



**OSPREY STREET TOWNS
BUILDING #11, LOTS 16-20, BLOCK 4, PHASE 1**

PROFESSIONAL INVOLVEMENT

ALVIN VILLAR
AV ARCHITECTURE LTD.
27 COUGARSTONE COMMON SW
CALGARY, ALBERTA T3H 5P5
PHONE: 403-560-6037

DEVELOPER

AVI LAND CORPORATION INC.
(ACTING AS DEVELOPMENT
MANAGER FOR OSPREY HILL
LIMITED PARTNERSHIP)
245 FORGE ROAD S.E.
CALGARY, ALBERTA T2H 0S9
PHONE: 403-536-7000
FAX: 403-536-7001
www.homesbyavi.com

The subdivision file is SB2022-0278
Development agreement: 2024-0016
Construction Drawings: CD2022-0193

BUILDER

HOMES BY AVI (CALGARY)
GP INC. ON BEHALF OF
HOMES BY AVI (CALGARY) LP
245 FORGE ROAD S.E.
CALGARY, ALBERTA T2H 0S9
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GRADING

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GP INC. ON BEHALF OF
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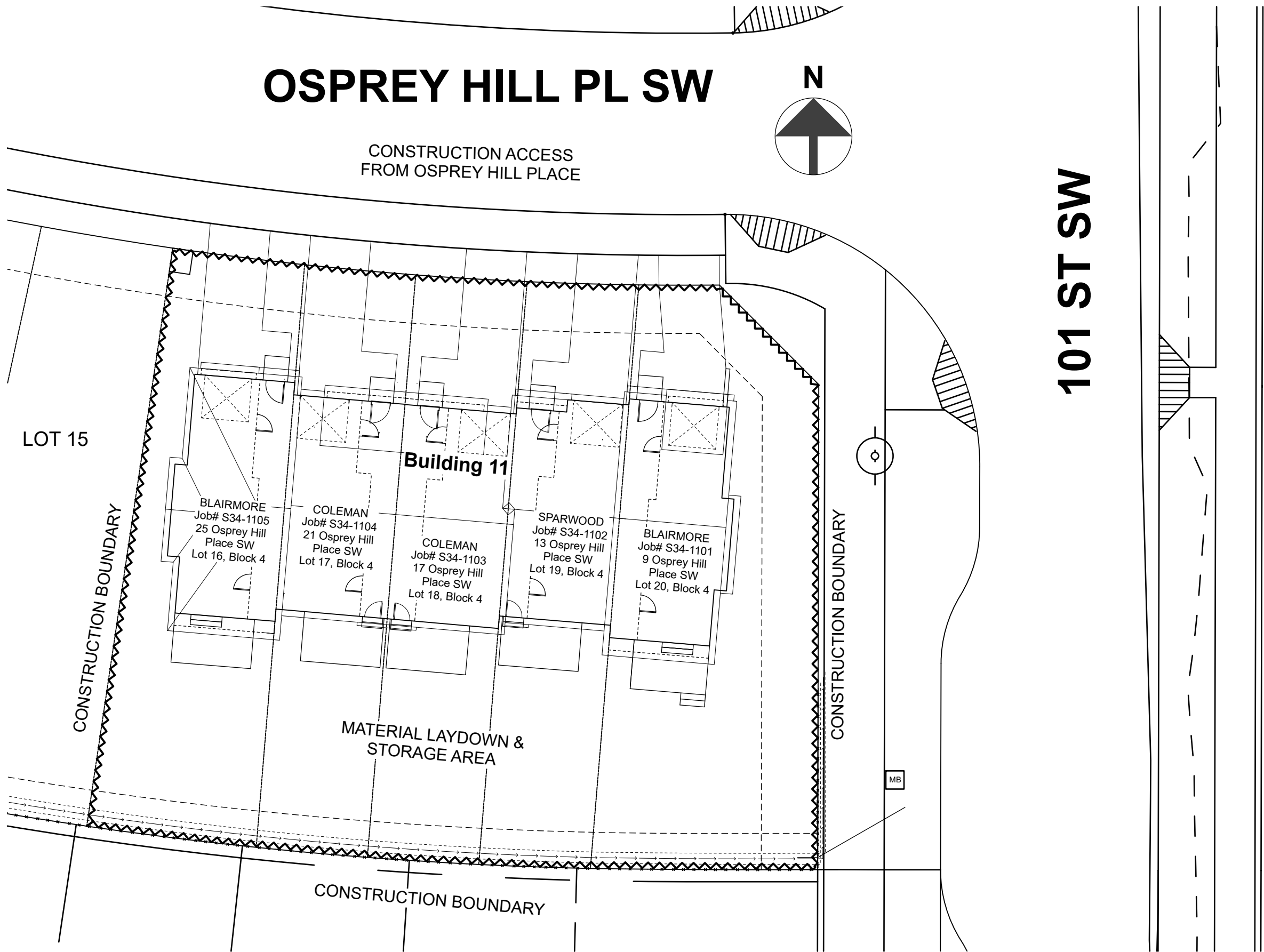
A000	COVER PAGE
A101-A102	KEY PLAN - INFORMATION, SITE PLAN & GRADING PLAN
A201-A206	BUILDING 11 ELEVATIONS & FLOOR PLANS
A301-A303	SECTIONS



