



OL' BEAUTIFUL BREWERY REBUILD

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ISSUES/REVISIONS

DATE	DESCRIPTION	#
2026-03-30	ISSUED FOR DP	1
2026-05-04	RE-ISSUED FOR DP	2

Seal

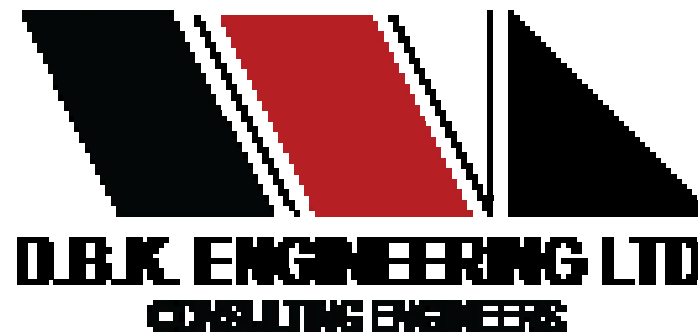
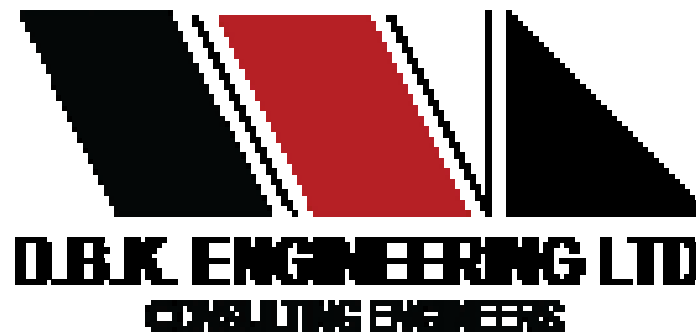
Client

Project Title
OL' BEAUTIFUL BREWERY REBUILD
1103 12th STREET SE, CALGARY, ALBERTA
T2G 3H7

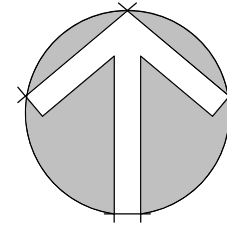
Drawing Title
COVER PAGE

Drawing info	Project Number
Scale	1 : 1
Date	03/07/18
Drawn	KWT
Checked	
Partner	JS
	Drawing Number
	2025-023
	DPA000

