

1 GOOGLE AERIAL PHOTO
NTS

BYLAW REVIEW

BYLAW	CLAUSE	GENERAL	NOTES	OBEYS
PARCEL ZONING	I-G 907 (2)	PERMITTED USE	(h) GENERAL INDUSTRIAL - LIGHT (m) GENERAL INDUSTRIAL - MED (i) PARKING LOT - GRADE	YES
	908 (2)	DISCRETIONARY USE	(h) OFFICE (i) STORAGE YARD	
SETBACKS	I-G 915 (a)	FRONT SETBACKS	WEST	6.00
	916 (1)(b)	REAR SETBACK	EAST	6.00
	917 (1)(b)	SIDE SETBACK	NORTH + SOUTH	1.20
LANDSCAPE REQ		PARCEL AREA	= 10,310.01 M ²	
	I-G 918 (1)	(FRONT) SETBACK AREA SHARES PL W STREET	= SOFT SURFACED LANDSCAPED AREA	
	918 (1)(b)	(FRONT) SETBACK AREA SHARES PL W STREET	(b-1) 1.0 TREE / 30.0 M ² OF LANDSCAPED AREA LANDSCAPE AREA / 50 M ² = 760.02 M ² / 50 M ² = 15.20 (b-2) 2.0 SHRUBS / 35.0 M ² OF LANDSCAPED AREA 2 (LANDSCAPE AREA / 25) = 2 (760.02 M ² / 35 M ²) = 43.34	TREES REQ = 15 SHRUBS REQ = 31
	918 (4)	(REAR) SETBACK AREA SHARES PL W STREET	= SOFT SURFACED LANDSCAPED AREA	
	918 (4)(b)	(REAR) SETBACK AREA SHARES PL W STREET	(b-1) 1.0 TREE / 30.0 M ² OF LANDSCAPED AREA LANDSCAPE AREA / 50 M ² = 760.02 M ² / 50 M ² = 15.20 (b-2) 2.0 SHRUBS / 35.0 M ² OF LANDSCAPED AREA 2 (LANDSCAPE AREA / 25) = 2 (760.02 M ² / 35 M ²) = 43.34	TREES REQ = 15 SHRUBS REQ = 31

LANDSCAPE BYLAW REVIEW

BYLAW	CLAUSE	GENERAL	NOTES	OBEYS
PART 8 BYLAW DISCREPANCY 918(1)	918(1)	SETBACK AREA SHARED W/A STREET (FRONT SETBACK)	BE SOFT SURFACED AND 1 TREE + 2 SHRUBS / 50.0 M ²	TREES REQ = 16 SHRUBS REQ = 31
	918(4)	SETBACK AREA SHARED W/ SPECIAL PURPOSE PARCEL (REAR SETBACK)	BE SOFT SURFACED AND 1 TREE + 2 SHRUBS / 50.0 M ²	TREES REQ = 11 SHRUBS REQ = 22
	918(4)	SETBACK AREA SHARED W/ INDUSTRIAL PARCEL (SIDE - NORTH - SETBACK)	BE SOFT SURFACED AND 1 TREE + 2 SHRUBS / 50.0 M ²	TREES REQ = 3 SHRUBS REQ = 6
	918(4)	SETBACK AREA SHARED W/ INDUSTRIAL PARCEL (SIDE - SOUTH - SETBACK)	BE SOFT SURFACED AND 1 TREE + 2 SHRUBS / 50.0 M ²	TREES REQ = 2 SHRUBS REQ = 4
	899(2)	MIN CONIFEROUS REQ	25% OF ALL REQ TREES	PROVIDED 11
	899(3)	DECIDUOUS TREES MIN CALIPER	MIN CALIPER: 50 MM MIN CALIPER FOR 50%: 75 MM	PROVIDED REF TO A101
BYLAW DISCREPANCY 899(4)	899(4)	CONIFEROUS TREES MIN HEIGHT	MIN HT: 2.0 M MIN HT FOR 50%: 3.0 M	PROVIDED REF TO A101
	899(5)	MIN HEIGHT OR SPREAD FOR SHRUBS	0.6 M AT TIME OF PLANTING	PROVIDED
BYLAW DISCREPANCY 898	900(1)	LOW WATER IRRIGATION SYSTEM	= ONLY TREES - SHRUBS MUST BE IRRIGATED	LOW WATER TO BE USED REFER TO A101
	900(2)	LOW WATER IRRIGATION SYSTEM	= TREES + SHRUBS W/ SIMILAR WATER CONSUMPTION TO BE GROUPED TOGETHER	PROVIDED REF TO A101