1

KEY PLAN - OSPREY STREET TOWNS - BUILDING 11

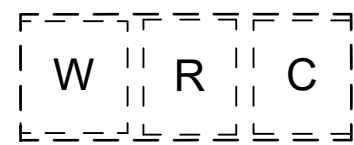
SCALE: 1:200



GARBAGE & RECYCLING COLLECTION

GARBAGE, RECYCLING AND COMPOST BY BLUE/BLACK/GREEN BIN
PICK UP FROM THE FRONT CURB (STREET)

2100mm x 800mm



PARKING REQUIREMENTS

REQUIRED: 1.0 MOTOR VEHICLE PARKING STALLS PER
DWELLING UNIT
5 DWELLING UNITS X 1.0 STALL(S) = 5 PARKING STALLS REQUIRED

PROVIDED: 5 MOTOR VEHICLE PARKING STALLS IN A
PRIVATE GARAGE

PROJECT INFORMATION

LEGAL DESCRIPTION: LOTS 16-20, BLOCK 4, PLAN (791 1036)
OSPREY HILL PHASE 1

CIVIC ADDRESSES: 9 Osprey Hill Place SW to 25 Osprey Hill Place SW
DEVELOPMENT AGREEMENT: DA2024-0016
SITE INFORMATION REFERENCE: CD2022-0193

TOTAL SITE AREA LOTS 16-20, BLOCK 4: 981.447M² (0.098144 HA)
UNITS PER HECTARE: 5/0.100 = 50.0 (60)

ZONING: DC154D2021 (BASED ON R-G)
LAND USE: PERMITTED USE - FEE-SIMPLE ROW HOUSE BUILDING
AVPA - OUTSIDE AVPA
FLOODWAY - NOT WITHIN FLOODWAY

BUILDING AREAS

BUILDING 11 - 312.154 M² GFA: 615.94 M²
TOTAL SITE AREA - 981.447 M²

FLOOR AREA RATIO (FAR): 615.94 M² / 981.447M² = 0.63

DENSITY

MAXIMUM ALLOWED: ONE MAIN RESIDENTIAL BUILDING PER PARCEL
PROPOSED: ONE MAIN RESIDENTIAL BUILDING PER PARCEL

PARCEL AREA

MINIMUM PARCEL AREA PER DWELLING UNIT: 100M² (DC)

PROPOSED:
BUILDING 11:

LOT 16: 218.495 M²
LOT 17: 160.584 M²
LOT 18: 160.614 M²
LOT 19: 160.780 M²
LOT 20: 280.974M²

PARCEL COVERAGE

MAX. ALLOWABLE PARCEL COVERAGE:
BUILDINGS - 60%

PROPOSED SITE COVERAGE:

LOT 16: 30.110 %
LOT 17: 37.524 %
LOT 18: 37.524 %
LOT 19: 37.320 %
LOT 20: 23.431 %

SET BACKS & MAXIMUM HEIGHT

MAXIMUM HEIGHT: 12 M
PROPOSED: SEE ELEVATIONS

MINIMUM FRONT YARD: 1.00 M
MINIMUM REAR YARD: 5.00 M (LANELESS PARCEL)
MINIMUM SIDE YARD: 1.20 M
MINIMUM CORNER: 1.00 M

OUTDOOR AMENITY AREA REQUIREMENTS:

REQUIRED (R-G): 22 M² WITH NO DIMENSION LESS THAN 3.0M (MAIN DWELLING)
PROVIDED: REAR YARD BETWEEN DWELLING & REAR PROPERTY LINE (TYPICAL)
SEE SITE PLAN FOR LOCATIONS.