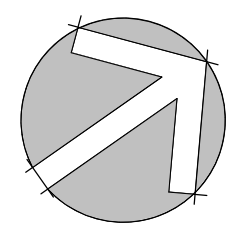
LIST OF CONSULTANTS

																																										
ARCHITECTURE	CIVIL	STRUCTURAL	MECHANICAL	ELECTRICAL																																						
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DP ARCHITECTURAL SHEET LIST	CIVIL SHEET LIST			ELECTRICAL SHEET LIST																																						
<table><tr><th>SHEET LIST</th><th>SHEET NAME</th></tr><tr><td>DPA000</td><td>COVER PAGE</td></tr><tr><td>DPA001</td><td>PROJECT INFORMATION</td></tr><tr><td>DPA002</td><td>MAIN FLOOR LIFE SAFETY PLAN</td></tr><tr><td>DPA003</td><td>LIMITING DISTANCE PLAN</td></tr><tr><td>DPA004</td><td>PHOTO KEY PLAN</td></tr><tr><td>DPA101</td><td>DEMOLITION SITE PLAN</td></tr><tr><td>DPA102</td><td>PROJECT SITE AND LANDSCAPE PLAN</td></tr><tr><td>DPA103</td><td>PROJECT SITE PLAN - VEHICLE ROUTES</td></tr><tr><td>DPA201</td><td>MAIN FLOOR PLAN</td></tr><tr><td>DPA202</td><td>ROOF PLAN</td></tr><tr><td>DPA501</td><td>EXTERIOR ELEVATIONS</td></tr></table>	SHEET LIST	SHEET NAME	DPA000	COVER PAGE	DPA001	PROJECT INFORMATION	DPA002	MAIN FLOOR LIFE SAFETY PLAN	DPA003	LIMITING DISTANCE PLAN	DPA004	PHOTO KEY PLAN	DPA101	DEMOLITION SITE PLAN	DPA102	PROJECT SITE AND LANDSCAPE PLAN	DPA103	PROJECT SITE PLAN - VEHICLE ROUTES	DPA201	MAIN FLOOR PLAN	DPA202	ROOF PLAN	DPA501	EXTERIOR ELEVATIONS	<table><tr><th>SHEET NUMBER</th><th>SHEET NAME</th></tr><tr><td>SP1</td><td>SITE SERVICING PLAN</td></tr><tr><td>SP2</td><td>SITE GRADING PLAN</td></tr><tr><td>SP3</td><td>SECTIONS & DETAILS</td></tr></table>	SHEET NUMBER	SHEET NAME	SP1	SITE SERVICING PLAN	SP2	SITE GRADING PLAN	SP3	SECTIONS & DETAILS			<table><tr><th>SHEET NUMBER</th><th>SHEET NAME</th></tr><tr><td>ES1</td><td>SITE PLAN - LIGHTING POWER & AUXILIARY</td></tr><tr><td>ES2</td><td>SITE PLAN - LIGHTING, POINT BY POINT</td></tr></table>	SHEET NUMBER	SHEET NAME	ES1	SITE PLAN - LIGHTING POWER & AUXILIARY	ES2	SITE PLAN - LIGHTING, POINT BY POINT
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Consultants



PROJECT
NORTH



TRUE
NORTH

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ISSUES/REVISIONS

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2026-05-04	RE-ISSUED FOR DP	2

