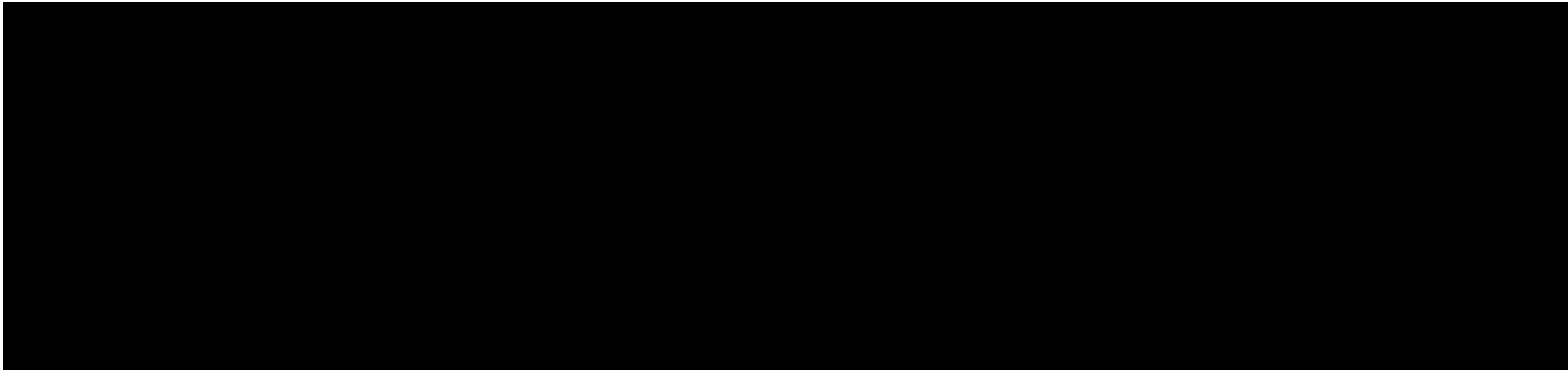




OSPREY STREET TOWNS BUILDING #11, LOTS 16-20, BLOCK 4, PHASE 1

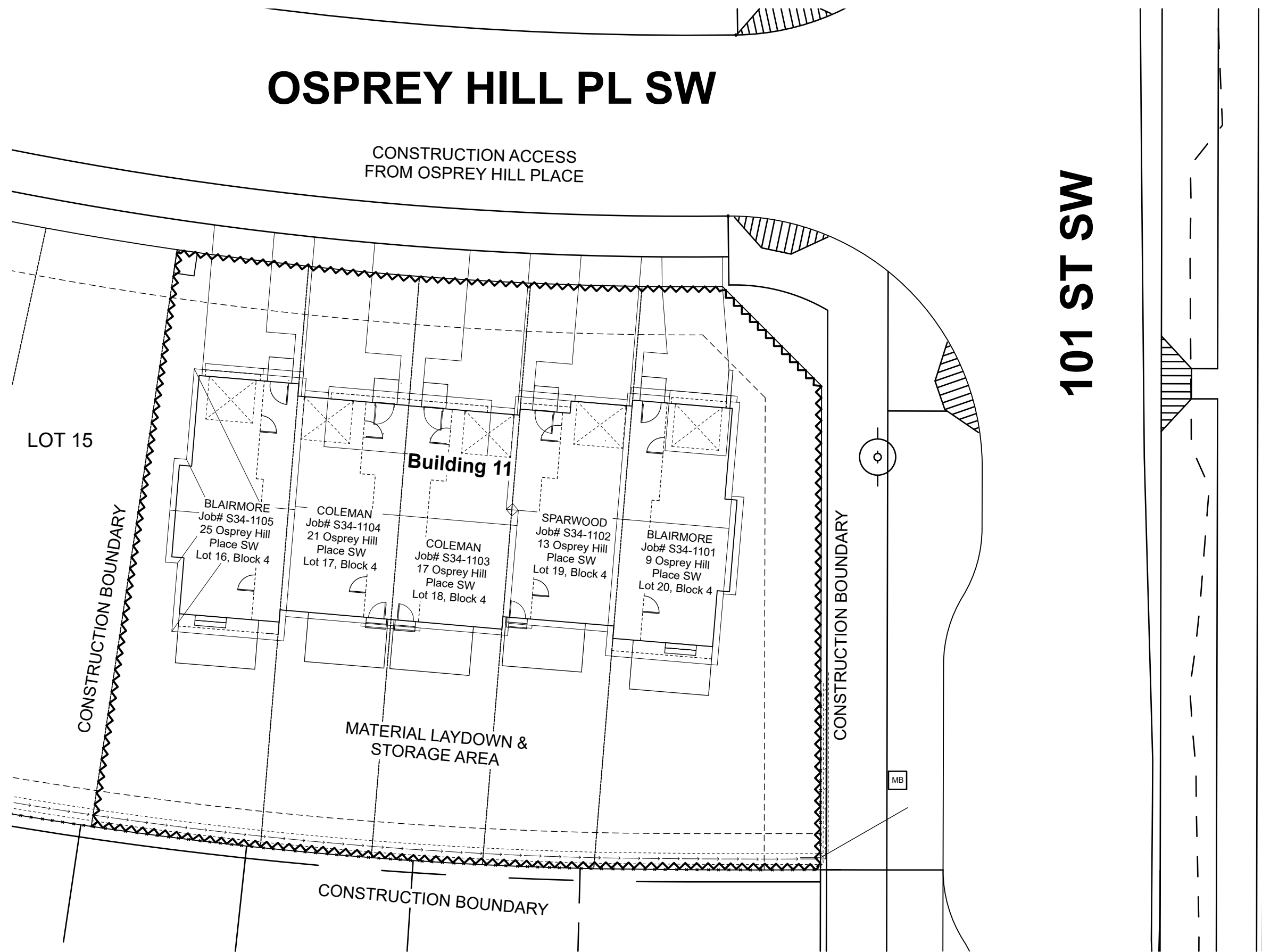


A000	COVER PAGE
A101-A102	KEY PLAN - INFORMATION, SITE PLAN & GRADING PLAN
A201-A206	BUILDING 11 ELEVATIONS & FLOOR PLANS
A301-A303	SECTIONS

