



ARCHITECT
2614 33 ST SW
CALGARY AB T2E 2T5

PROJECT
ANYTIME

MUNICIPAL ADDRESS: 5236 SW AVE SE, CALGARY AB T2B 0E7 LEGAL ADDRESS: UNIT 7, CONDOMINIUM PLAN 201 2087

DEVELOPMENT PERMIT NO: BUILDING PERMIT NO:

NOTES

DO NOT SCALE DRAWINGS. REQUEST VERIFICATION OF DIMENSIONS AS REQUIRED. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS, DATUMS AND DIMENSIONS AND SHALL REPORT ANY AND ALL ERRORS AND/OR OMISSIONS TO THE PRIME CONSULTANT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS AND ANY OTHER CONSULTANTS DRAWINGS THAT MAY BE APPLICABLE. © COPYRIGHT RESERVED. ALL PARTS OF THIS DRAWING ARE THE EXCLUSIVE PROPERTY OF VERA ARCHITECTURE INC. AND SHALL NOT BE USED OR REPRODUCED WITHOUT THEIR PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SO APPROVED.

ISSUED

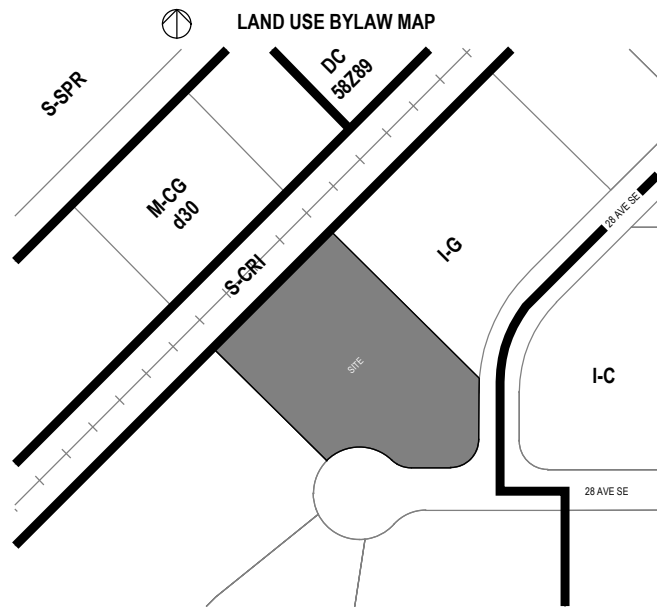
A	IFP	260330
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REVISION

SEAL

ANYTIME

ISSUED FOR DP 260330

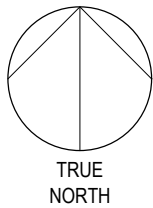


DRAWING TITLE
TITLE SHEET

DRAWING INFORMATION

PROJECT NO	2604
SHEET SIZE	24 X 36"
SCALE	
DRAWN	DV
REVISION	

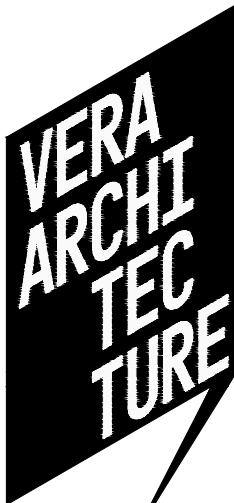
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1 GOOGLE AERIAL PHOTO
NTS

