

1 GOOGLE AERIAL PHOTO
NTS

BYLAW REVIEW

BYLAW	CLAUSE	GENERAL	NOTES	OBEYS
PARCEL ZONING				
I-G	907 (2)	PERMITTED USE	(h) GENERAL INDUSTRIAL - LIGHT (m) GENERAL INDUSTRIAL - MED (i) PARKING LOT - GRADE	YES
	908 (2)	DISCRETIONARY USE	(h) OFFICE (i) STORAGE YARD	
SETBACKS				
			M	
I-G	915 (a)	FRONT SETBACKS	WEST	6.00
	916 (1)(b)	REAR SETBACK	EAST	6.00
	917 (1)(b)	SIDE SETBACK	NORTH + SOUTH	1.20
				YES
LANDSCAPE REQ				
		PARCEL AREA	= 10,310.01 M ²	
I-G	918 (1)	(FRONT) SETBACK AREA SHARES PL W STREET	= SOFT SURFACED LANDSCAPED AREA	YES
	918 (1)(b)	(FRONT) SETBACK AREA SHARES PL W STREET	(b-1) 1.0 TREE / 30.0 M ² OF LANDSCAPED AREA LANDSCAPE AREA / 50 M ² = 760.02 M ² / 50 M ² = 15.21 2 (LANDSCAPE AREA / 25) = 2 (760.02 M ² / 35 M ²) = 43.34	TREES REQ = 22 TREES PROV = 22 SHRUBS REQ = 44 SHRUBS PROV = 44
	918 (4)	(REAR) SETBACK AREA SHARES PL W STREET	= SOFT SURFACED LANDSCAPED AREA	YES
	918 (4)(b)	(REAR) SETBACK AREA SHARES PL W STREET	(b-1) 1.0 TREE / 30.0 M ² OF LANDSCAPED AREA LANDSCAPE AREA / 50 M ² = 528.21 M ² / 30 M ² = 17.61 2 (LANDSCAPE AREA / 25) = 2 (528.21 M ² / 35 M ²) = 35.21	TREES REQ = 18 TREES PROV = 18 SHRUBS REQ = 36 SHRUBS PROV = 36
		(b-2) 2.0 SHRUBS / 30.0 M ² OF LANDSCAPED AREA		YES

LANDSCAPE BYLAW REVIEW

BYLAW	CLAUSE	GENERAL	NOTES	OBEYS
PART 8 BYLAW DISCREPANCY 918(1)	918(1)	SETBACK AREA SHARED W/A STREET - (FRONT SETBACK)	BE SOFT SURFACED AND 1 TREE + 2 SHRUBS / 50.0 M ² = 15.20	TREES REQ = 16 SHRUBS REQ = 31
	918(4)	SETBACK AREA SHARED W/ SPECIAL PURPOSE PARCEL (REAR SETBACK)	BE SOFT SURFACED AND 1 TREE + 2 SHRUBS / 50.0 M ² = 15.20	TREES REQ = 11 SHRUBS REQ = 22
	918(4)	SETBACK AREA SHARED W/ INDUSTRIAL PARCEL (SIDE - NORTH - SETBACK)	BE SOFT SURFACED AND 1 TREE + 2 SHRUBS / 50.0 M ² = 15.20	TREES REQ = 3 SHRUBS REQ = 6
	918(4)	SETBACK AREA SHARED W/ INDUSTRIAL PARCEL (SIDE - SOUTH - SETBACK)	BE SOFT SURFACED AND 1 TREE + 2 SHRUBS / 50.0 M ² = 15.20	TREES REQ = 2 SHRUBS REQ = 4
	899(2)	MIN CONIFEROUS REQ	25% OF ALL REQ TREES = 3.8	PROVIDED 11
BYLAW DISCREPANCY 899(4)	899(3)	DECIDUOUS TREES MIN CALLIPER	MIN CALLIPER: 50 MM MIN CALLIPER FOR 50%: 75 MM	PROVIDED REF TO A101
	899(4)	CONIFEROUS TREES MIN HEIGHT	MIN HT: 2.0 M MIN HT FOR 50%: 3.0 M	PROVIDED REF TO A101
	899(5)	MIN HEIGHT OR SPREAD FOR SHRUBS	0.6 M AT TIME OF PLANTING	PROVIDED REF TO A101
BYLAW DISCREPANCY 899	900(1)	LOW WATER IRRIGATION SYSTEM	= ONLY TREES + SHRUBS MUST BE IRRIGATED.	LOW WATER TO BE USED. REFER TO A101.
	900(2)	LOW WATER IRRIGATION SYSTEM	= TREES + SHRUBS W/ SIMILAR WATER CONSUMPTION TO BE GROUPED TOGETHER.	PROVIDED REF TO A101



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2026-01894 JUL 23 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



PROJECT
ANYTIME

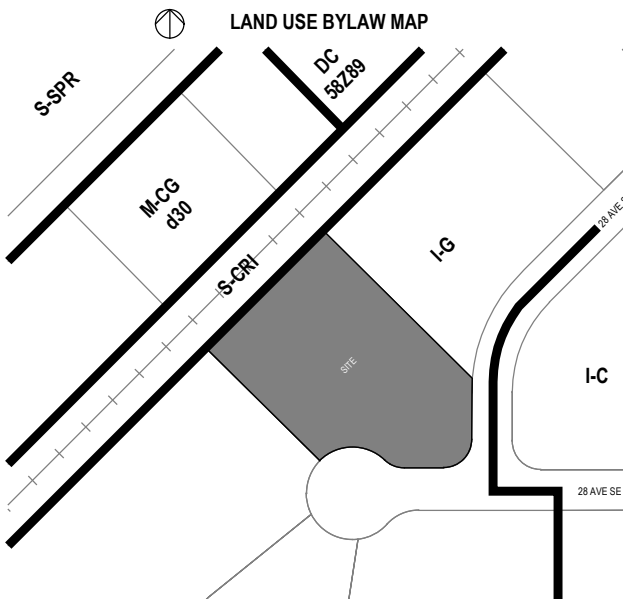
MUNICIPAL ADDRESS: 5214 33 ST SW
CALGARY AB T2E 2T5
LEGAL ADDRESS: 5214 33 ST SW
CALGARY AB T2E 2T5
UNIT 7, CONDOMINIUM PLAN 201 2087
DEVELOPMENT PERMIT NO: 2026-01894
BUILDING PERMIT NO:

NOTES
DO NOT SCALE DRAWINGS. REQUEST VERIFICATION OF DIMENSIONS AS REQUIRED.
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS, DATUMS AND
DIMENSIONS AND SHALL REPORT ANY AND ALL ERRORS AND/OR OMISSIONS TO THE
PRIME CONSULTANT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION
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ISSUED
A IFDP 260330
B IFDP - DR1 260528