1

KEY PLAN - OSPREY STREET TOWNS - BUILDING 11

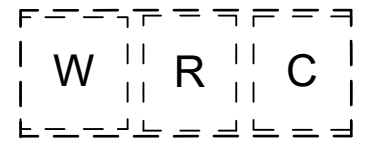
SCALE: 1:200



GARBAGE & RECYCLING COLLECTION

GARBAGE, RECYCLING AND COMPOST BY BLUE/BLACK/GREEN BIN
PICK UP FROM THE FRONT CURB (STREET)

2100mm x 800mm



PARKING REQUIREMENTS

REQUIRED: 1.0 MOTOR VEHICLE PARKING STALLS PER
DWELLING UNIT
5 DWELLING UNITS X 1.0 STALL(S) = 5 PARKING STALLS REQUIRED

PROVIDED: 5 MOTOR VEHICLE PARKING STALLS IN A
PRIVATE GARAGE

PROJECT INFORMATION

LEGAL DESCRIPTION: LOTS 16-20, BLOCK 4, PLAN (791 1036)
OSPREY HILL PHASE 1

CIVIC ADDRESSES: 9 Osprey Hill Place SW to 25 Osprey Hill Place SW
DEVELOPMENT AGREEMENT: DA2024-0016
SITE INFORMATION REFERENCE: CD2022-0193

TOTAL SITE AREA LOTS 16-20, BLOCK 4: 981.447M² (0.098144 HA)
UNITS PER HECTARE: 5/0.100 = 50.0 (60)

ZONING: DC154D2021 (BASED ON R-G)
LAND USE: PERMITTED USE - FEE-SIMPLE ROW HOUSE BUILDING
AVPA - OUTSIDE AVPA
FLOODWAY - NOT WITHIN FLOODWAY

BUILDING AREAS

BUILDING 11 - 312.154 M² GFA: 615.94 M²
TOTAL SITE AREA - 981.447 M²

FLOOR AREA RATIO (FAR): 615.94 M² / 981.447M² = 0.63

DENSITY

MAXIMUM ALLOWED: ONE MAIN RESIDENTIAL BUILDING PER PARCEL
PROPOSED: ONE MAIN RESIDENTIAL BUILDING PER PARCEL

PARCEL AREA

MINIMUM PARCEL AREA PER DWELLING UNIT: 100M² (DC)

PROPOSED:
BUILDING 11:

LOT 16: 218.495 M²
LOT 17: 160.584 M²
LOT 18: 160.614 M²
LOT 19: 160.780 M²
LOT 20: 280.974M²

PARCEL COVERAGE

MAX. ALLOWABLE PARCEL COVERAGE:
BUILDINGS - 60%

PROPOSED SITE COVERAGE:

LOT 16: 30.110 %
LOT 17: 37.524 %
LOT 18: 37.524 %
LOT 19: 37.320 %
LOT 20: 23.431 %

SET BACKS & MAXIMUM HEIGHT

MAXIMUM HEIGHT: 12 M
PROPOSED: SEE ELEVATIONS

MINIMUM FRONT YARD: 1.00 M
MINIMUM REAR YARD: 5.00 M (LANELESS PARCEL)
MINIMUM SIDE YARD: 1.20 M
MINIMUM CORNER: 1.00 M

OUTDOOR AMENITY AREA REQUIREMENTS:

REQUIRED (R-G): 22 M² WITH NO DIMENSION LESS THAN 3.0M (MAIN DWELLING)
PROVIDED: REAR YARD BETWEEN DWELLING & REAR PROPERTY LINE (TYPICAL)
SEE SITE PLAN FOR LOCATIONS.

DRIVEWAY WIDTH:

REQUIRED (R-G): COMBINED WIDTH OF ALL DRIVEWAYS ACCESSING A STREET
MUST NOT BE WIDER THAN THE PARCEL WIDTH LESS 3.0M.

MAX. PERMITTED:

LOT 16: 7.54 M - 3.00M = 4.54 M PROVIDED: 3.00M
LOT 17: 5.54M - 3.00M = 2.54M PROVIDED: 3.00M (RELAXATION REQUESTED)
LOT 18: 5.54M - 3.00M = 2.54M PROVIDED: 3.00M (RELAXATION REQUESTED)
LOT 19: 5.54M - 3.00M = 2.54M PROVIDED: 3.00M (RELAXATION REQUESTED)
LOT 20 : 10.31M - 3.00M = 7.31M PROVIDED: 3.00M

ADDITIONAL INFORMATION

POTENTIAL SERVICE LOCATIONS (SEE METER DETAILS)

W.W. WINDOW WELL LOCATIONS IF APPLICABLE (1.78m x .76m U.N.O.)



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GENERAL NOTES

1	DP SUBMISSION XXX XX, 2026
0	AC SUBMISSION XXX XX, 2026
REVISIONS	

OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

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ISSUED	DATE Mar 25, 2026
DP SUBMISSION	
PROJECT NUMBER S34-1101 - S34-1105	DRAWN BY SU

DRAWING TITLE

Key Plan

DRAWING NUMBER

A101

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AIT



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GENERAL NOTES

TO GRADING SECTION FOR SIDEWALK
LOCATION AND GRADING STANDARDS.