BYLAW REVIEW

BYLAW	CLAUSE	GENERAL	NOTES	OBEYS
PARCEL ZONING				
I-G	907 (2)	PERMITTED USE	(h) GENERAL INDUSTRIAL - LIGHT (m) GENERAL INDUSTRIAL - MED (i) PARKING LOT - GRADE	YES
	908 (2)	DISCRETIONARY USE	(h) OFFICE (i) STORAGE YARD	
SETBACKS				
I-G	915 (a)	FRONT SETBACKS	WEST	6.00
	916 (1)(b)	REAR SETBACK	EAST	6.00
	917 (1)(b)	SIDE SETBACK	NORTH + SOUTH	1.20
LANDSCAPE REQ				
I-G	918 (1)	(FRONT) SETBACK AREA SHARES PL W STREET	= SOFT SURFACED LANDSCAPED AREA	
	918 (1)(b)	(FRONT) SETBACK AREA SHARES PL W STREET	(b) 1: 1.0 TREE / 35.0 M ² OF LANDSCAPED AREA LANDSCAPE AREA / 35 M ² = 760.02 M ² / 35 M ² = 21.71	TREES REQ = 22 TREES PROV = 22
	918 (4)	(REAR) SETBACK AREA SHARES PL W STREET	= SOFT SURFACED LANDSCAPED AREA	
	918 (4)(b)	(REAR) SETBACK AREA SHARES PL W STREET	(b) 2: 2.0 SHRUBS / 35.0 M ² OF LANDSCAPED AREA LANDSCAPE AREA / 35 M ² = 538.21 M ² / 35 M ² = 17.81	SHRUBS REQ = 44 SHRUBS PROV = 44
	918 (4)(b)	(REAR) SETBACK AREA SHARES PL W STREET	(b) 1: 1.0 TREE / 30.0 M ² OF LANDSCAPED AREA LANDSCAPE AREA / 30 M ² = 538.21 M ² / 30 M ² = 17.81	TREES REQ = 18 TREES PROV = 18
	918 (4)(b)	(REAR) SETBACK AREA SHARES PL W STREET	(b) 2: 2.0 SHRUBS / 30.0 M ² OF LANDSCAPED AREA LANDSCAPE AREA / 30 M ² = 538.21 M ² / 30 M ² = 17.81	SHRUBS REQ = 36 SHRUBS PROV = 36



ARCHITECT

5514 33 ST SW
CALGARY AB T2C 2T5

PROJECT

ANYTIME

MUNICIPAL ADDRESS: 5238 28 AVE SE, CALGARY AB T2B 0E7
LEGAL ADDRESS: UNIT 7, CONDOMINIUM PLAN 201 2087

DEVELOPMENT PERMIT NO.:
BUILDING PERMIT NO.:

NOTES

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ISSUED

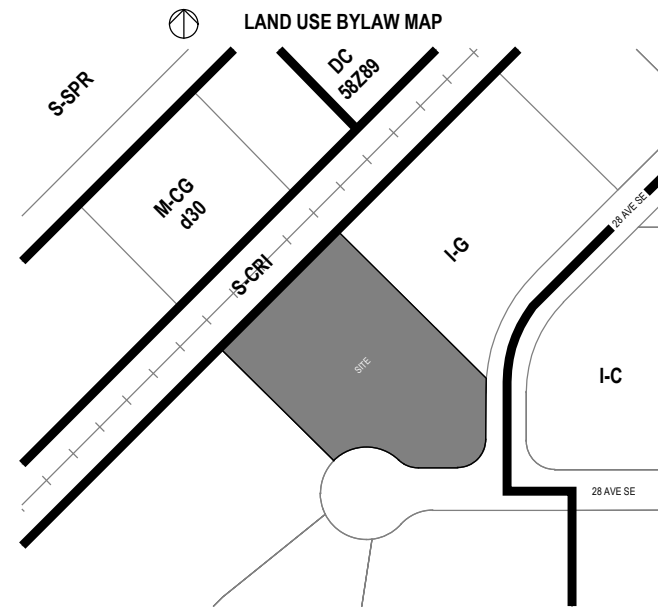
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IFP

260330

REVISION

SEAL



DRAWING TITLE
SITE PHOTOS +
BYLAW REVIEW

DRAWING INFORMATION

PROJECT NO: 2604
SHEET SIZE: 24 X 36"
SCALE: NTS
DRAWN: DV
REVISION:

A001



ARCHITECT
2614 33 ST SW
CALGARY AB T2E 2T5

PROJECT

ANYTIME

MUNICIPAL ADDRESS: 5236 28 AVE SE, CALGARY AB T2B 0E7 UNIT 7, CONDOMINIUM PLAN 201 2087

DEVELOPMENT PERMIT NO:

BUILDING PERMIT NO:

NOTES

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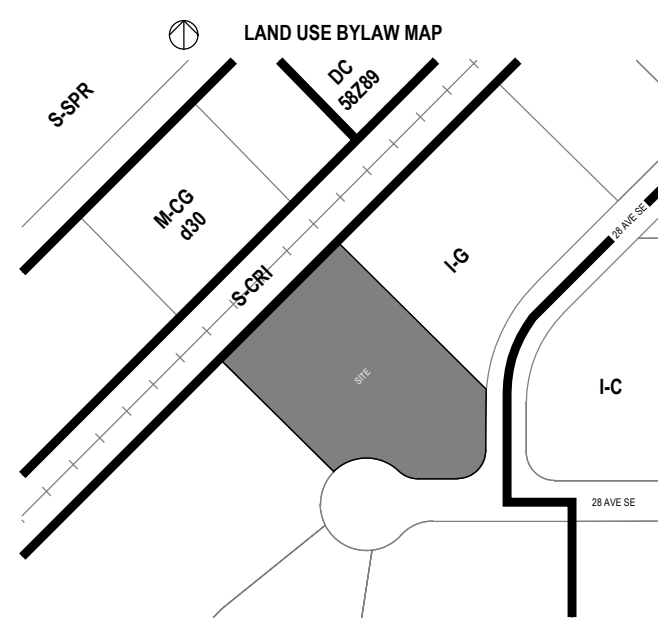
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FILED

260300

REVISION

SEAL



DRAWING TITLE
SURVEY

DRAWING INFORMATION

PROJECT NO: 2604
SHEET SIZE: 24 X 36"
SCALE: NTS
DRAWN:
REVISION:

A100

PROJECT
ANYTIME

MUNICIPAL ADDRESS: 5206 28 AVE SE, CALGARY AB T2S 0E7 UNIT 7, CONDOMINIUM PLAN 201 2087

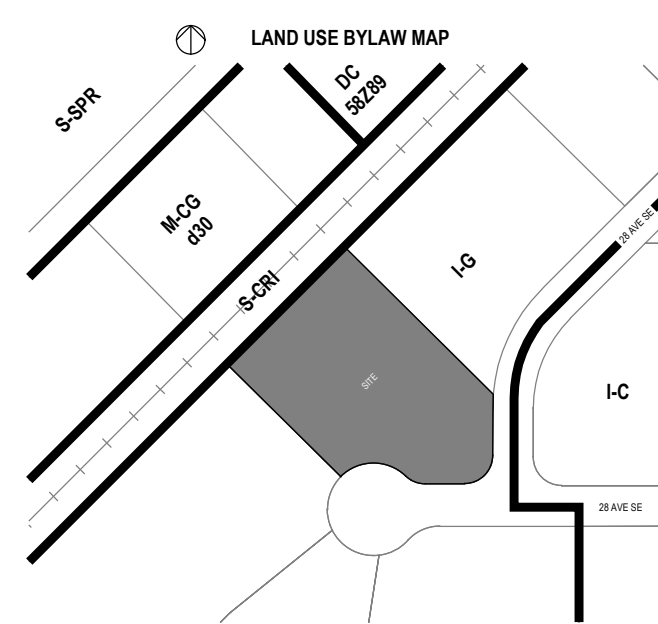
DEVELOPMENT PERMIT NO.: BUILDING PERMIT NO.:

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REVISION

SEAL

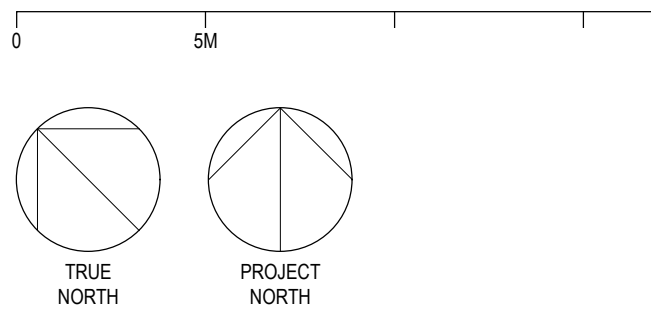


DRAWING TITLE
SITE PLAN

DRAWING INFORMATION
PROJECT NO: 2604
SHEET SIZE: 24 X 36"
SCALE: 1:200
DRAWN: DV
REVISION:

A101

1 SITE PLAN
1:200



- CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN THE TREE PROTECTION ZONE.
 - ALL STAGING, HANDLING, AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY.
 - AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:
 - COMMENCEMENT
 - WHEN EXISTING SIDEWALK REMOVED FROM PROPOSED PROJECT PARCEL
 - PRIOR TO ANY EXCAVATION FOR PROPOSED DRIVEWAY. CONTACT URBAN FORESTRY AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEFINITE TREE CONTRACTOR AT THE APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREE.
 - CONTACT AN URBAN FORESTRY TECHNICIAN AT 3-1-1.
 - TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION.
 - IF CLEARANCE PRUNING OF PUBLIC TREES IS REQUIRED, URBAN FORESTRY MUST BE NOTIFIED, WITH A MINIMUM TWO (2) BUSINESS DAYS NOTICE, AND AN INDEFINITE CONTRACTOR MUST BE USED AT THE APPLICANT'S EXPENSE.
 - PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIALS TO ENCRoACH IN THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
 - INSTALL A TEMPORARY 1.2 M HIGH TREE PROTECTION BARRIER TO EXTEND OUT 4.0 M EACH SIDE OF TREE AND TO EXTEND FROM BACK OF CITY SIDEWALK TO FRONT PROPERTY LINE.
 - AREA OF PROTECTIVE BARRIER - 4.0 M IF
 - TREE TO BE HAND WATERED DURING CONSTRUCTION PERIOD.
 - CONTRACTOR INFORMATION TO BE GIVEN TO CITY ONCE SELECTED.
- CONTRACTOR NAME: UNKNOWN
CONTACT: UNKNOWN
EMAIL: UNKNOWN
CELL: UNKNOWN

LANDSCAPE LEGEND

CONIFEROUS TREES

COMMON NAME: SWISS STONE PINE
SCIENTIFIC NAME: PINUS CEMBRA
MATURE HEIGHT: 10.0 M (33'-0")
MATURE SPREAD: 3.0 M (10'-0")
PLANTING SIZE: 85 MM CAL
QUANTITY: 11

SHRUBS

COMMON NAME: FALSE SPirea
SCIENTIFIC NAME: SORBARIA SORBIFOLIA
MATURE HEIGHT: 1.8 M (6'-0")
MATURE SPREAD: 1.8 M (6'-0")
PLANTING SIZE: MIN 0.6 M HEIGHT OR SPREAD
QUANTITY: 24

DECIDUOUS TREES

COMMON NAME: HOT WINGS TATARIAN MAPLE
SCIENTIFIC NAME: ACER TATARICUM
MATURE HEIGHT: 7.0 M (23'-0")
MATURE SPREAD: 7.0 M (23'-0")
PLANTING SIZE: 85 MM CAL
QUANTITY: 5

COMMON NAME: NORTHERN ACCLAIM
SCIENTIFIC NAME: HONEYLOCUST
MATURE HEIGHT: 12.0 M (40'-0")
MATURE SPREAD: 9.0 M (30'-0")
PLANTING SIZE: 85 MM CAL
QUANTITY: 6