Seal

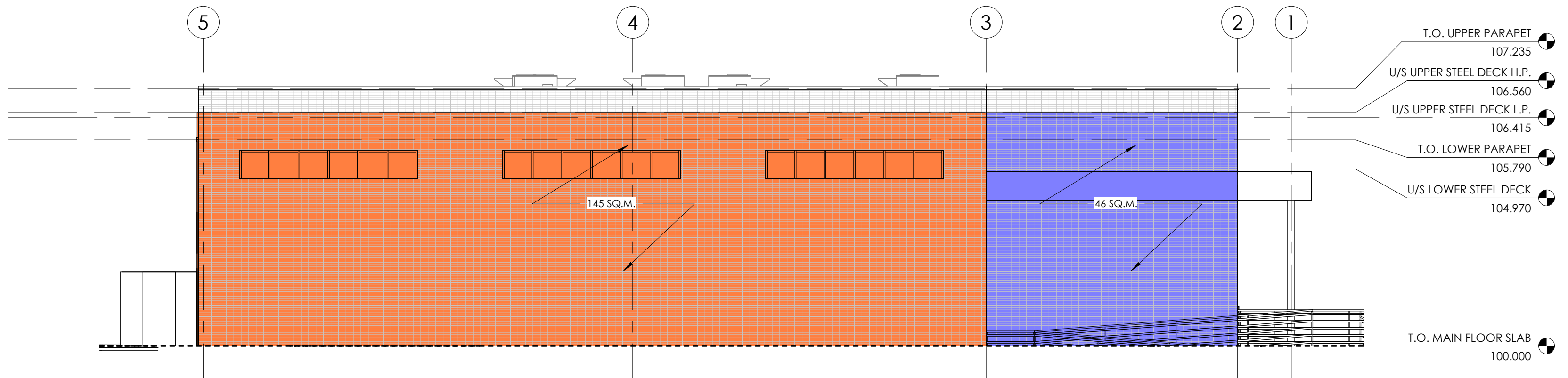
Client

Project Title
OL' BEAUTIFUL BREWERY REBUILD
1103 12th STREET SE, CALGARY, ALBERTA
T2G 3H7

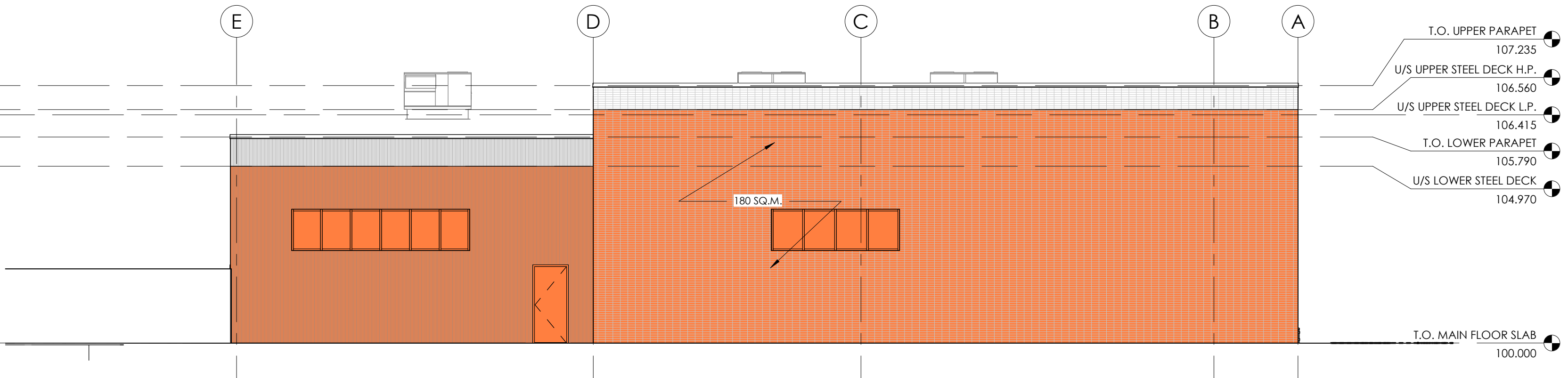
Drawing Title
LIMITING DISTANCE PLAN

Drawing info		Project Number
Scale	As indicated	2025-023
Date	06/07/16	Drawing Number
Drawn	KWT	DPA003
Checked		
Partner	JS	

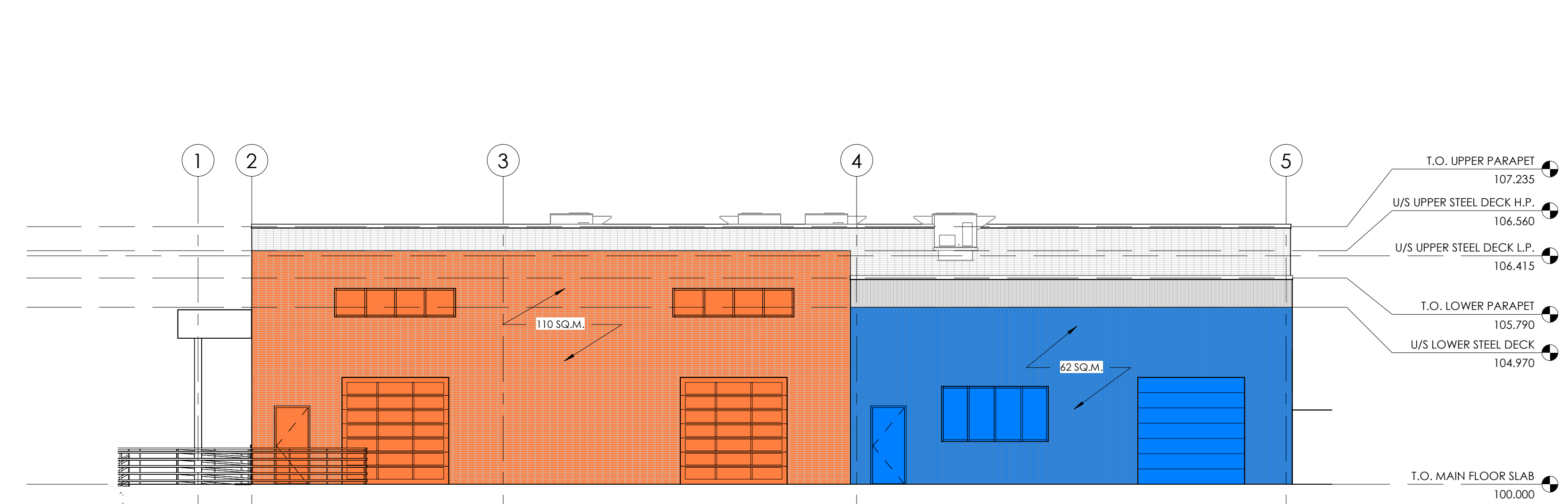
FIRE SEPARATION LEGEND	
PLAN SYMBOL	
	0 HOUR - SMOKE SEPARATION
	45 MINUTE FIRE RESISTANCE RATING
	1 HOUR FIRE RESISTANCE RATING
	1.5 HOUR FIRE RESISTANCE RATING
	2 HOUR FIRE RESISTANCE RATING
	3 HOUR FIRE RESISTANCE RATING
	4 HOUR FIRE RESISTANCE RATING