DISCREPANCIES WITHIN THESE DRAWINGS
TO BE NOTED TO HOMES BY AVI PRIOR TO
CONSTRUCTION.

SURFACE FEATURES ARE NOT NOTED ON
THE PLANS AND MAY OR MAY NOT BE
PRESENT. I.E. UTILITY BOXES, FIRE HYDRANT
LIGHT STANDARDS, ETC.

MP SUBMISSION	XXX XX, 2026
IC SUBMISSION	XXX XX, 2026
IONS	

SPREY STREET TOWNSHIP

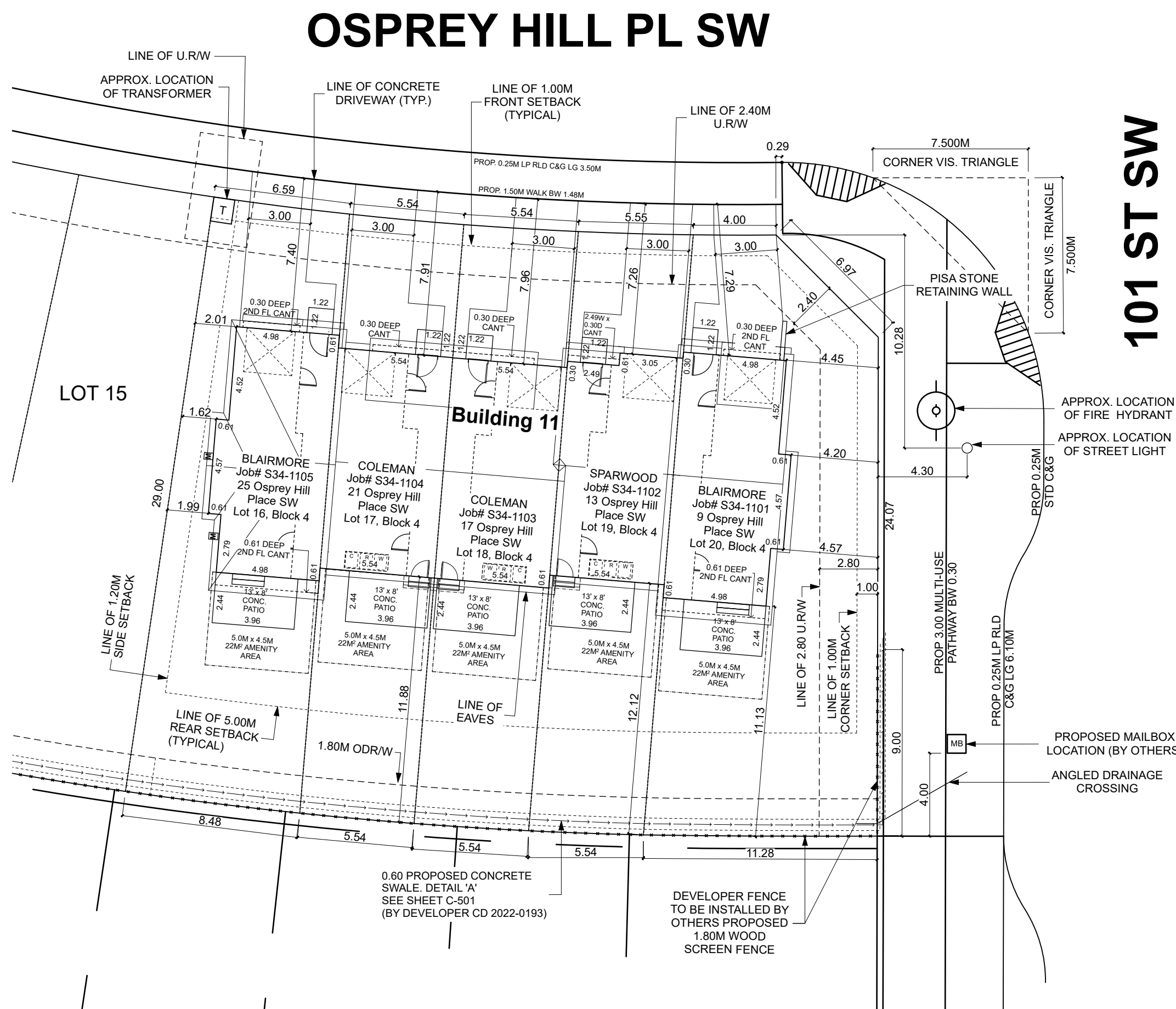
LOTS 16-20 BLOCK 4
25 Osprey Hill Place SW

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UBMISSION	DATE Mar 25, 2026
IT NUMBER 101 - S34-1105	DRAWN BY SU
ING TITLE	