DRIVEWAY WIDTH:

REQUIRED (R-G): COMBINED WIDTH OF ALL DRIVEWAYS ACCESSING A STREET
MUST NOT BE WIDER THAN THE PARCEL WIDTH LESS 3.0M.

MAX. PERMITTED:

LOT 16: 7.54 M - 3.00M = 4.54 M PROVIDED: 3.00M
LOT 17: 5.54M - 3.00M = 2.54M PROVIDED: 3.00M (RELAXATION REQUESTED)
LOT 18: 5.54M - 3.00M = 2.54M PROVIDED: 3.00M (RELAXATION REQUESTED)
LOT 19: 5.54M - 3.00M = 2.54M PROVIDED: 3.00M (RELAXATION REQUESTED)
LOT 20 : 10.31M - 3.00M = 7.31M PROVIDED: 3.00M

ADDITIONAL INFORMATION

POTENTIAL SERVICE LOCATIONS (SEE METER DETAILS)

W.W. WINDOW WELL LOCATIONS IF APPLICABLE (1.78m x .76m U.N.O.)



HOMES BY AVI INC.

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GENERAL NOTES

2	DP RESUBMISSION JULY 17, 2026
1	DP SUBMISSION MARCH 25, 2026
0	AC SUBMISSION MARCH 30, 2026
REVISIONS	

OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

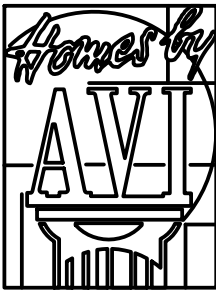
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TSD	AS NOTED
ISSUED	DATE
DP SUBMISSION	JUL 17, 2026
PROJECT NUMBER	DRAWN BY
S34-1101 - S34-1105	SU
DRAWING TITLE	

Key Plan

DRAWING NUMBER

A101

DEVELOPMENT
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DECISION
RENDERED
ON THIS PLAN



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GENERAL NOTES

REFER TO GRADING SECTION FOR SIDEWALK
RISER LOCATION AND GRADING STANDARDS.

ALL DISCREPANCIES WITHIN THESE DRAWINGS
ARE TO BE NOTED TO HOMES BY AVI PRIOR TO
CONSTRUCTION.

ALL SURFACE FEATURES ARE NOT NOTED ON
THESE PLANS AND MAY OR MAY NOT BE
PRESENT, I.E. UTILITY BOXES, FIRE HYDRANTS
AND LIGHT STANDARDS, ETC.

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OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