REVISION

SEAL

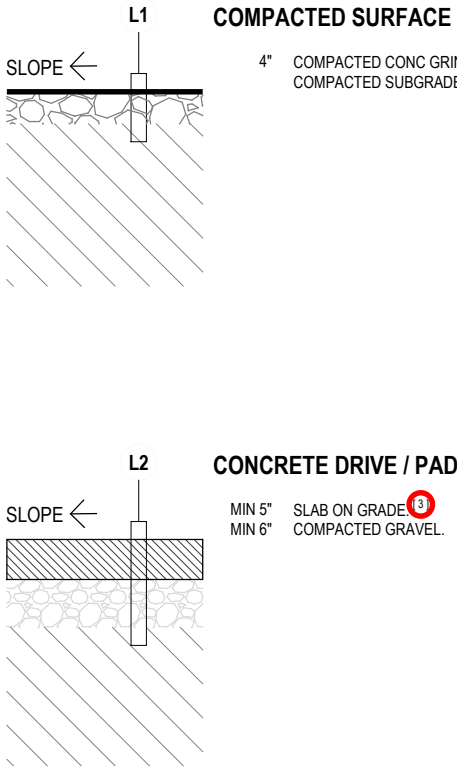


DRAWING TITLE
SITE PHOTOS +
BYLAW REVIEW

DRAWING INFORMATION
PROJECT NO: 2604
SHEET SIZE: 24 X 36"
SCALE: NTS
DRAWN: DV
REVISION:

A001

HARD SURFACE TYPES



LANDSCAPE ASSEMBLY NOTES

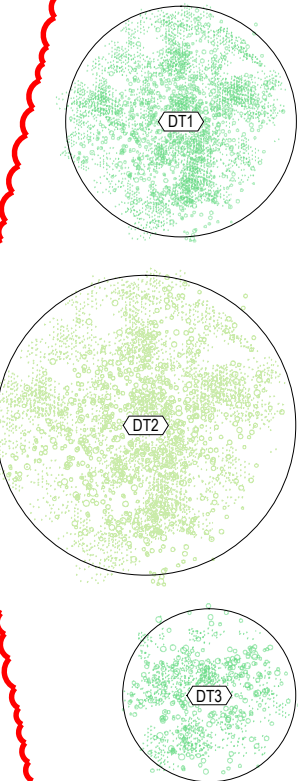
- [1] REFER TO SITE PLAN.
- [2] SLOPE: REFER TO CIVIL DRAWINGS.
- [3] HARDSCAPE MIN BEARING CAPACITY: 80,000 LBS TO SUPPORT CITY OF CALGARY FIRE TRUCK AND A MPA 180 TON LOAD OF 157 KPA (OR PSI) OVER A 2'X2' (4 SF) AREA.
- [4] REFER TO CALGARY PARKS AND OPEN SPACES 2024 SHRUB PLANTING DETAIL - DETAIL SHEET 25.
- [5] REFER TO CALGARY PARKS AND OPEN SPACES 2024 TREE PLANTING DETAIL 40 MM - 100 MM CALIPER TREES - DETAIL SHEET 23.
- [6] REFER TO CALGARY PARKS AND OPEN SPACES 2024 TREE PLANTING DETAIL 40 MM - 100 MM CALIPER TREES SHADE DUG - DETAIL SHEET 24.

PRIOR TO
DECISION
10

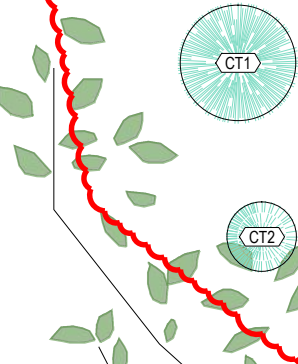
LANDSCAPE LEGEND

BYLAW
DISCREPANCY
898
899(4)

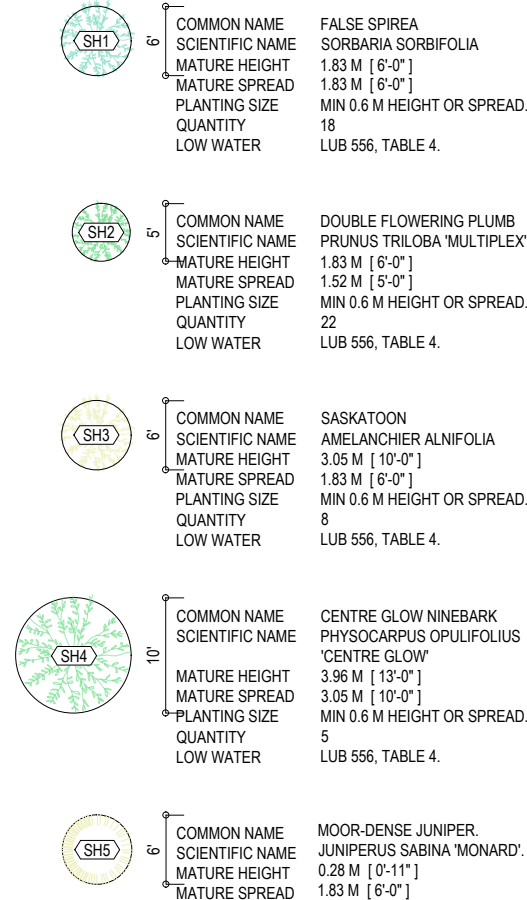
DECIDUOUS TREES



CONIFEROUS TREES



SHRUBS



LANDSCAPE GENERAL NOTES

- 1 ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- 2 ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- 3 ALL PLANTING BEDS TO HAVE A MINIMUM OF 3" (75 MM) DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
- 4 AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION NEAR THE EXISTING PUBLIC TREES IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEMNIFICATION TREE CONTRACTOR AT APPLICANT'S EXPENSE. PLUS COMPENSATION FOR THE REMOVED TREES.
- 5 STANDARD TREE PIT SHALL BE REQUIRED ON ALL SITES W/ < 300 MM LOAM.
- 6 DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING TREE PIT.
- 7 TREES TO BE PLANTED @ GRADE W/ TRUNK FLARE VISIBLE - NO MORE THAN 1" (25 MM) ABOVE GRADE.
- 8 FOR TREE REQUIRING STAKING - STAKE BEYOND EDGE OF ROOT BALL BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING, MIN 400 MM INTO SUB-SOIL BASE. USE 1/2" (12 MM) BRAIDED NYLON STRAP TO PROTECT THE TREE AT POINT OF CONTACT.
- 9 FOR SHADE PLANTED TREES USE RUBBER STRAPS AT END OF GUY WIRES TO PROTECT TREE AT POINT OF CONTACT.
- 10 IF TREE IS IN WIRE BASKET, CUT AND REMOVE STAKING AND THE HORIZONTAL / VERTICAL WIRES OF THE UPPER 1/3 AS A MINIMUM. PULL BACK BURLAP TO THE SAME MINIMUM.
- 11 ALL DEBRIS (BURLAP, WIRES) SHALL BE REMOVED FROM TREE PLANTING HOLE.
- 12 PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE. DO NOT PRUNE HEAVILY AT PLANTING.
- 13 ON SITES OF EXTREME COMPACTION SCAREIFYING IS RECOMMENDED.
- 14 IF SITE IS 300 MM LOAM SHRUB BED EXCAVATION IS NOT REQUIRED.
- 15 MIN TOPSOIL REQ. (B SOD AREAS - 300 MM. (B SHRUBS) TREES - 600 MM.
- 16 ALL SITE TO USE LOW WATER IRRIGATION SYSTEM. IT INCLUDES:
a) A MAIN SENSOR OR SOIL SENSOR.
b) A FLOW SENSOR FOR LEAK DETECTION.
c) A MASTER VALVE TO SECURE THE SYSTEM IF LEAK DETECTED.
- 17 DELIVERY OF WATER CONFINED TO ONLY TREES AND SHRUBS.
- 18 THE BOULEVARD GRADES ADJACENT TO SITE TO REMAIN THE SAME AS THE EXISTING CONDITION.