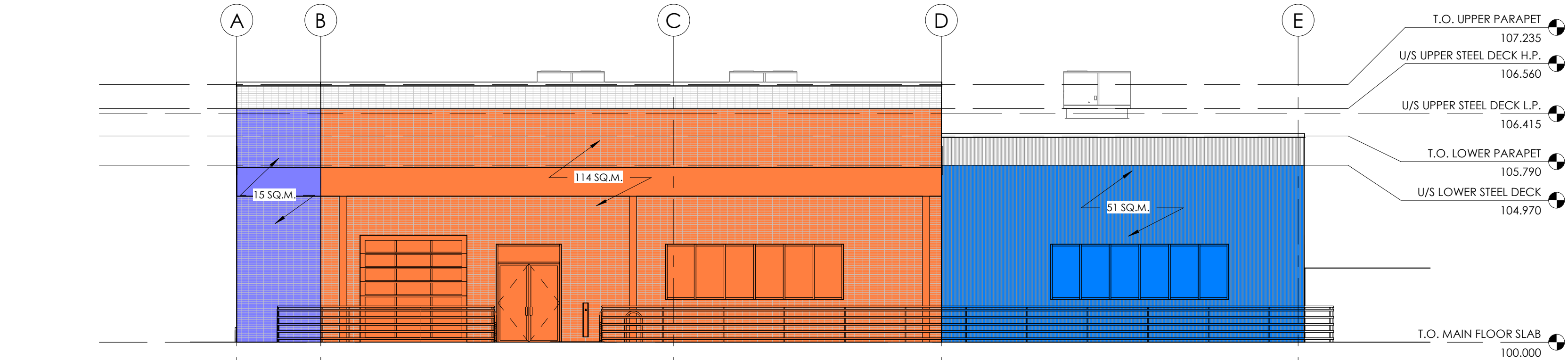
2 LIMITING DISTANCE - NORTH
1 : 100



3 LIMITING DISTANCE - EAST
1 : 100



4 LIMITING DISTANCE - SOUTH
1 : 100



5 LIMITING DISTANCE - WEST
1 : 100

WEST ELEVATION
TABLE 3.2.3.1-B
EXPOSED BUILDING FACE = 114 sq.m.
AREA OF UNPROTECTED OPENINGS = 13 sq.m.
% OF UNPROTECTED OPENINGS ALLOWED = 12%
% OF OPENINGS PROVIDED = 11.4%
LIMITING DISTANCE = 3.6m
TABLE 3.2.3.2
MINIMUM F.R.R. REQUIRED = 1 HOUR
NON-COMBUSTIBLE OR COMBUSTIBLE CONSTRUCTION REQUIRED
NON-COMBUSTIBLE CLADDING REQUIRED