PROJECT ANYTIME

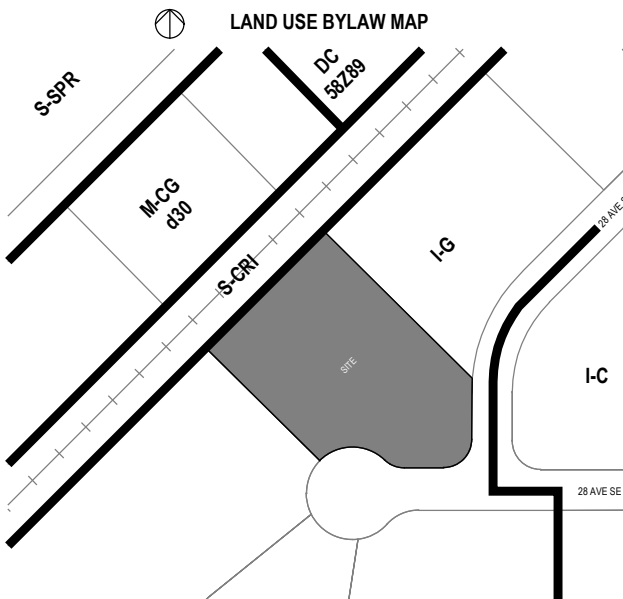
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CALGARY AB T2E 2T5
LEGAL ADDRESS: 5214 33 ST SW
CALGARY AB T2E 2T5
UNIT 7, CONDOMINIUM PLAN 201 2087
DEVELOPMENT PERMIT NO: 2028-0184
BUILDING PERMIT NO:

NOTES
DO NOT SCALE DRAWINGS. REQUEST VERIFICATION OF DIMENSIONS AS REQUIRED. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS, DATUMS AND DIMENSIONS AND SHALL REPORT ANY AND ALL ERRORS AND / OR OMISSIONS TO THE PRIME CONSULTANT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS AND ANY OTHER CONSULTANT'S DRAWINGS THAT MAY BE APPLICABLE. COPYRIGHT RESERVED. ALL PARTS OF THIS DRAWING ARE THE EXCLUSIVE PROPERTY OF VERA ARCHITECTURE INC. AND SHALL NOT BE USED OR REPRODUCED WITHOUT THEIR PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SO APPROVED.

ISSUED
A IFDP 260320
B IFDP - DR1 260528

REVISION

SEAL



DRAWING TITLE SITE PHOTOS + BYLAW REVIEW

DRAWING INFORMATION
PROJECT NO: 2604
SHEET SIZE: 24 X 36"
SCALE: NTS
DRAWN: DV
REVISION:

A001



ARCHITECT
2614 33 ST SW
CALGARY AB T2C 2T5

PROJECT ANYTIME

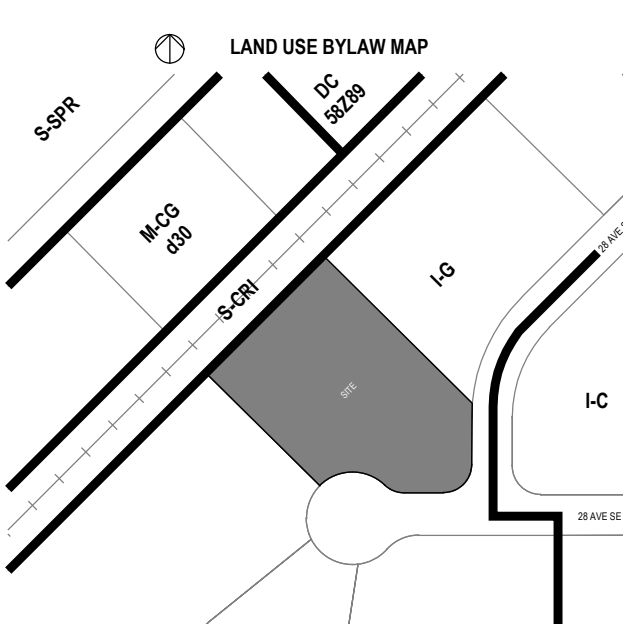
MUNICIPAL ADDRESS: 5236 28 AVE SE, CALGARY AB T2C 0E7
LEGAL ADDRESS: UNIT 7, CONDOMINIUM PLAN 201 2087
DEVELOPMENT PERMIT NO.: 2026-0184
BUILDING PERMIT NO.:

NOTES
DO NOT SCALE DRAWINGS. REQUEST VERIFICATION OF DIMENSIONS AS REQUIRED.
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS, DATUMS AND DIMENSIONS AND SHALL REPORT ANY AND ALL ERRORS AND/OR OMISSIONS TO THE PRIME CONSULTANT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS AND ANY OTHER CONSULTANT DRAWINGS THAT MAY BE APPLICABLE. COPYRIGHT RESERVED. ALL PARTS OF THIS DRAWING ARE THE EXCLUSIVE PROPERTY OF VERA ARCHITECTURE INC. AND SHALL NOT BE USED OR REPRODUCED WITHOUT THEIR PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SO APPROVED.

ISSUED
A IFP 260330
B IFP-DR1 260528

REVISION

SEAL

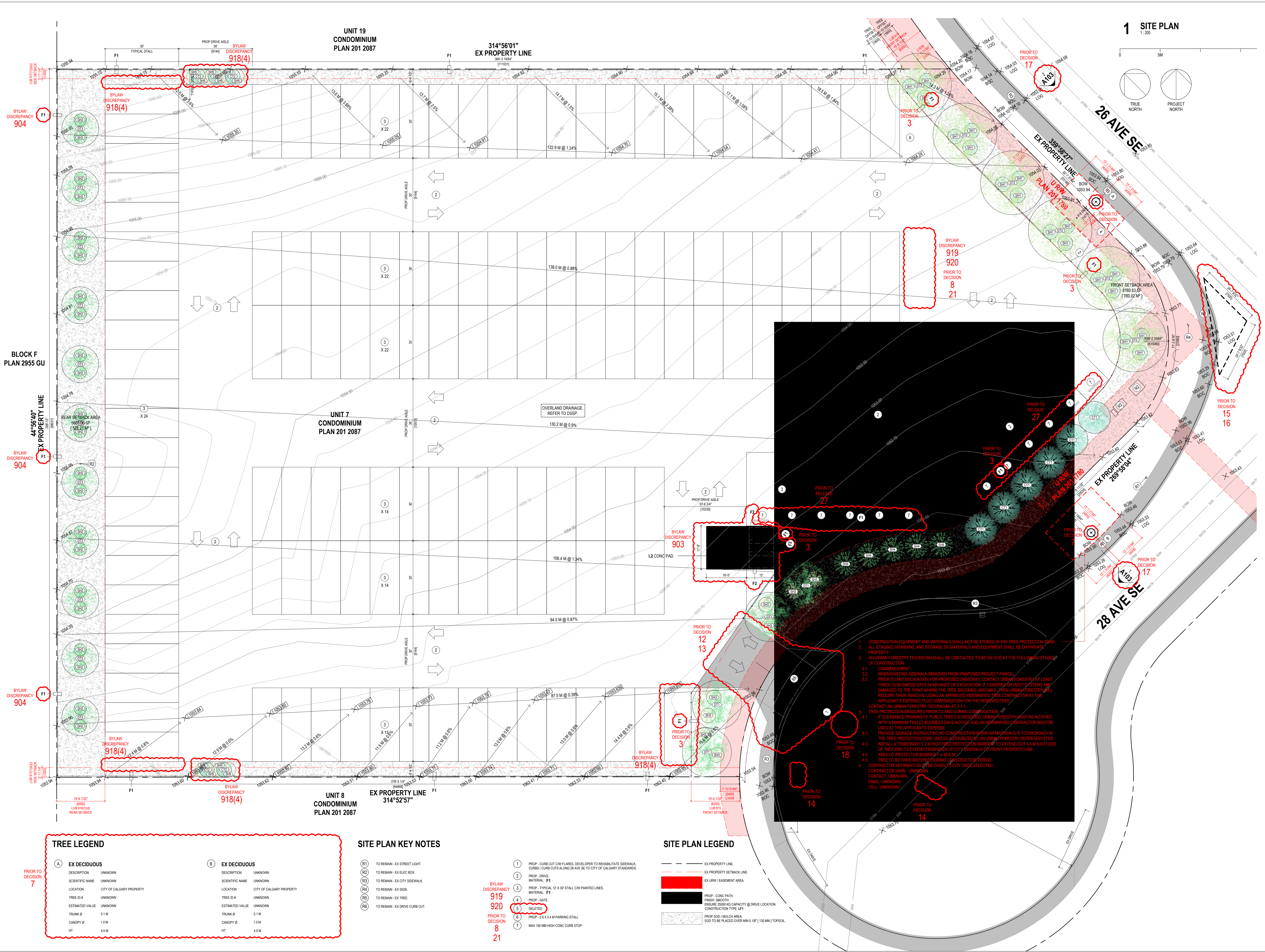
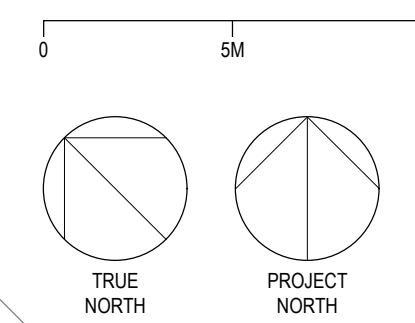