Site Plan & Grading

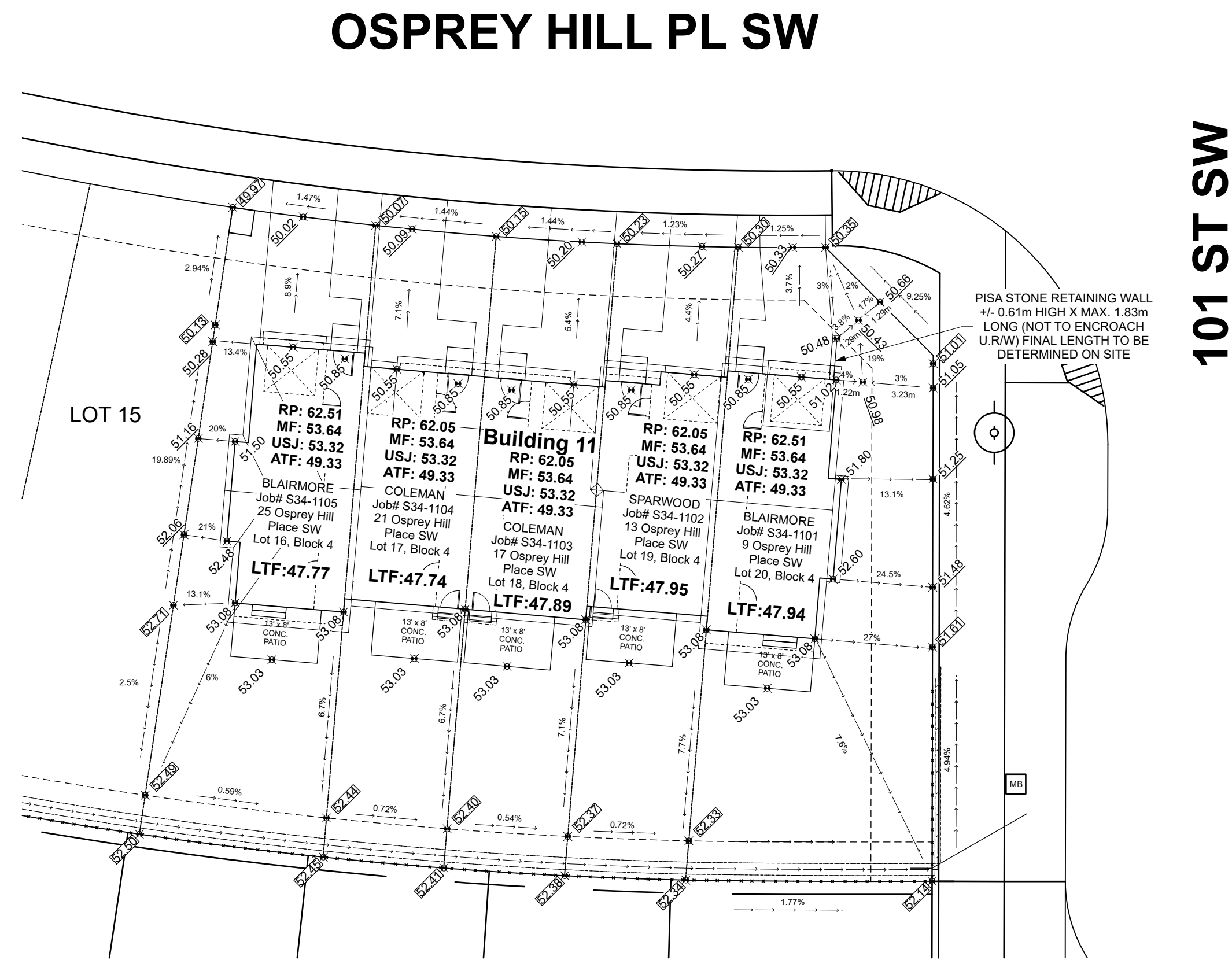
ING NUMBER

A102



SITE PLAN - OSPREY STREET TOWNS - BUILDING 11

SCALE: 1:200



GRADING PLAN - OSPREY STREET TOWNS - BUILDING 11

SCALE: 1:200



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REVISIONS	

OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

CHECKED BY	SCALE
ISSUED	DATE
AC SUBMISSION	Mar 25, 2026
PROJECT NUMBER	DRAWN BY
S34-1101 - S34-1105	SLU
DRAWING TITLE	

Elevations

DRAWING NUMBER

A201



FRONT ELEVATIONS

Job# S34-1101
Blairmore
9 Osprey Hill Place SW
Lot 20, Block 4

FRONT ELEVATIONS

Job# S34-1102
Sparwood
13 Osprey Hill Place SW
Lot 19, Block 4

FRONT ELEVATIONS

Job# S34-1103
Coleman
17 Osprey Hill Place SW
Lot 18, Block 4

FRONT ELEVATIONS

Job# S34-1104
Coleman
21 Osprey Hill Place SW
Lot 17, Block 4

FRONT ELEVATIONS

Job# S34-1105
Blairmore
25 Osprey Hill Place SW
Lot 16, Block 4

Building 11

EXTERIOR DETAILS	MATERIAL / MANUFACTURER	COLOUR SELECTION
ROOF - MAIN	ASPHALT - IKO Cambridge	DUAL BLACK
PRIMARY CLADDING - Horizontal Lap Siding	FIBER CEMENT - Hardie - Straight Edge - <i>Wood Corners to Match Siding</i>	IRON GREY
SECONDARY CLADDING - Shingles	FIBER CEMENT - Hardie - Straight Edge - <i>Woven Corners</i>	GREY SLATE
SECONDARY CLADDING - Panel Smooth	FIBER CEMENT - Hardie - <i>Trim To Match</i>	ARCTIC WHITE
TRIM - Windows, Doors, Panel Trim, Eave Trim, Brackets, Planter Boxes, Deck Fascia	COMPOSITE WOOD - Painted	CLOVERDALE - STANDARD WHITE CA025
FASCIA / SOFFIT	ALUMINUM - M - Series	SLATE
EAVES TROUGH / DOWNSPOUT (ROUND)	ALUMINUM - M - Series	GALVANIZED
FASCIA - Open Face Gable (IF REQUIRED)	COMPOSITE WOOD - Painted	ZEN RETREAT 0535 (To Match SLATE)
WINDOWS (Includes Grilles)	VINYL - Norc	WHITE - STANDARD
FRONT / REAR DOOR (Exterior Side Only) (Customer Selection)	SMOOTH SHIELD FIBERGLASS - Painted	D1 CLOVERDALE - EX027 BAKED CLAY (RED)
		D2 EX103 CHOCOLATE BROWN (BROWN)
		D3 EX174 ROASTED MACADAMIA (YELLOW)
		D4 EX150 SOLITUDE (GREEN)
		D5 CA208 JUNIPER BERRY (PURPLE)
		D6 CA196 RAINFALL (BLUE)
GARAGE DOOR	STEEL - PAINTED	TO MATCH FRONT DOOR SELECTION
RAILING - Front / Rear (As per elevation)	ALUMINUM	BLACK
CONCRETE PORCH & STEPS	CONCRETE - Broom Finish	NATURAL
REAR DECK (UPGRADE)	WOOD - Pressure Treated	NATURAL
METER BACKING PANEL (NOT SHOWN)	WOOD - Painted	CLOVERDALE - STANDARD WHITE CA025
RETAINING WALL (AS REQUIRED)	PISA STONE	CHARCOAL



