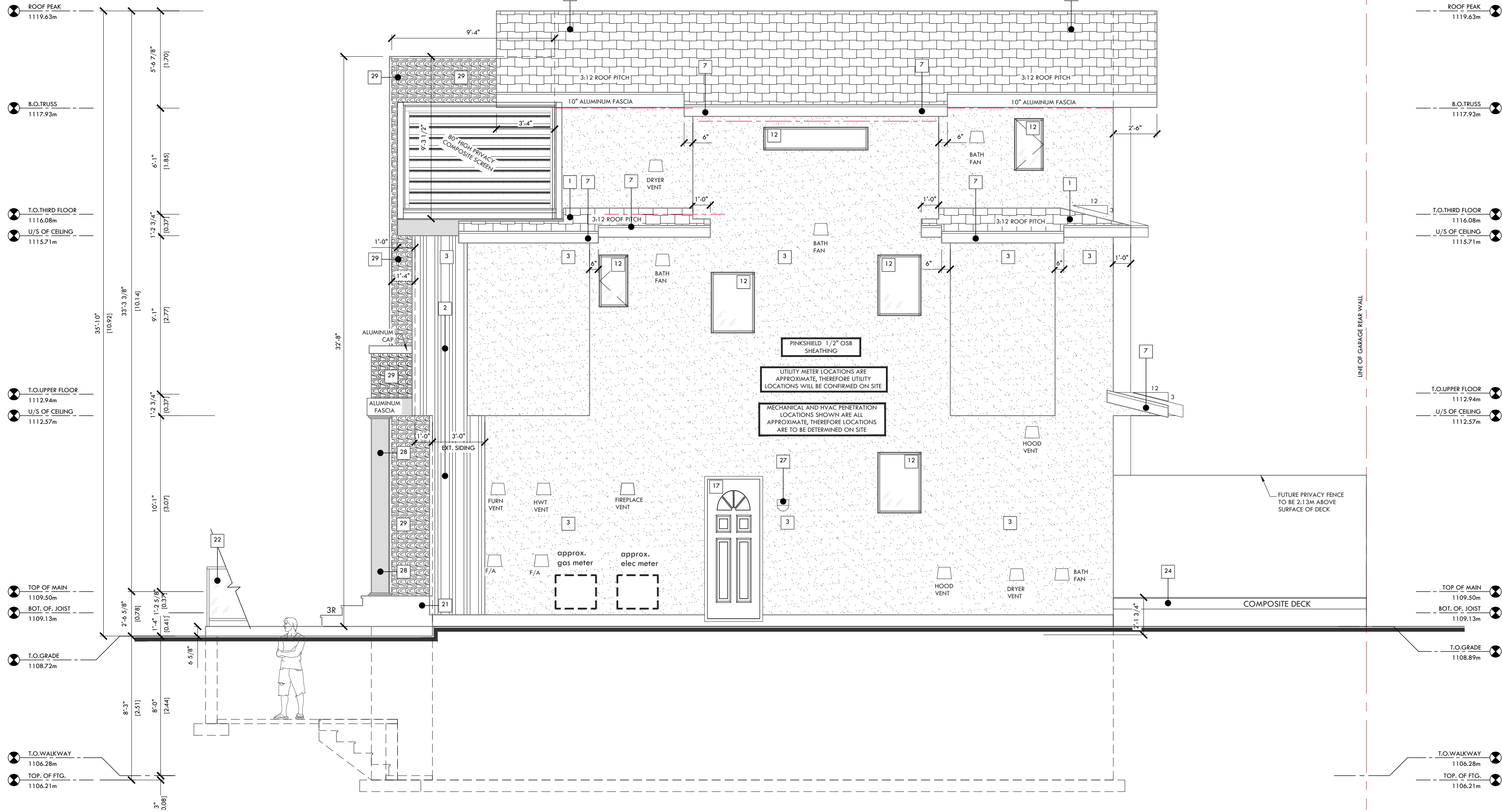
PROJECT STATUS:
**PREPARED FOR
DEVELOPMENT PERMIT**

SHEET TITLE:
**REAR -
'SOUTHWEST'
ELEVATION**

PROJECT TYPE: SEMI-DETACHED DWELLING	PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB	PROJECT NO: NH018	SCALE: 1/4" = 1'-0"	DRAFTER: EKS	SHEET NO.:
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2140 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 07/24/26	ISSUE DATE M/D/Y: 07/24/26	REVISION ISSUE #: 1

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A13



A ELEVATION VIEW OF SECONDARY ACCESS AND ENTRANCE

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PROJECT STATUS:
**PREPARED FOR
DEVELOPMENT PERMIT**

SHEET TITLE: **'RIGHT' -
NORTHWEST
ELEVATION**

PROJECT TYPE: SEMI-DETACHED DWELLING	PROJECT ADDRESS: 4619 AND 4621 VIRGINIA DRIVE NW, CALGARY, AB	PROJECT NO: NH018	SCALE: 1/4" = 1'-0"	DRAFTER: EKS	SHEET NO.: A14
AREA OF FLOOR: N/A	TOTAL DEV. SQFT: 2140 SQFT	ISSUED TO: MUNICIPALITY	DWG DATE M/D/Y: 07/24/26	ISSUE DATE M/D/Y: 07/24/26	REVISION ISSUE #: 1