COMMON NAME: PRAIRIE SPIRE GREEN ASH
SCIENTIFIC NAME: FRAXINUS PENNSYLVANICA 'RUGBY'
MATURE HEIGHT: 14.0 M (46'-0")
MATURE SPREAD: 9.0 M (30'-0")
PLANTING SIZE: 85 MM CAL
QUANTITY: 16

COMMON NAME: CENTRE GLOW NINEBARK
SCIENTIFIC NAME: PHYSCARPUS OPULENSIS
MATURE HEIGHT: 1.8 M (6'-0")
MATURE SPREAD: 2.1 M (7'-0")
PLANTING SIZE: MIN 0.6 M HEIGHT OR SPREAD
QUANTITY: 32

COMMON NAME: NORTHERN GOLD FORSYTHIA
SCIENTIFIC NAME: FORSYTHIA NORTHERN GOLD
MATURE HEIGHT: 1.8 M (6'-0")
MATURE SPREAD: 1.8 M (6'-0")
PLANTING SIZE: MIN 0.6 M HEIGHT OR SPREAD
QUANTITY: 10

COMMON NAME: CENTRE GLOW NINEBARK
SCIENTIFIC NAME: PHYSCARPUS OPULENSIS
MATURE HEIGHT: 1.8 M (6'-0")
MATURE SPREAD: 2.1 M (7'-0")
PLANTING SIZE: MIN 0.6 M HEIGHT OR SPREAD
QUANTITY: 32

**UNIT 19
CONDOMINIUM
PLAN 201 2087**

**314°56'01"
EX PROPERTY LINE**

**UNIT 7
CONDOMINIUM
PLAN 201 2087**

**UNIT 8
CONDOMINIUM
PLAN 201 2087**

**EX PROPERTY LINE
314°52'57"**

SITE PLAN KEY NOTES

- (D1) TO DEMOLISH - EX TREE TO BE REMOVED TO MAKE WAY FOR NEW DRIVE.
(D2) TO DEMOLISH - EX SIDEWALK C/W EX CURB TO MAKE WAY FOR NEW DRIVE.
(R1) TO REMAIN - EX STREET LIGHT.
(R2) TO REMAIN - EX ELEC BOX.
(R3) TO REMAIN - EX CITY SIDEWALK.
(R4) TO REMAIN - EX SIGN.
(R5) TO REMAIN - EX TREE.

- (1) PROP. CURB CUT C/W FLARES. DEVELOPER TO REHABILITATE SIDEWALK, CURBS / CURB CUTS ALONG 28 AVE SE TO CITY OF CALGARY STANDARDS.
(2) PROP. DRIVE MATERIAL: F1
(3) PROP. TYPICAL 12 X 30" STALL C/W PAINTED LINES. MATERIAL: F1
(4) PROP. CONC PATH FINISH: SMOOTH
(5) PROP. - 30' MOBILE OFFICE.
(6) PROP. - 2.6 X 5.4 M PARKING STALL.

SITE PLAN LEGEND

- EX PROPERTY LINE.
EX PROPERTY SETBACK LINE.
EX URBV EASEMENT AREA.
PROP. DRIVE.
PROP. CONC PATH.
PROP. SOD / MULCH AREA.
SOD TO BE PLACED OVER MIN 5 1/8" (130 MM) TOPSOIL.

TREE LEGEND

- (A) EX DECIDUOUS
DESCRIPTION: UNKNOWN
SCIENTIFIC NAME: UNKNOWN
LOCATION: CITY OF CALGARY PROPERTY
TREE ID #: UNKNOWN
ESTIMATED VALUE: UNKNOWN
TRUNK Ø: 0.1 M
CANOPY Ø: 1.0 M
HT: 4.0 M

- (B) EX DECIDUOUS
DESCRIPTION: UNKNOWN
SCIENTIFIC NAME: UNKNOWN
LOCATION: CITY OF CALGARY PROPERTY
TREE ID #: UNKNOWN
ESTIMATED VALUE: UNKNOWN
TRUNK Ø: 0.1 M
CANOPY Ø: 1.0 M
HT: 4.0 M