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REVISIONS	

OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

CHECKED BY	SCALE 3/16" = 1'-0"
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PROJECT NUMBER S34-1101 - S34-1105	DRAWN BY SU

DRAWING TITLE

Elevations

DRAWING NUMBER

A202





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REVISIONS	

OSPREY STREET TOWNS
Building 11

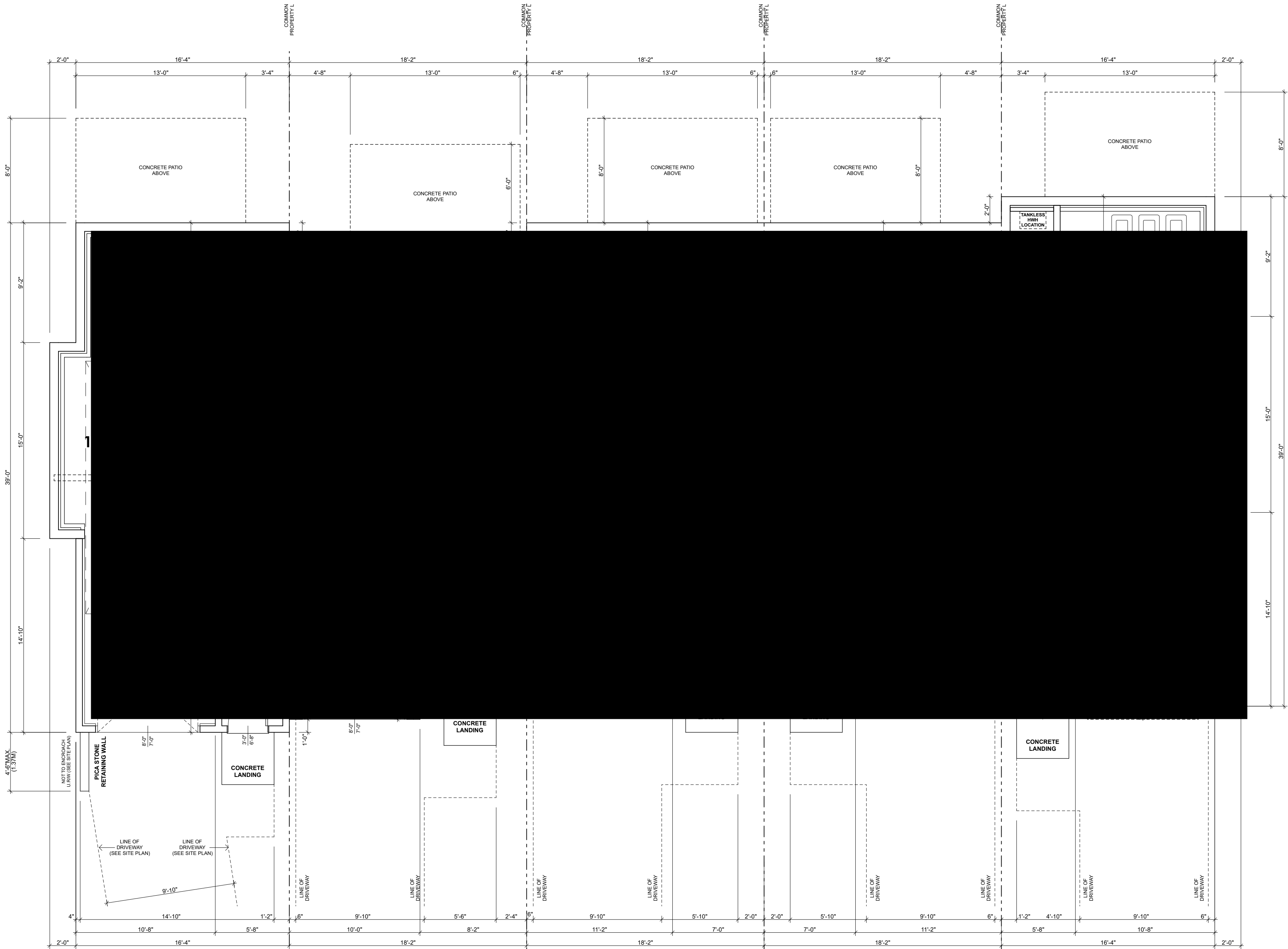
LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

CHECKED BY	SCALE 3/16" = 1'-0"
ISSUED	DATE Mar 25, 2026
PROJECT NUMBER S34-1101 - S34-1105	DRAWN BY SU
DRAWING TITLE	

Entry Floor Plan

DRAWING NUMBER

A203



Job# S34-1101
Blairmore
9 Osprey Hill Place SW
Lot 20, Block 4

ENTRY LEVEL FLOOR PLAN
ABC = 89 Sq. Ft.
TOTAL
ABC = 1465 Sq. Ft.