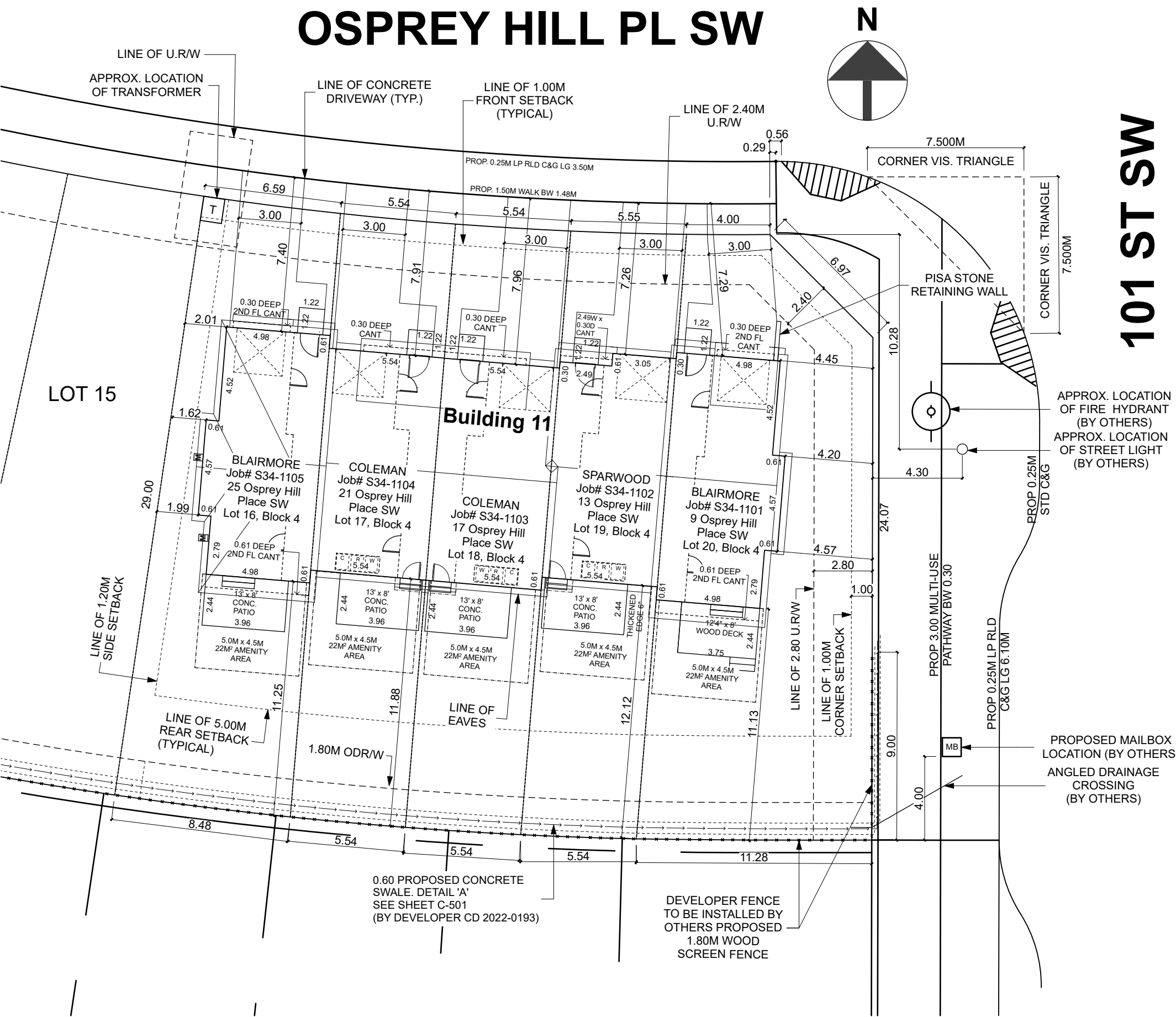
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Site Plan & Grading