DISCREPANCY
898



ARCHITECT
2614 33 ST SW
CALGARY AB T2C 2T5

PROJECT
ANYTIME

MUNICIPAL ADDRESS: 5208 26 AVE SE, CALGARY AB T2B 0E7
LEGAL ADDRESS: UNIT 7, CONDOMINIUM PLAN 201 2087
DEVELOPMENT PERMIT NO.: 2026-01894
BUILDING PERMIT NO.:

NOTES
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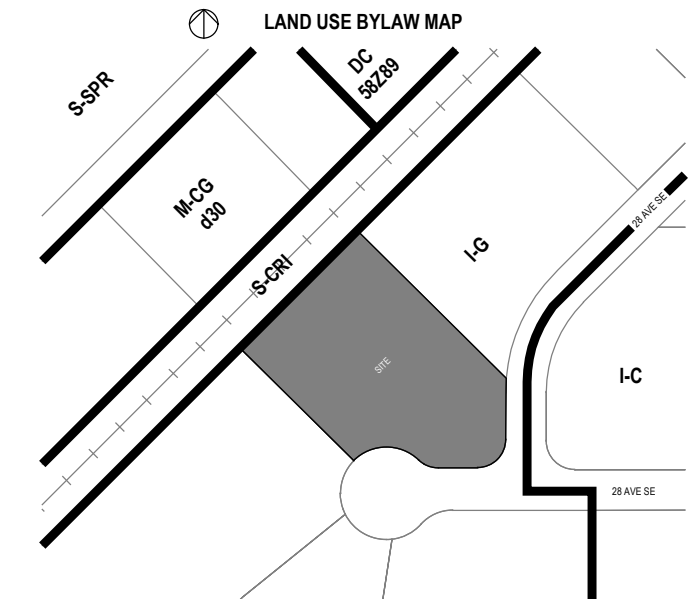
ISSUED
A
B
DATE: 2023-01
REVISED: 2023-02

REVISION

SEAL

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No. DP2026-01894
Date Received: JUL 23 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



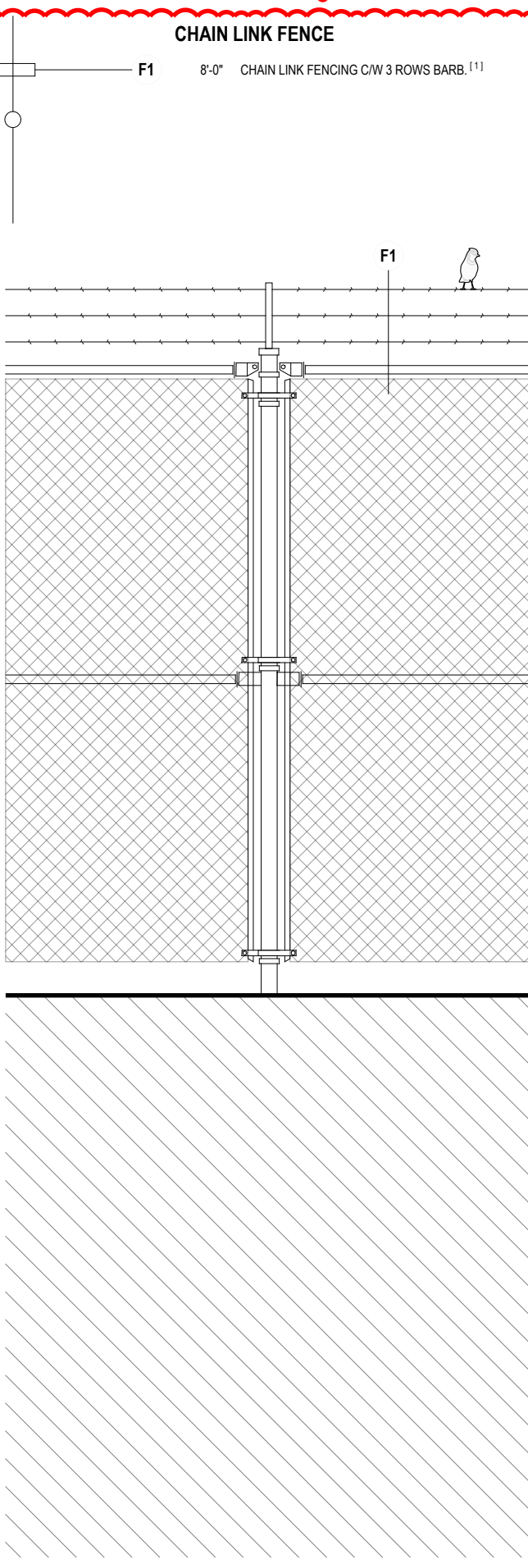
DRAWING TITLE
LANDSCAPE
DETAILS

DRAWING INFORMATION
PROJECT NO: 2604
SHEET SIZE: 24 X 36"
SCALE: 1/2" = 1'-0"
DRAWN: DV
REVISION:

A002

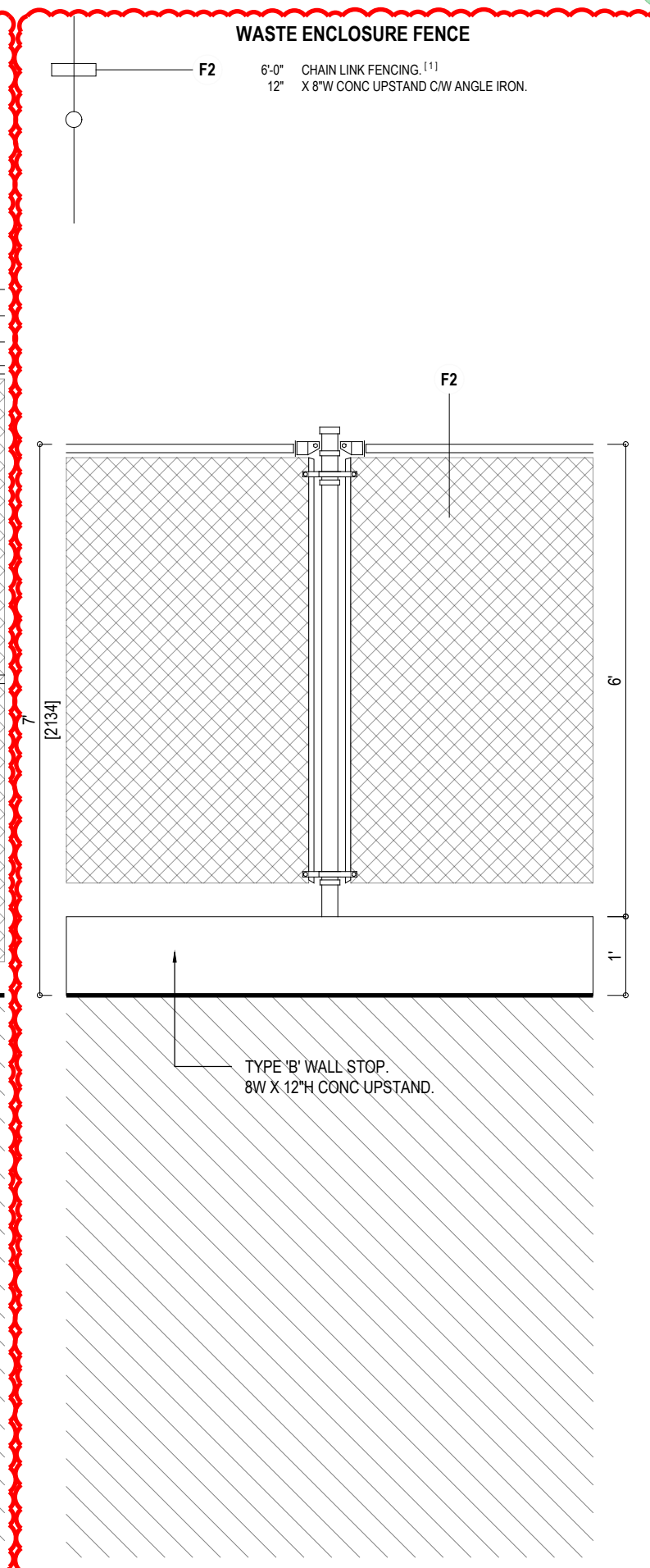
EXT FENCE TYPES

PRIOR TO
DECISION
5

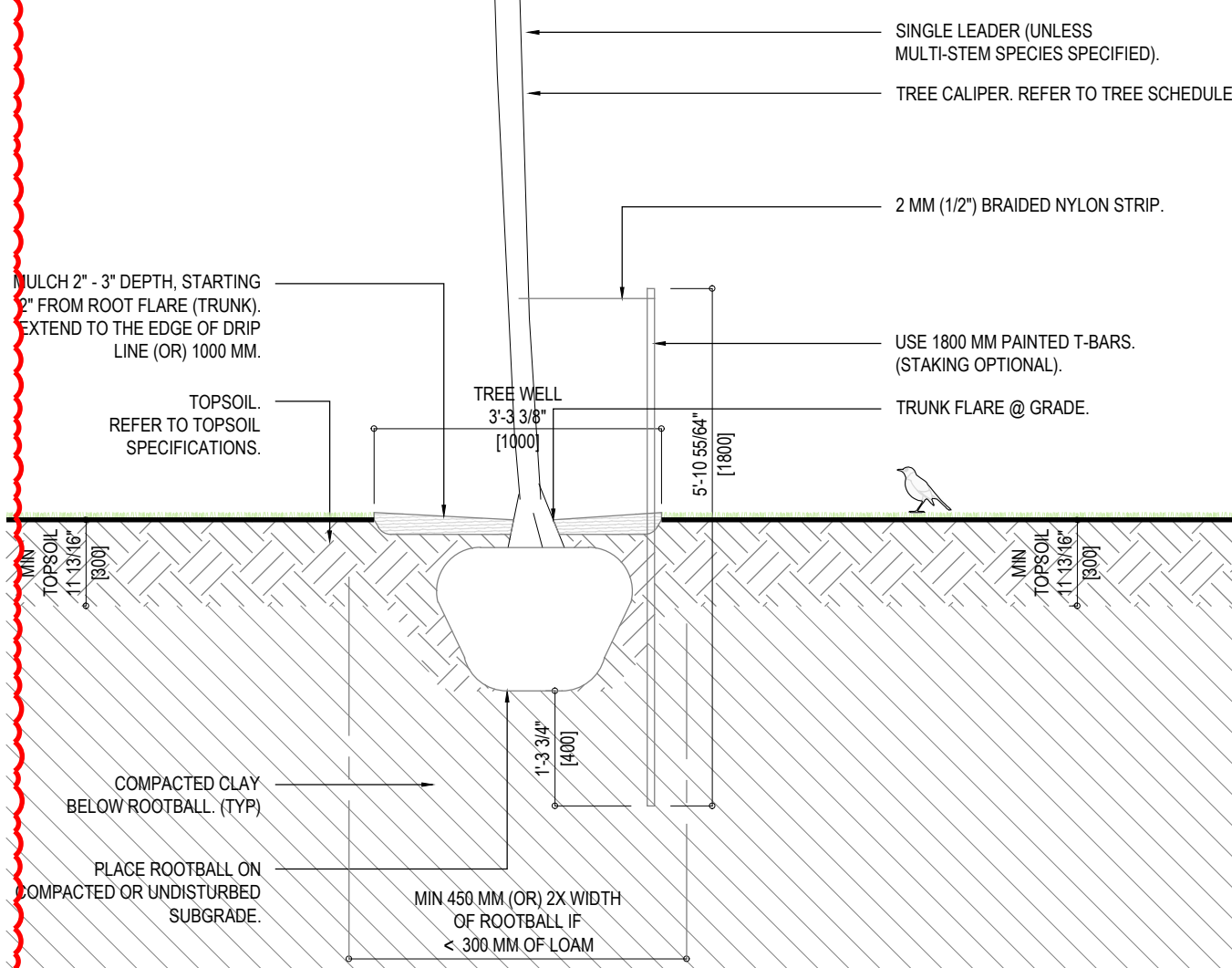


WASTE ENCLOSURE FENCE