NORTH ELEVATION
TABLE 3.2.3.1-B
EXPOSED BUILDING FACE = 44 sq.m.
AREA OF UNPROTECTED OPENINGS = 0 sq.m.
% OF UNPROTECTED OPENINGS ALLOWED = 100%
% OF OPENINGS PROVIDED = 0%
LIMITING DISTANCE = 10.1m
TABLE 3.2.3.2
MINIMUM F.R.R. REQUIRED = NONE REQUIRED

NORTH ELEVATION
TABLE 3.2.3.1-B
EXPOSED BUILDING FACE = 145 sq.m.
AREA OF UNPROTECTED OPENINGS = 12 sq.m.
% OF UNPROTECTED OPENINGS ALLOWED = 60%
% OF OPENINGS PROVIDED = 8%
LIMITING DISTANCE = 10.1m
TABLE 3.2.3.2
MINIMUM F.R.R. REQUIRED = 45 MINUTES
NON-COMBUSTIBLE OR COMBUSTIBLE CONSTRUCTION REQUIRED
NON-COMBUSTIBLE CLADDING REQUIRED

WEST (NORTH) ELEVATION
TABLE 3.2.3.1-B
EXPOSED BUILDING FACE = 15 sq.m.
AREA OF UNPROTECTED OPENINGS = 0 sq.m.
% OF UNPROTECTED OPENINGS ALLOWED = 100%
% OF OPENINGS PROVIDED = 0%
LIMITING DISTANCE = 19.9m
TABLE 3.2.3.2
MINIMUM F.R.R. REQUIRED = NONE REQUIRED

EAST ELEVATION
TABLE 3.2.3.1-B
EXPOSED BUILDING FACE = 180 sq.m.
AREA OF UNPROTECTED OPENINGS = 12 sq.m.
% OF UNPROTECTED OPENINGS ALLOWED = 68%
% OF OPENINGS PROVIDED = 7%
LIMITING DISTANCE = 13.8m
TABLE 3.2.3.2
MINIMUM F.R.R. REQUIRED = 45 MINUTE
NON-COMBUSTIBLE CONSTRUCTION REQUIRED
NON-COMBUSTIBLE CLADDING REQUIRED

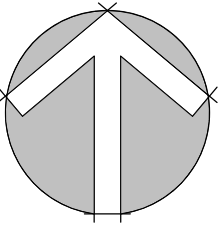
SOUTH (LEFT) ELEVATION
TABLE 3.2.3.1-B
EXPOSED BUILDING FACE = 110 sq.m.
AREA OF UNPROTECTED OPENINGS = 8 sq.m.
% OF UNPROTECTED OPENINGS ALLOWED = 20%
% OF OPENINGS PROVIDED = 7%
LIMITING DISTANCE = 5.8m
TABLE 3.2.3.2
MINIMUM F.R.R. REQUIRED = 1 HOUR
NON-COMBUSTIBLE OR COMBUSTIBLE CONSTRUCTION REQUIRED
NON-COMBUSTIBLE CLADDING REQUIRED

SOUTH (EAST) ELEVATION
TABLE 3.2.3.1-B
EXPOSED BUILDING FACE = 51 sq.m.
AREA OF UNPROTECTED OPENINGS = 8 sq.m.
% OF UNPROTECTED OPENINGS ALLOWED = 100%
% OF OPENINGS PROVIDED = 16%
LIMITING DISTANCE = 14.1m
TABLE 3.2.3.2
MINIMUM F.R.R. REQUIRED = NONE REQUIRED