DRAWING NUMBER

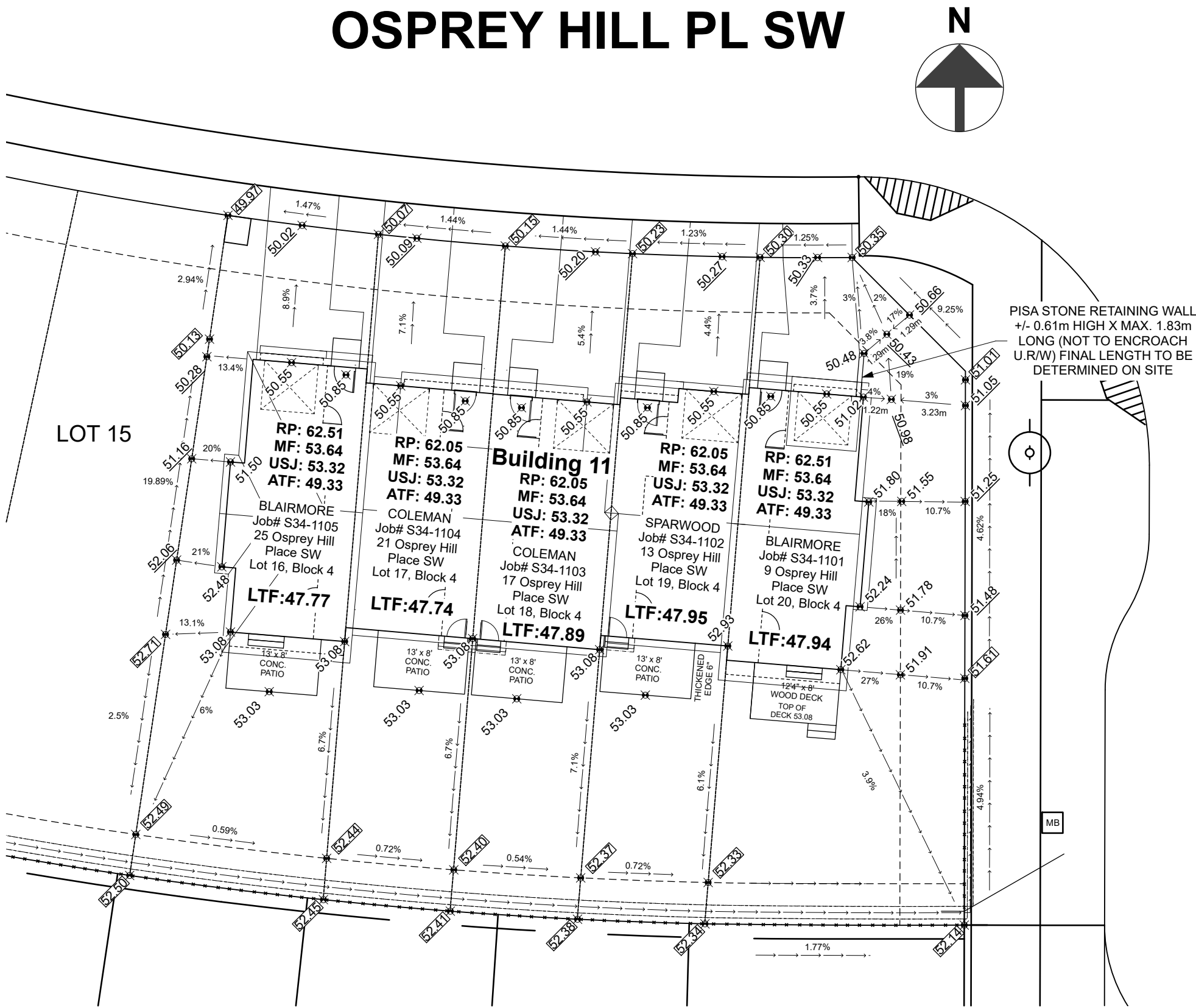
A102

OSPREY HILL PL SW



101 ST SW

OSPREY HILL PL SW



101 ST SW

1

SITE PLAN - OSPREY STREET TOWNS - BUILDING 11

SCALE: 1:200

2

GRADING PLAN - OSPREY STREET TOWNS - BUILDING 11

SCALE: 1:200

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OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

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DRAWING TITLE	

Elevations

DRAWING NUMBER

A201



FRONT ELEVATIONS

Job# S34-1101
Blairmore
9 Osprey Hill Place SW
Lot 20, Block 4

FRONT ELEVATIONS

Job# S34-1102
Sparwood
13 Osprey Hill Place SW
Lot 19, Block 4

FRONT ELEVATIONS

Job# S34-1103
Coleman
17 Osprey Hill Place SW
Lot 18, Block 4

FRONT ELEVATIONS

Job# S34-1104
Coleman
21 Osprey Hill Place SW
Lot 17, Block 4

FRONT ELEVATIONS

Job# S34-1105
Blairmore
25 Osprey Hill Place SW
Lot 16, Block 4

Building 11

EXTERIOR DETAILS	MATERIAL / MANUFACTURER	COLOUR SELECTION
ROOF - MAIN	ASPHALT - IKO Cambridge	DUAL BLACK
PRIMARY CLADDING - Horizontal Lap Siding	FIBER CEMENT - Hardie - Straight Edge - <i>Wood Corners to Match Siding</i>	IRON GREY
SECONDARY CLADDING - Shingles	FIBER CEMENT - Hardie - Straight Edge - <i>Woven Corners</i>	GREY SLATE
SECONDARY CLADDING - Panel Smooth	FIBER CEMENT - Hardie - <i>Trim To Match</i>	ARCTIC WHITE
TRIM - Windows, Doors, Panel Trim, Eave Trim, Brackets, Planter Boxes, Deck Fascia	COMPOSITE WOOD - Painted	CLOVERDALE - STANDARD WHITE CA025
FASCIA / SOFFIT	ALUMINUM - M - Series	SLATE
EAVES TROUGH / DOWNSPOUT (ROUND)	ALUMINUM - M - Series	GALVANIZED
FASCIA - Open Face Gable (IF REQUIRED)	COMPOSITE WOOD - Painted	ZEN RETREAT 0535 (To Match SLATE)
WINDOWS (Includes Grilles)	VINYL - Norc	WHITE - STANDARD
FRONT / REAR DOOR (Exterior Side Only) (Customer Selection)	SMOOTH SHIELD FIBERGLASS - Painted	D1 CLOVERDALE - EX027 BAKED CLAY (RED)
		D2 EX103 CHOCOLATE BROWN (BROWN)
		D3 EX174 ROASTED MACADAMIA (YELLOW)
		D4 EX150 SOLITUDE (GREEN)
		D5 CA208 JUNIPER BERRY (PURPLE)
		D6 CA196 RAINFALL (BLUE)
GARAGE DOOR	STEEL - PAINTED	TO MATCH FRONT DOOR SELECTION
RAILING - Front / Rear (As per elevation)	ALUMINUM	BLACK
CONCRETE PORCH & STEPS	CONCRETE - Broom Finish	NATURAL
REAR DECK (UPGRADE)	WOOD - Pressure Treated	NATURAL
METER BACKING PANEL (NOT SHOWN)	WOOD - Painted	CLOVERDALE - STANDARD WHITE CA025
RETAINING WALL (AS REQUIRED)	PISA STONE	CHARCOAL