DRAWING TITLE SITE PLAN

DRAWING INFORMATION
PROJECT NO: 2604
SHEET SIZE: 24 X 36"
SCALE: 1:200
DRAWN: DV
REVISION:

A101

1 SITE PLAN 1:200



TREE LEGEND		
EX DECIDUOUS		
DESCRIPTION	UNKNOWN	
SCIENTIFIC NAME	UNKNOWN	
LOCATION	CITY OF CALGARY PROPERTY	
TREE ID #	UNKNOWN	
ESTIMATED VALUE	UNKNOWN	
TRUNK Ø	0.1 M	
CANOPY Ø	1.0 M	
HT	4.0 M	

SITE PLAN KEY NOTES		
(R1)	TO REMAIN - EX STREET LIGHT	
(R2)	TO REMAIN - EX ELEC BOX	
(R3)	TO REMAIN - EX CITY SIDEWALK	
(R4)	TO REMAIN - EX SIGN	
(R5)	TO REMAIN - EX TREE	
(R6)	TO REMAIN - EX DRIVE CURB CUT	

SITE PLAN LEGEND		
(1)	PROP - CURB CUT OW FLARES. DEVELOPER TO REHABILITATE SIDEWALK, CURBS / CURB CUTS ALONG 28 AVE SE TO CITY OF CALGARY STANDARDS.	
(2)	PROP - DRIVE MATERIAL: F1	
(3)	PROP - TYPICAL 12' X 30' STALL COW PAINTED LINES MATERIAL: F1	
(4)	PROP - GATE	
(5)	DELETED	
(6)	PROP - 2.6 X 5.4 M PARKING STALL	
(7)	MAX 100 MM HIGH CONC CURB STOP	

- CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
- ALL STAGING, HOARDING, AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.
- AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:
 1. COMMENCEMENT
 2. WHEN EXISTING SIDEWALK REMOVED FROM PROPOSED PROJECT PARCEL
 3. PRIOR TO ANY EXCAVATION FOR PROPOSED DRIVEWAY. CONTACT URBAN FORESTRY AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEMNIFIED TREE CONTRACTOR AT THE APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREE.
- CONTACT AN URBAN FORESTRY TECHNICIAN AT 3-1-1.
- IF CLEARANCE PRUNING OF PUBLIC TREES IS REQUIRED, URBAN FORESTRY MUST BE NOTIFIED, WITH A MINIMUM TWO (2) BUSINESS DAYS NOTICE, AND AN INDEMNIFIED CONTRACTOR MUST BE USED AT THE APPLICANT'S EXPENSE.
- PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIALS IS TO ENCR OACH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
- INSTALL A TEMPORARY 1.2 M HIGH TREE PROTECTION BARRIER TO BE LOCATED OUT 1.0 M EACH SIDE OF TREE AND TO EXTEND FROM BACK OF CITY SIDEWALK TO FRONT PROPERTY LINE.
- AREA OF PROTECTIVE BARRIER = 40.6 M²
- TREE TO BE HAND WATERED DURING CONSTRUCTION PERIOD.
- CONTRACTOR INFORMATION TO BE GIVEN TO CITY ONCE SELECTED.
- CONTRACTOR NAME: UNKNOWN
- CONTACT: UNKNOWN
- EVAL: UNKNOWN
- CELL: UNKNOWN