Job# S34-1102
Sparwood
13 Osprey Hill Place SW
Lot 19, Block 4

ENTRY LEVEL FLOOR PLAN
ABC= 65 Sq. Ft.
TOTAL
ABC= 1347 Sq. Ft.

Job# S34-1103
Coleman
17 Osprey Hill Place SW
Lot 18, Block 4

ENTRY LEVEL FLOOR PLAN
ABC = 72 Sq. Ft.
TOTAL
ABC= 1370 Sq. Ft.

Job# S34-1104
Coleman
21 Osprey Hill Place SW
Lot 17, Block 4

ENTRY LEVEL FLOOR PLAN
ABC = 72 Sq. Ft.
TOTAL
ABC= 1370 Sq. Ft.

Job# S34-1105
Blairmore
25 Osprey Hill Place SW
Lot 16, Block 4

ENTRY LEVEL FLOOR PLAN
ABC= 89 Sq. Ft.
TOTAL
ABC= 1465 Sq. Ft.



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GENERAL NOTES

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REVISIONS		

OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

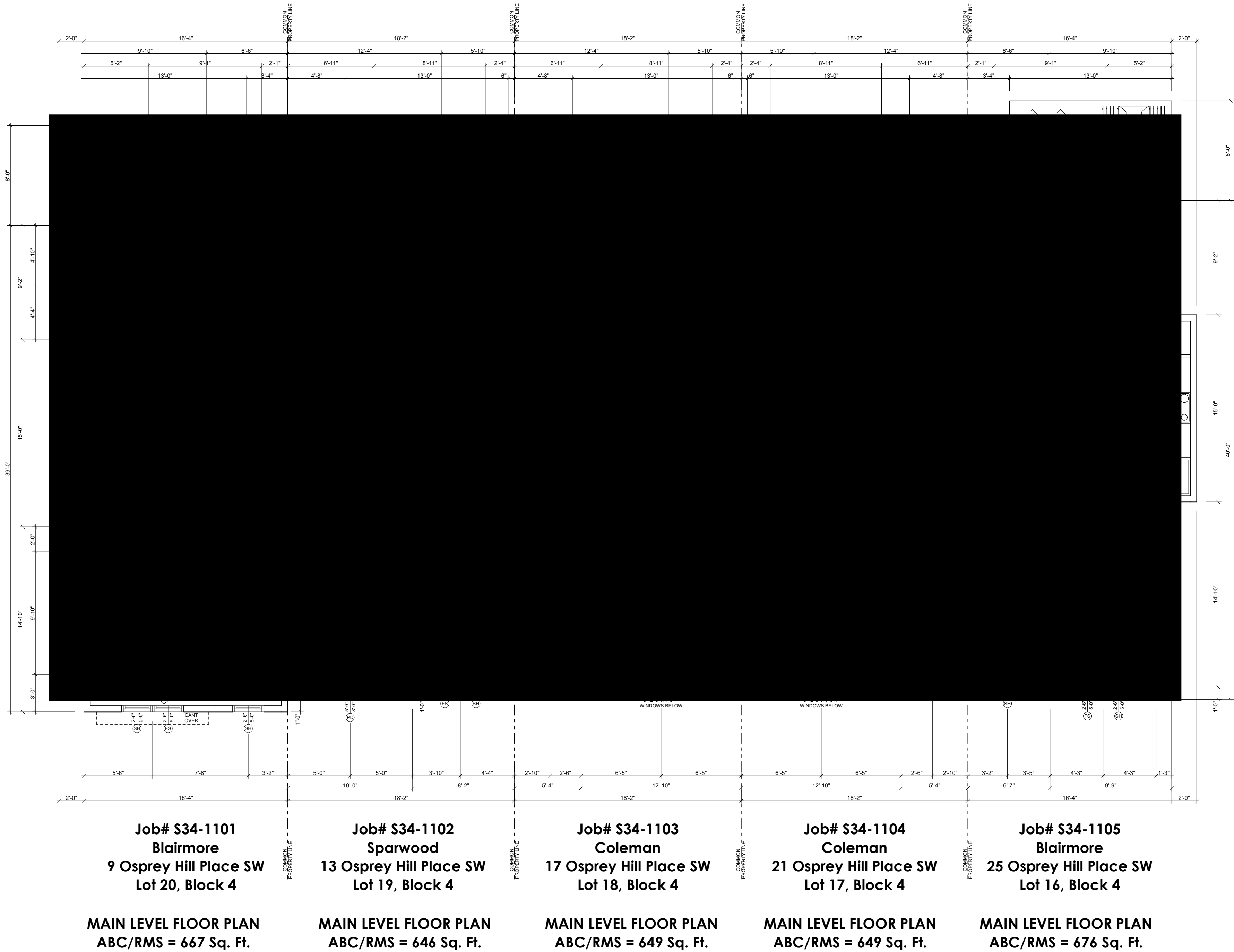
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ISSUED	DATE Mar 25, 2026
PROJECT NUMBER S34-1101 - S34-1105	DRAWN BY SU