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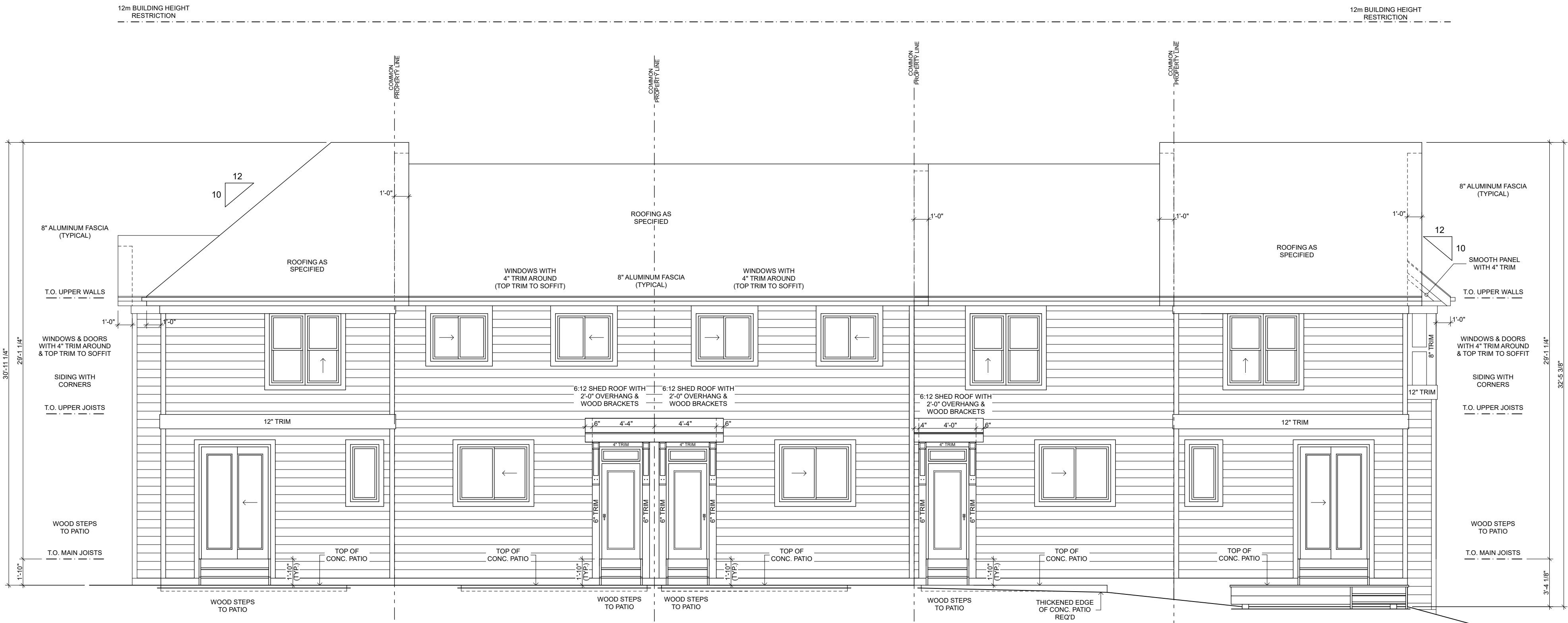
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9-25 Osprey Hill Place SW