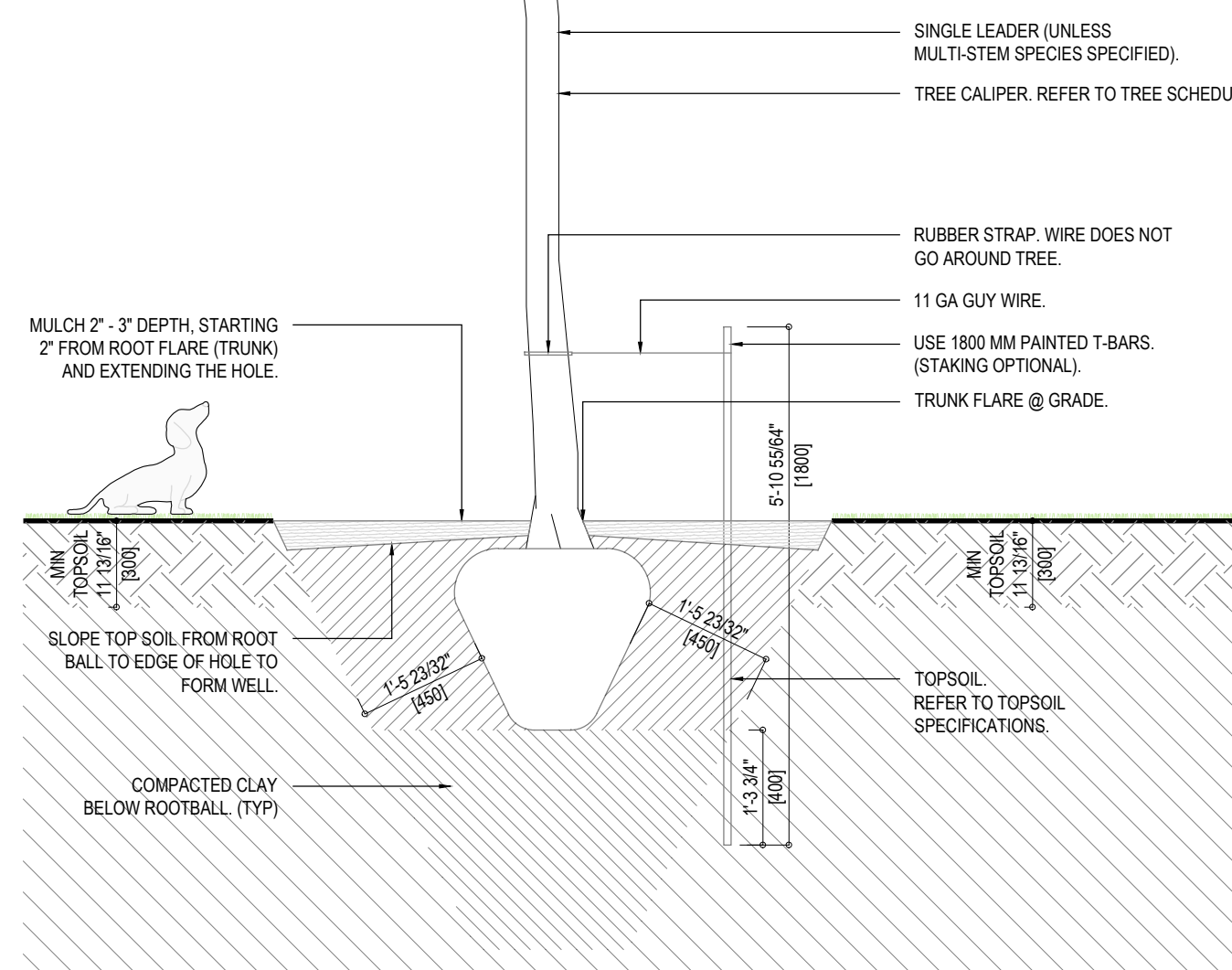
PRIOR TO
DECISION
11



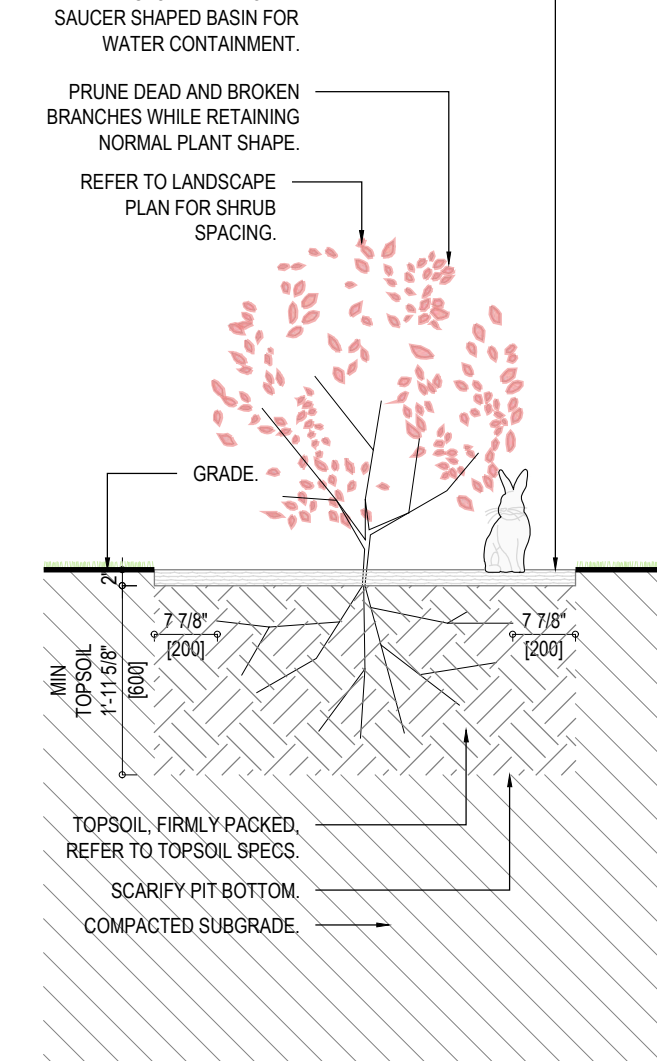
1 BACKHOE DUG TREE SECT⁽¹⁾
1/2" = 1'-0"