DRAWING TITLE

Main Floor Plan

DRAWING NUMBER

A204





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GENERAL NOTES

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REVISIONS		

OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

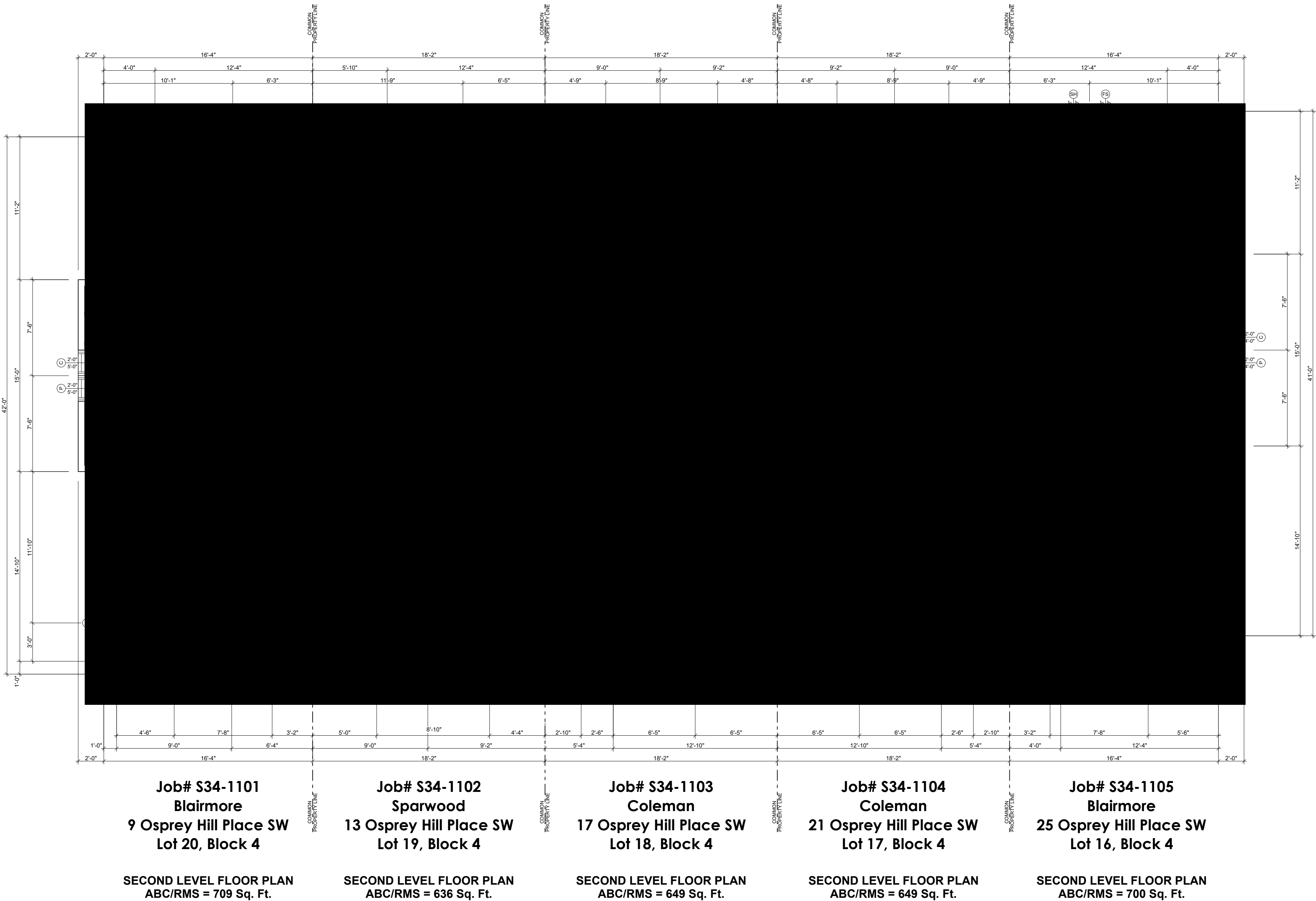
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ISSUED	DATE Mar 25, 2026
PROJECT NUMBER S34-1101 - S34-1105	DRAWN BY SU