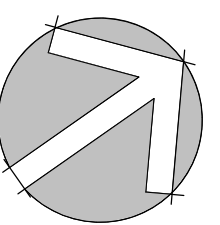
SOUTH (RIGHT) ELEVATION
TABLE 3.2.3.1-B
EXPOSED BUILDING FACE = 42 sq.m.
AREA OF UNPROTECTED OPENINGS = 16 sq.m.
% OF UNPROTECTED OPENINGS ALLOWED = 72%
% OF OPENINGS PROVIDED = 26%
LIMITING DISTANCE = 7.8m
TABLE 3.2.3.2
MINIMUM F.R.R. REQUIRED = 45 MINUTE
NON-COMBUSTIBLE OR COMBUSTIBLE CONSTRUCTION REQUIRED
NON-COMBUSTIBLE CLADDING REQUIRED

1 LIMITING DISTANCE KEY PLAN
1 : 200

Consultants



PROJECT
NORTH



TRUE
NORTH

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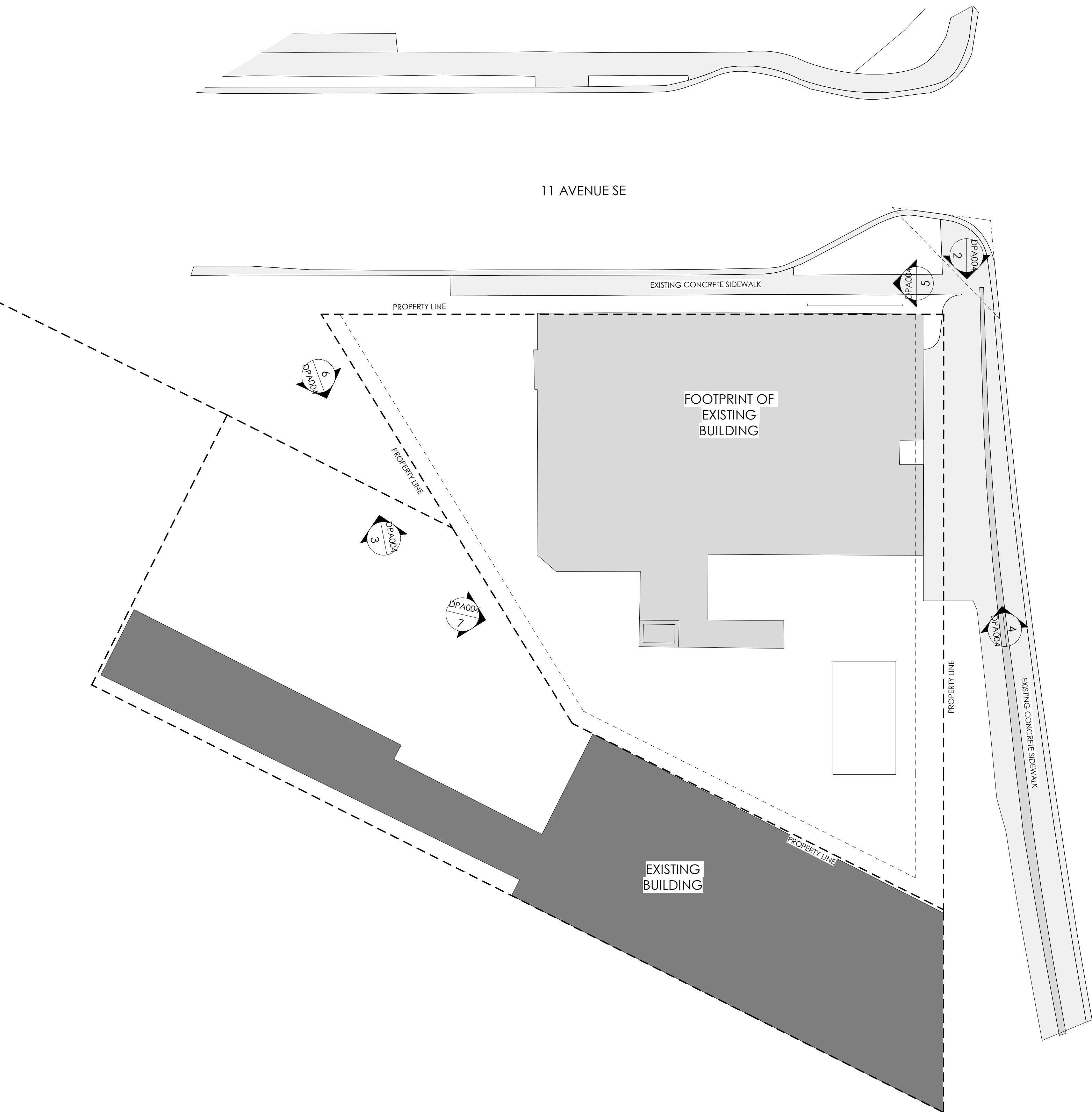
Seal