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Elevations

DRAWING NUMBER

A202



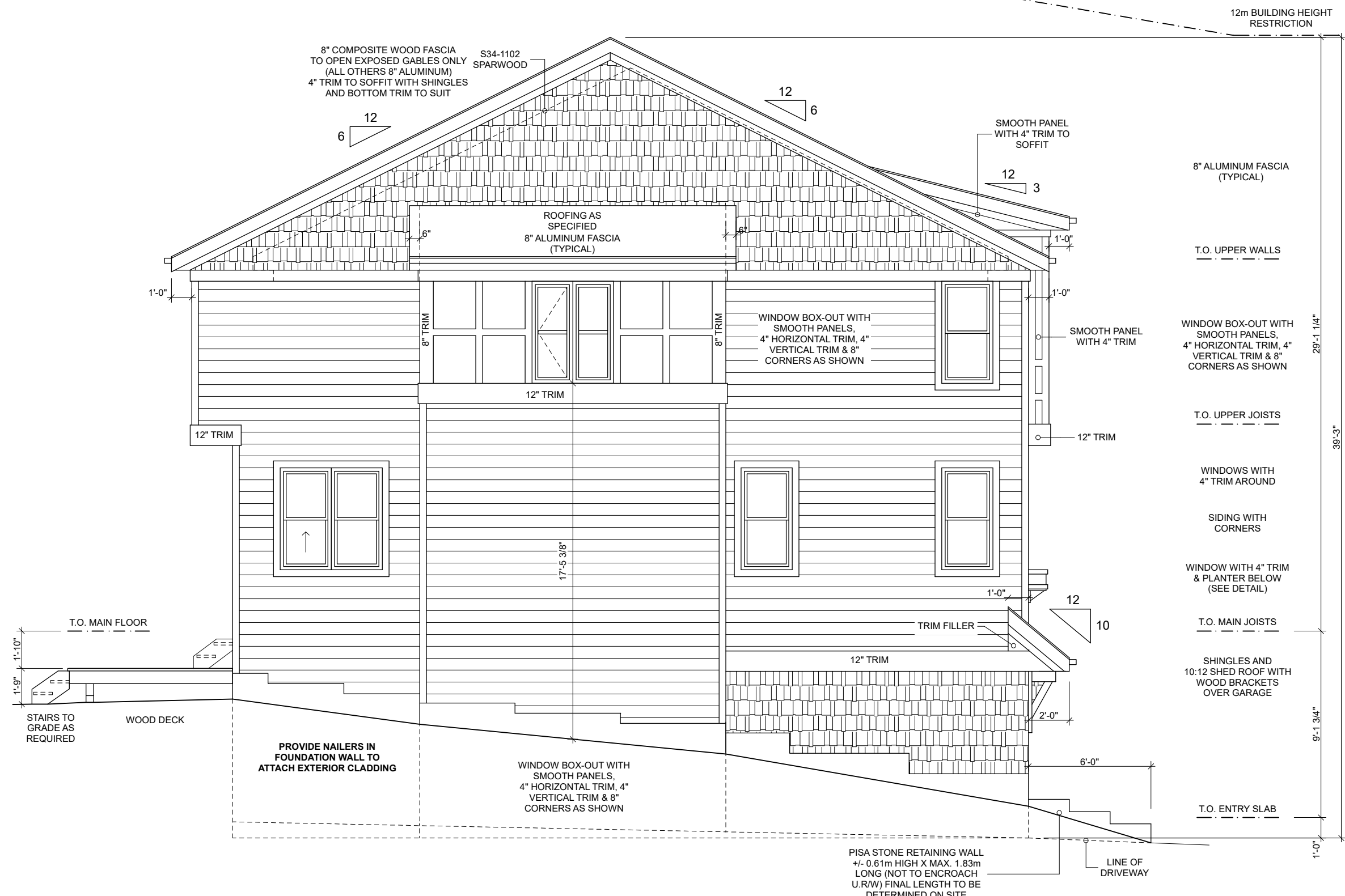
REAR ELEVATIONS
Job# S34-1105
Blairmore
25 Osprey Hill Place SW
Lot 16, Block 4