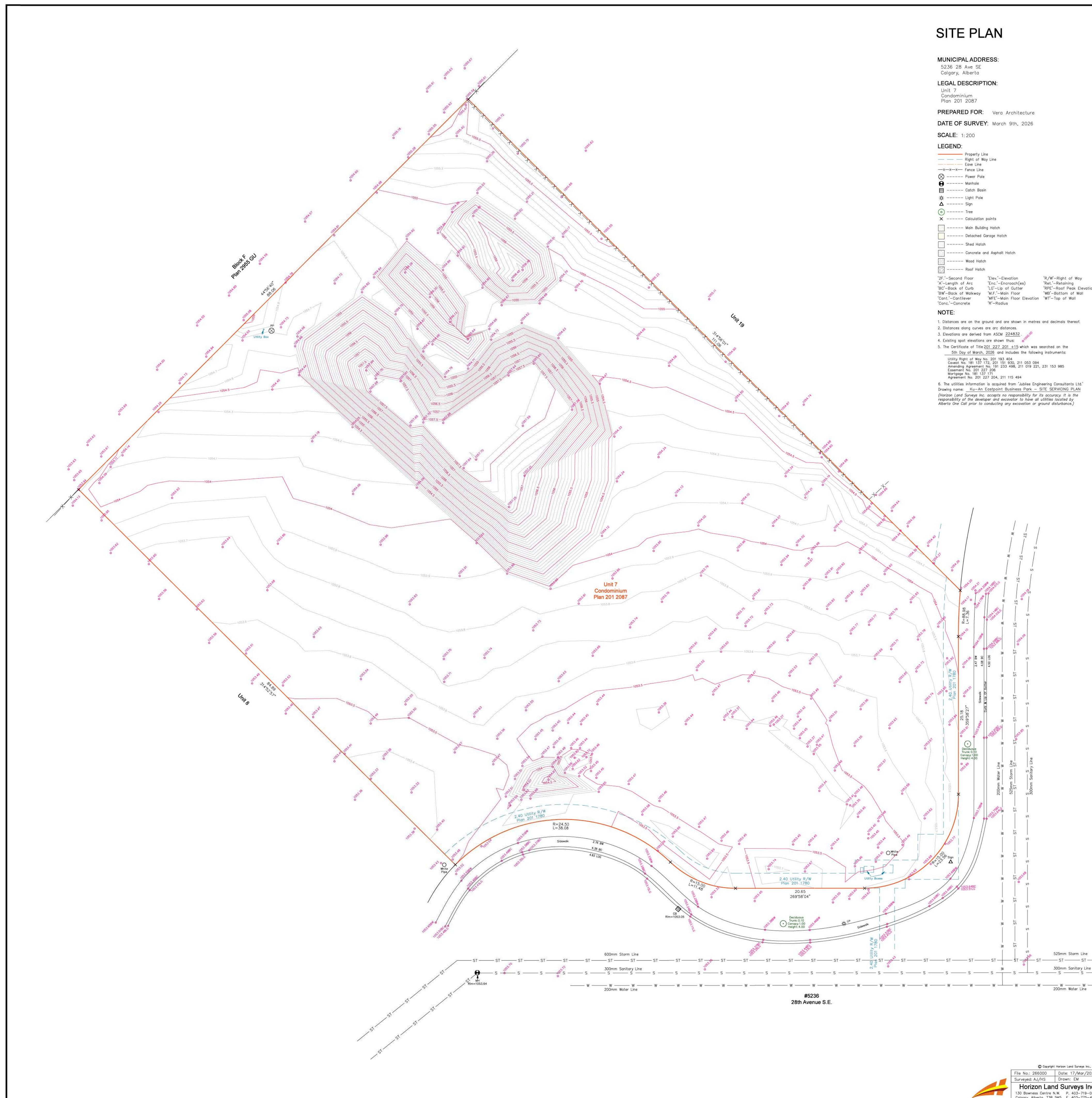


2 SPADE DUG TREE SECT⁽¹⁾
1/2" = 1'-0"



3 SHRUB PIT SECT⁽¹⁾
1/2" = 1'-0"







ARCHITECT
2614 33 ST SW
CALGARY AB T2C 2T5

PROJECT ANYTIME

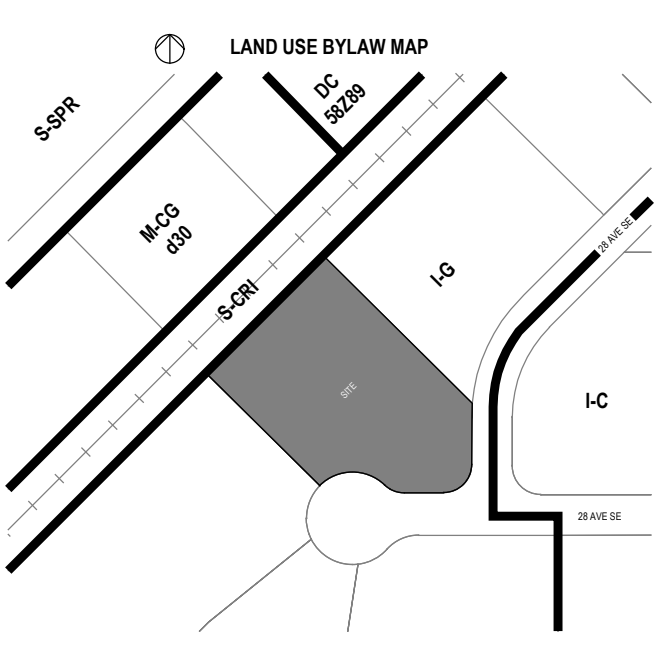
MUNICIPAL ADDRESS: 5236 28 AVE SE, CALGARY AB T2C 0E7
LEGAL ADDRESS: UNIT 7, CONDOMINIUM PLAN 201 2087
DEVELOPMENT PERMIT NO.: 2026-01894
BUILDING PERMIT NO.:

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ISSUED
A IFDP 260330
B IFDP-DR1 260528

REVISION

SEAL

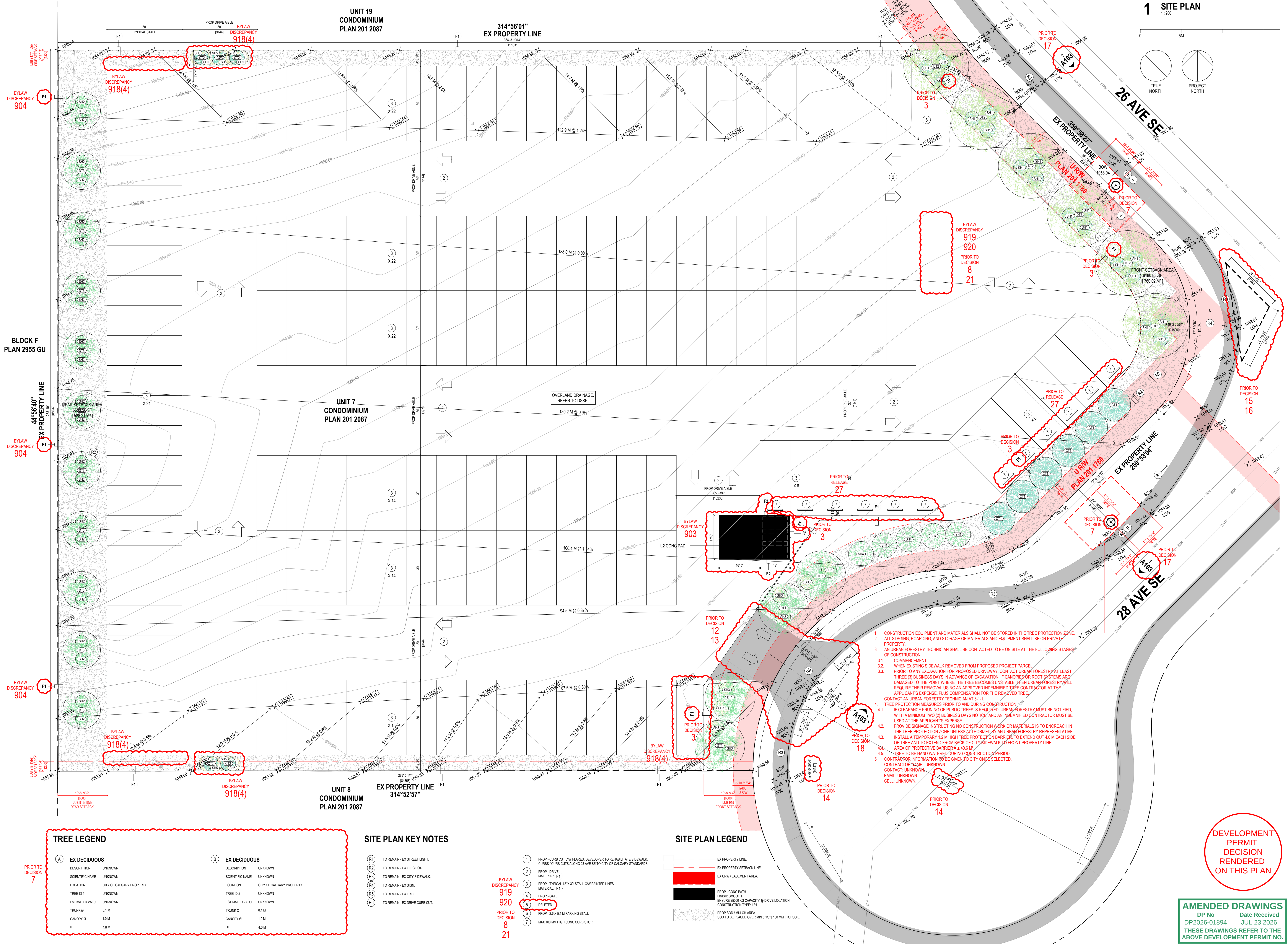
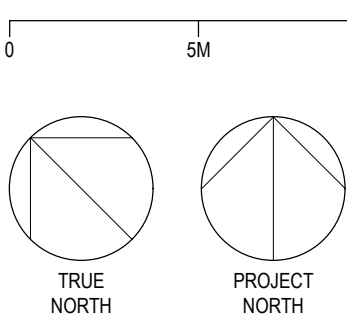