Client

Project Title
OL' BEAUTIFUL BREWERY REBUILD
1103 12th STREET SE, CALGARY, ALBERTA
T2G 3H7

Drawing Title
PHOTO KEY PLAN

Drawing info		Project Number
Scale	As indicated	2025-023
Date	03/06/26	Drawing Number DPA004
Drawn	KWT	
Checked		
Partner	JS	



1 OVERALL EXISTING SITE PLAN
1 : 200



2 EAST
1 : 10



4 EAST
1 : 10



5 NORTH
1 : 10



3 WEST
1 : 10



6 WEST
1 : 10



7 SOUTH
1 : 10



LANDSCAPE LEGEND

	HARD LANDSCAPE - NEW CONCRETE
	HARD LANDSCAPE - NEW ASPHALT
	SOFT LANDSCAPE - NEW ROUND ROCK MULCH

	BAKERI BLUE SPRUCE - 2.0M HEIGHT <i>Picea pungens 'Bakeri'</i> QUANTITY: 5
	SUTHERLAND CARAGANA - 50mm CALIPER <i>Caragana arboreasens 'Sutherland'</i> QUANTITY: 4
	DWARF MUGO PINE - 600mm SPREAD OR HEIGHT <i>Pinus mugo 'humilis'</i> QUANTITY: 15

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Seal

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1103 12th STREET SE, CALGARY, ALBERTA
T2G 3H7

Drawing Title
EXTERIOR ELEVATIONS

Drawing info	Project Number
Scale 1 : 100	2025-023
Date 06/07/16	Drawing Number
Drawn KWT/ JB	DPA501
Checked	
Partner JS	

EXTERIOR ELEVATION KEYNOTES	
KEYNOTE	DESCRIPTION
01	INSULATED CONCRETE PRECAST PANEL; FINISH: ANTIQUE STAMPED BRICK; COLOUR: OFF-WHITE
02	PREFINISHED VERTICAL CORRUGATED METAL CLADDING; COLOUR: BLACK
03	CEMENT PAVING
04	DOUBLE GLAZED WINDOWS IN THERMALLY BROKEN ANODIZED ALUMINUM CURTAIN WALL FRAMING SYSTEM
05	ANODIZED ALUMINUM DOOR & THERMALLY BROKEN ANODIZED ALUMINUM FRAME
06	INSULATED METAL DOOR & THERMALLY BROKEN PRESSED STEEL FRAME
07	FULLY GLAZED OVERHEAD DOOR; COLOUR: BLACK
08	SECTIONAL STEEL OVERHEAD DOOR; COLOUR: BLACK
09	EXTERIOR METAL GUARDRAIL, MINIMUM HEIGHT: 1070mm; COLOUR: BLACK
10	HORIZONTAL CORRUGATED METAL FENCE, HEIGHT: 2130mm
11	PREFINISHED METAL FLASHING; COLOUR: CHARCOAL
12	ALUMINUM COMPOSITE METAL PANEL CLADDING; COLOUR: CHARCOAL
13	PREFINISHED METAL PLANK SOFFIT; COLOUR: WOOD GRAIN
14	STRUCTURAL STEEL COLUMN, PAINTED; COLOUR: BLACK
15	EXPOSED CONCRETE