REAR ELEVATIONS
Job# S34-1102
Coleman
21 Osprey Hill Place SW
Lot 17, Block 4

REAR ELEVATIONS
Job# S34-1103
Coleman
17 Osprey Hill Place SW
Lot 18, Block 4

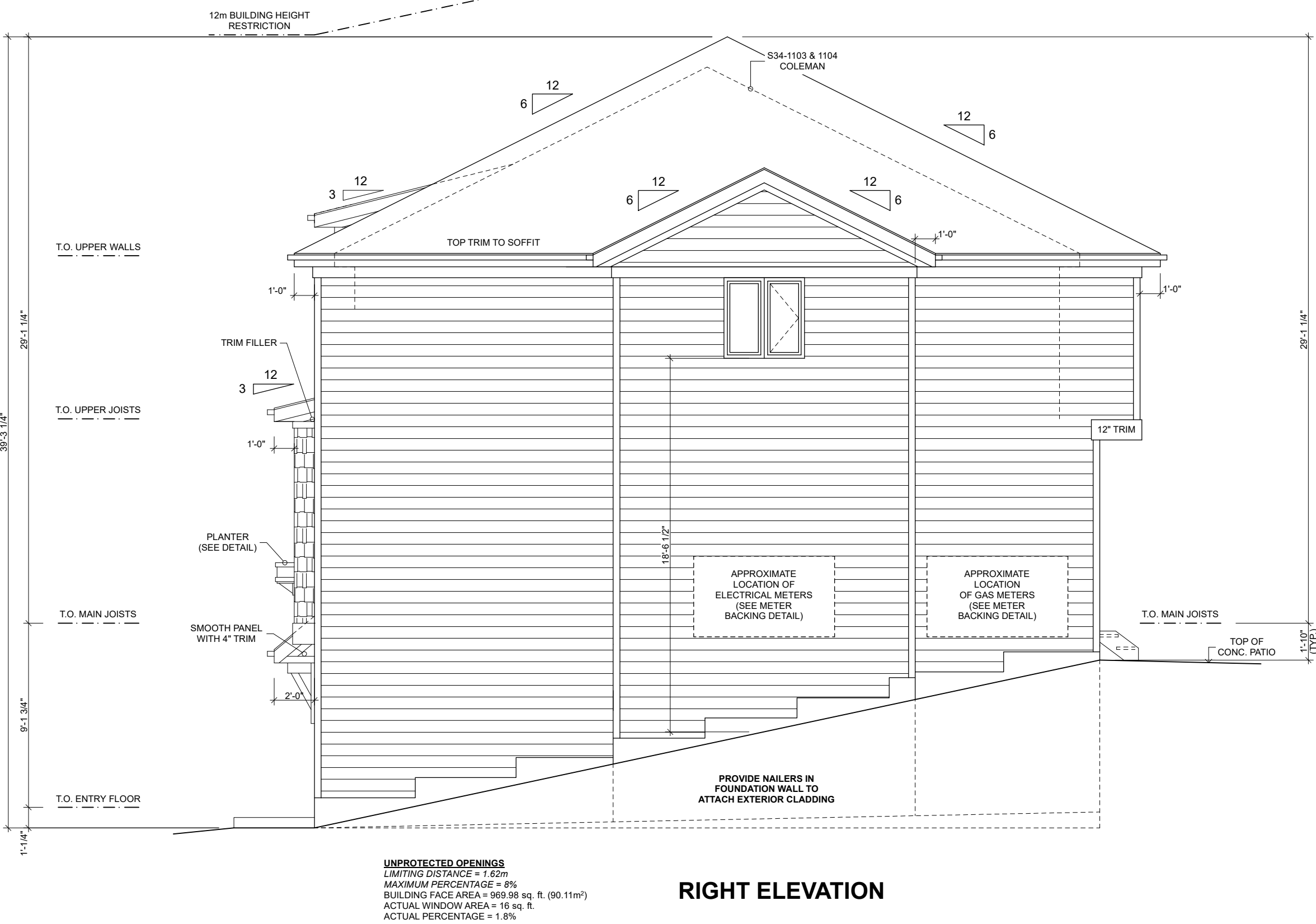
REAR ELEVATIONS
Job# S34-1102
Sparwood
13 Osprey Hill Place SW
Lot 19, Block 4

REAR ELEVATIONS
Job# S34-1101
Blairmore
9 Osprey Hill Place SW
Lot 20, Block 4



LEFT ELEVATION

Job# S34-1101
Blairmore
9 Osprey Hill Place SW
Lot 20, Block 4



RIGHT ELEVATION

Job# S34-1105
Blairmore
25 Osprey Hill Place SW
Lot 16, Block 4

UNPROTECTED OPENINGS
LIMITING DISTANCE = 10.0M TO CENTER OF STREET
MAXIMUM PERCENTAGE = 8.6% @ 10m
BUILDING FACE AREA = 930.35 sq. ft. (86.43m²)
ACTUAL WINDOW AREA = 82.5 sq. ft.
ACTUAL PERCENTAGE = 8.86%

UNPROTECTED OPENINGS
LIMITING DISTANCE = 1.62m
MAXIMUM PERCENTAGE = 4%
BUILDING FACE AREA = 969.98 sq. ft. (90.11m²)
ACTUAL WINDOW AREA = 16 sq. ft.
ACTUAL PERCENTAGE = 1.6%

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