DRAWING TITLE SITE PLAN

DRAWING INFORMATION
PROJECT NO: 2604
SHEET SIZE: 24 X 36"
SCALE: 1:200
DRAWN: DV
REVISION:

A101

1 SITE PLAN 1:200



TREE LEGEND	
A EX DECIDUOUS	B EX DECIDUOUS
DESCRIPTION: UNKNOWN	DESCRIPTION: UNKNOWN
SCIENTIFIC NAME: UNKNOWN	SCIENTIFIC NAME: UNKNOWN
LOCATION: CITY OF CALGARY PROPERTY	LOCATION: CITY OF CALGARY PROPERTY
TREE ID #: UNKNOWN	TREE ID #: UNKNOWN
ESTIMATED VALUE: UNKNOWN	ESTIMATED VALUE: UNKNOWN
TRUNK Ø: 0.1 M	TRUNK Ø: 0.1 M
CANOPY Ø: 1.0 M	CANOPY Ø: 1.0 M
HT: 4.0 M	HT: 4.0 M

SITE PLAN KEY NOTES	
(R1) TO REMAIN - EX STREET LIGHT	(1) PROP - CURB CUT OW FLARES. DEVELOPER TO REHABILITATE SIDEWALK, CURBS / CURB CUTS ALONG 28 AVE SE TO CITY OF CALGARY STANDARDS.
(R2) TO REMAIN - EX ELEC BOX	(2) PROP - DRIVE MATERIAL: F1
(R3) TO REMAIN - EX CITY SIDEWALK	(3) PROP - TYPICAL 12' X 30' STALL COW PAINTED LINES. MATERIAL: F1
(R4) TO REMAIN - EX SIGN	(4) PROP - GATE
(R5) TO REMAIN - EX TREE	(5) DELETED
(R6) TO REMAIN - EX DRIVE CURB CUT	(6) PROP - 2.6 X 5.4 M PARKING STALL
	(7) MAX 100 MM HIGH CONC CURB STOP

SITE PLAN LEGEND	
EX PROPERTY LINE	PROP - CONC PATH, FINISH: SMOOTH
EX PROPERTY SETBACK LINE	PROP - DRIVE MATERIAL: F1
EX URBAN EASEMENT AREA	PROP - 2.6 X 5.4 M PARKING STALL
PROP - CONC PATH, FINISH: SMOOTH	PROP - 2.6 X 5.4 M PARKING STALL
PROP - DRIVE MATERIAL: F1	PROP - 2.6 X 5.4 M PARKING STALL
PROP - 2.6 X 5.4 M PARKING STALL	PROP - 2.6 X 5.4 M PARKING STALL
PROP - 2.6 X 5.4 M PARKING STALL	PROP - 2.6 X 5.4 M PARKING STALL

- CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE. ALL STAGING, HOARDING, AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.
- AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:
 - COMMENCEMENT
 - WHEN EXISTING SIDEWALK REMOVED FROM PROPOSED PROJECT PARCEL
 - PRIOR TO ANY EXCAVATION FOR PROPOSED DRIVEWAY. CONTACT URBAN FORESTRY AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEMNIFIED TREE CONTRACTOR AT THE APPLICANT'S EXPENSE. PLUS COMPENSATION FOR THE REMOVED TREE.
- CONTACT AN URBAN FORESTRY TECHNICIAN AT 5-1-1.
- TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION.
 - IF CLEARANCE PRUNING OF PUBLIC TREES IS REQUIRED, URBAN FORESTRY MUST BE NOTIFIED, WITH A MINIMUM TWO (2) BUSINESS DAYS NOTICE, AND AN INDEMNIFIED CONTRACTOR MUST BE USED AT THE APPLICANT'S EXPENSE.
 - PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIALS IS TO ENCOACH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
 - INSTALL A TEMPORARY 1.2 M HIGH TREE PROTECTION BARRIER TO EXTEND OUT 4.0 M EACH SIDE OF TREE AND TO EXTEND FROM BACK OF CITY SIDEWALK TO FRONT PROPERTY LINE.
 - AREA OF PROTECTIVE BARRIER = 4.0 M²
 - TREE TO BE HAND WATERED DURING CONSTRUCTION PERIOD.
- CONTRACTOR INFORMATION TO BE GIVEN TO CITY ONCE SELECTED.
CONTRACTOR NAME: UNKNOWN
EMAIL: UNKNOWN
CELL: UNKNOWN

DEVELOPMENT PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No: DP2026-01894
Date Received: JUL 23 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



ARCHITECT

2614 33 ST SW
CALGARY AB T2E 2T5

PROJECT

ANYTIME

MUNICIPAL ADDRESS: 5236 SE AVE SE, CALGARY AB T2E 0E7 LEGAL ADDRESS: UNIT 7, CONDOMINIUM PLAN 201 2087

DEVELOPMENT PERMIT NO: 2026-01894

BUILDING PERMIT NO:

NOTES

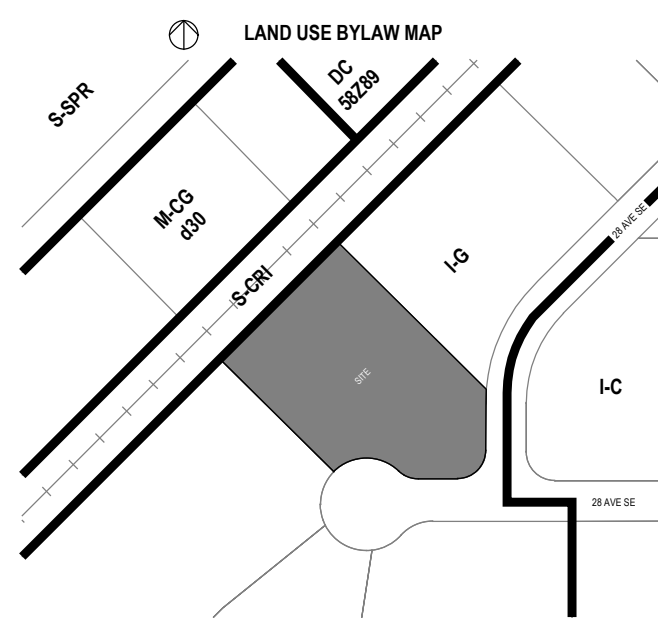
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ISSUED

A IFDP 260330
B IFDP - DR1 260528

REVISION

SEAL



DRAWING TITLE

VEHICLE PLAN

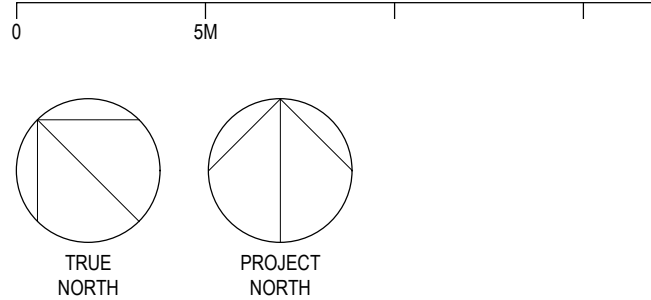
DRAWING INFORMATION

PROJECT NO 2604
SHEET SIZE 24 X 36"
SCALE 1:200
DRAWN DV
REVISION

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2026-01894 JUL 23 2026
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ABOVE DEVELOPMENT PERMIT NO.

1 SITE PLAN
1:200



26 AVE SE

28 AVE SE

UNIT 19
CONDOMINIUM
PLAN 201 2087

UNIT 7
CONDOMINIUM
PLAN 201 2087

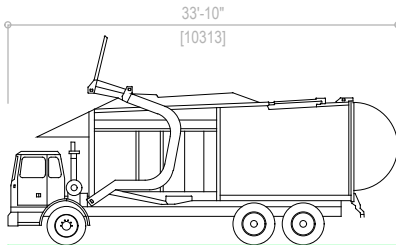
UNIT 8
CONDOMINIUM
PLAN 201 2087

BLOCK F
PLAN 2955 GU

VEHICLE LEGEND

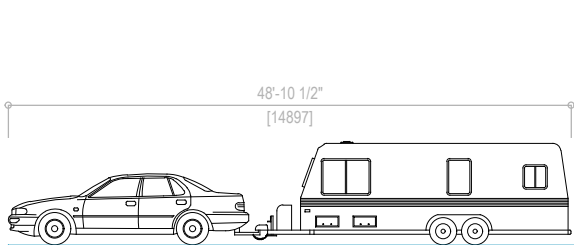
WASTE COLLECTION TRUCK - EDMONTON 2018 (CA)

WIDTH 8.53 FT
TRACK 8.53 FT
LOCK TO LOCK TIME 6.00 SEC
STEERING ANGLE 27.65°



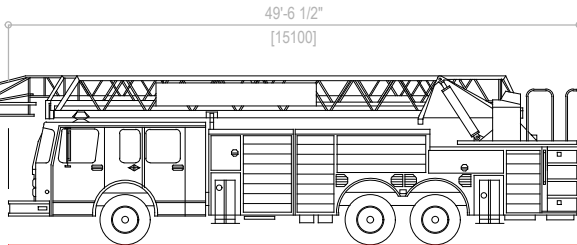
ALBERTA INFRA-GHDC 1999 (CA)

CAR WIDTH 8.46 FT
TRAILER WIDTH 8.53 FT
LOCK TO LOCK TIME 6.00 SEC
STEERING ANGLE 32.10°
ARTICULATING ANGLE 70.00°

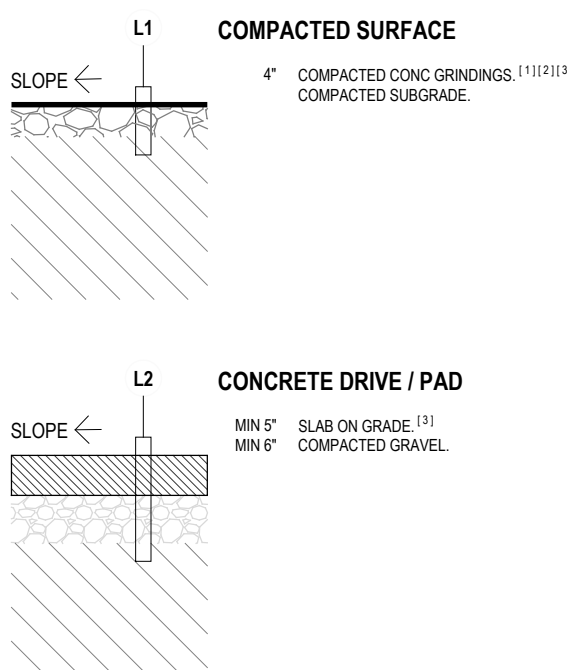


FIRE TRUCK - EDMONTON 2018 (CA)

WIDTH 8.53 FT
TRACK 8.53 FT
LOCK TO LOCK TIME 6.00 SEC
STEERING ANGLE 32.62°



HARD SURFACE TYPES



LANDSCAPE ASSEMBLY NOTES

- REFER TO SITE PLAN.
- SLOPE: REFER TO CIVIL DRAWINGS.
- HARDSCAPE MIN BEARING CAPACITY: 85,000 LBS TO SUPPORT CITY OF CALGARY FIRE TRUCK AND A MPA 1801 POINT LOAD OF 517 KPA (75 PSI) OVER A 2.092 SF (4 SF) AREA.
- REFER TO CALGARY PARKS AND OPEN SPACES 2024, SHRUB PLANTING DETAIL - DETAIL SHEET 25.
- REFER TO CALGARY PARKS AND OPEN SPACES 2024, TREE PLANTING DETAIL 40 MM - 100 MM CALIPER TREES - DETAIL SHEET 23.
- REFER TO CALGARY PARKS AND OPEN SPACES 2024, TREE PLANTING DETAIL 40 MM - 100 MM CALIPER TREES: SPACE DIV - DETAIL SHEET 24.

PRIOR TO
DECISION
19

PRIOR TO
DECISION
20

PRIOR TO
DECISION
19