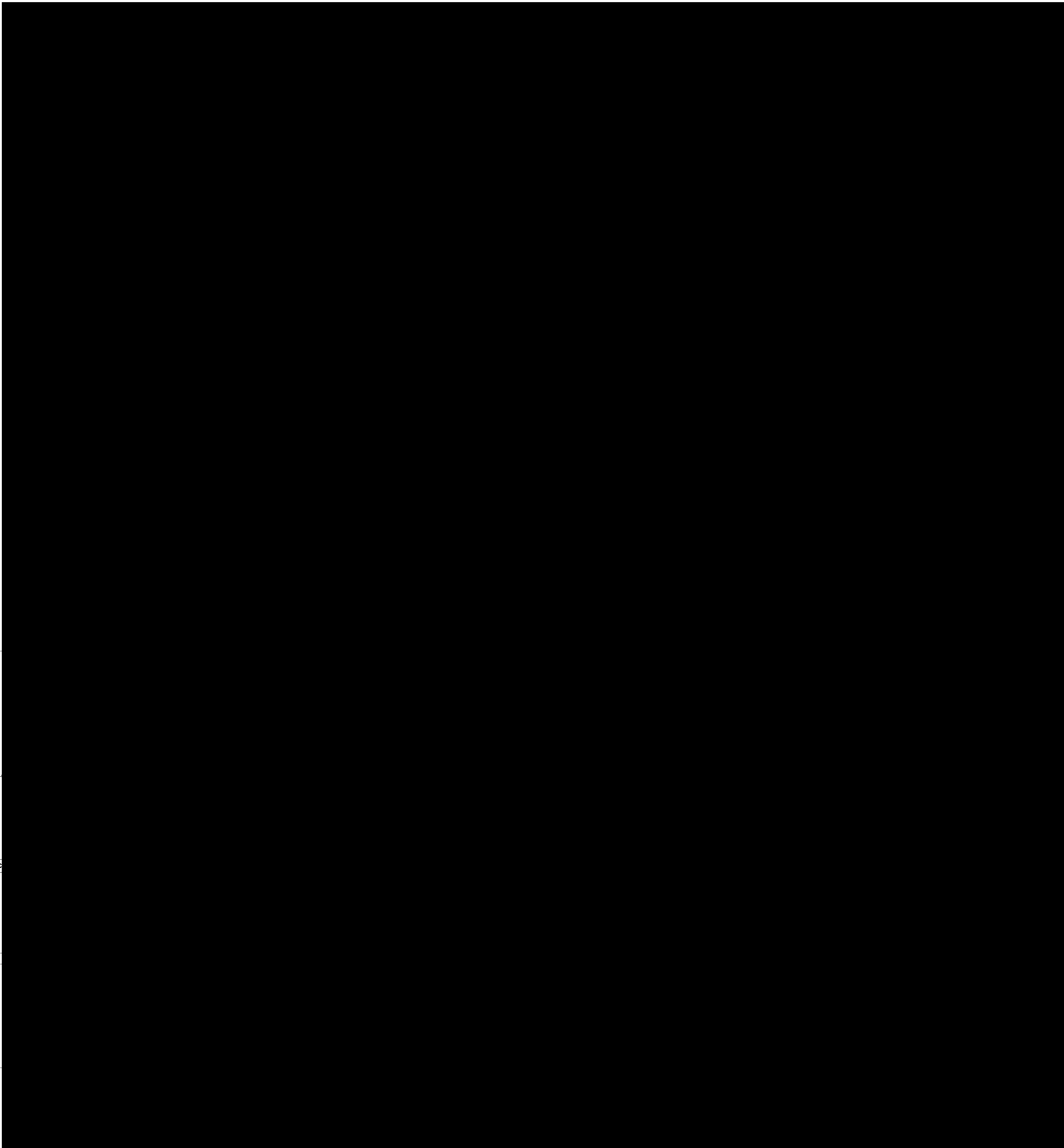
DRAWING TITLE

Second Floor Plan

DRAWING NUMBER

A205

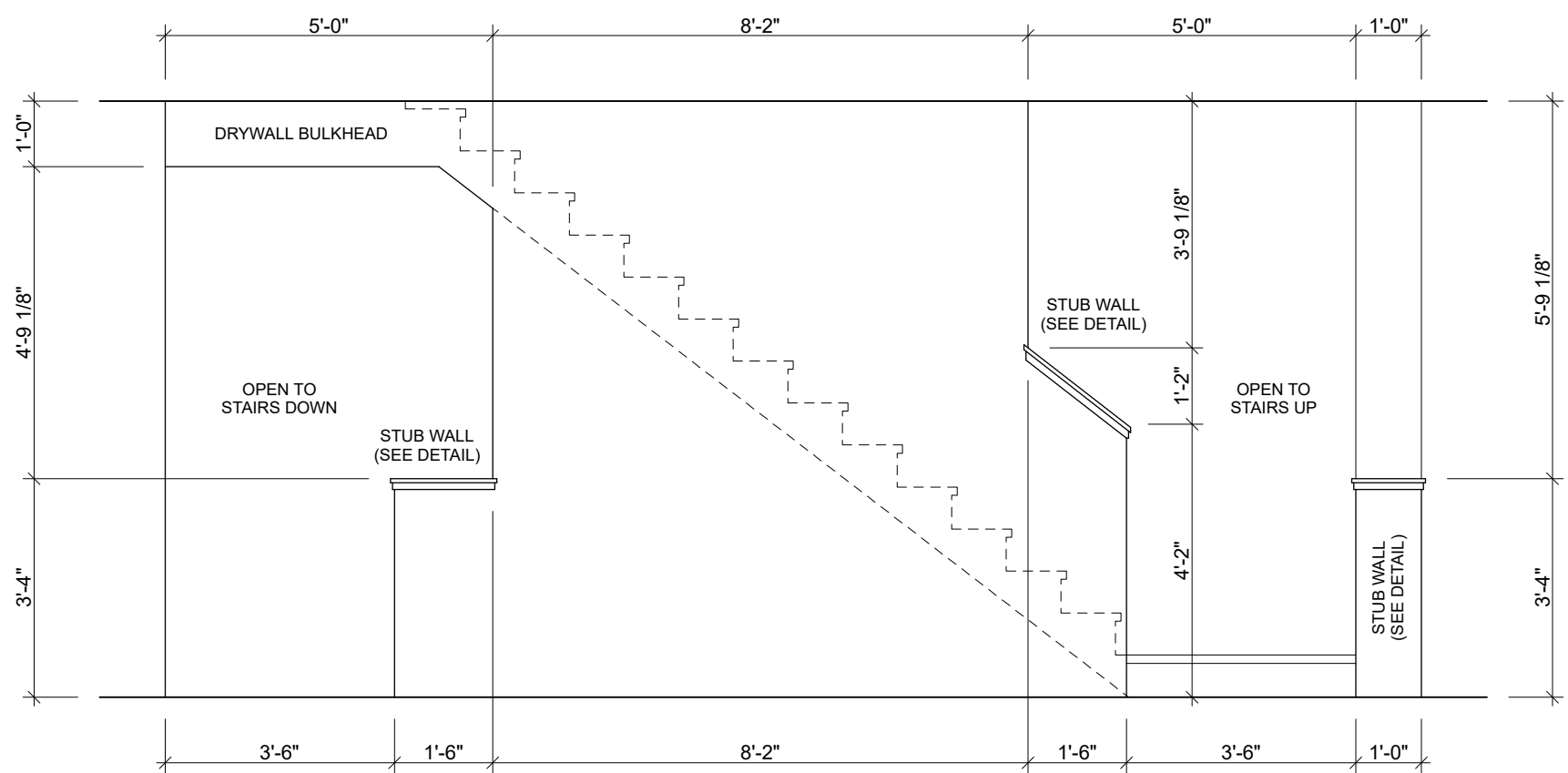




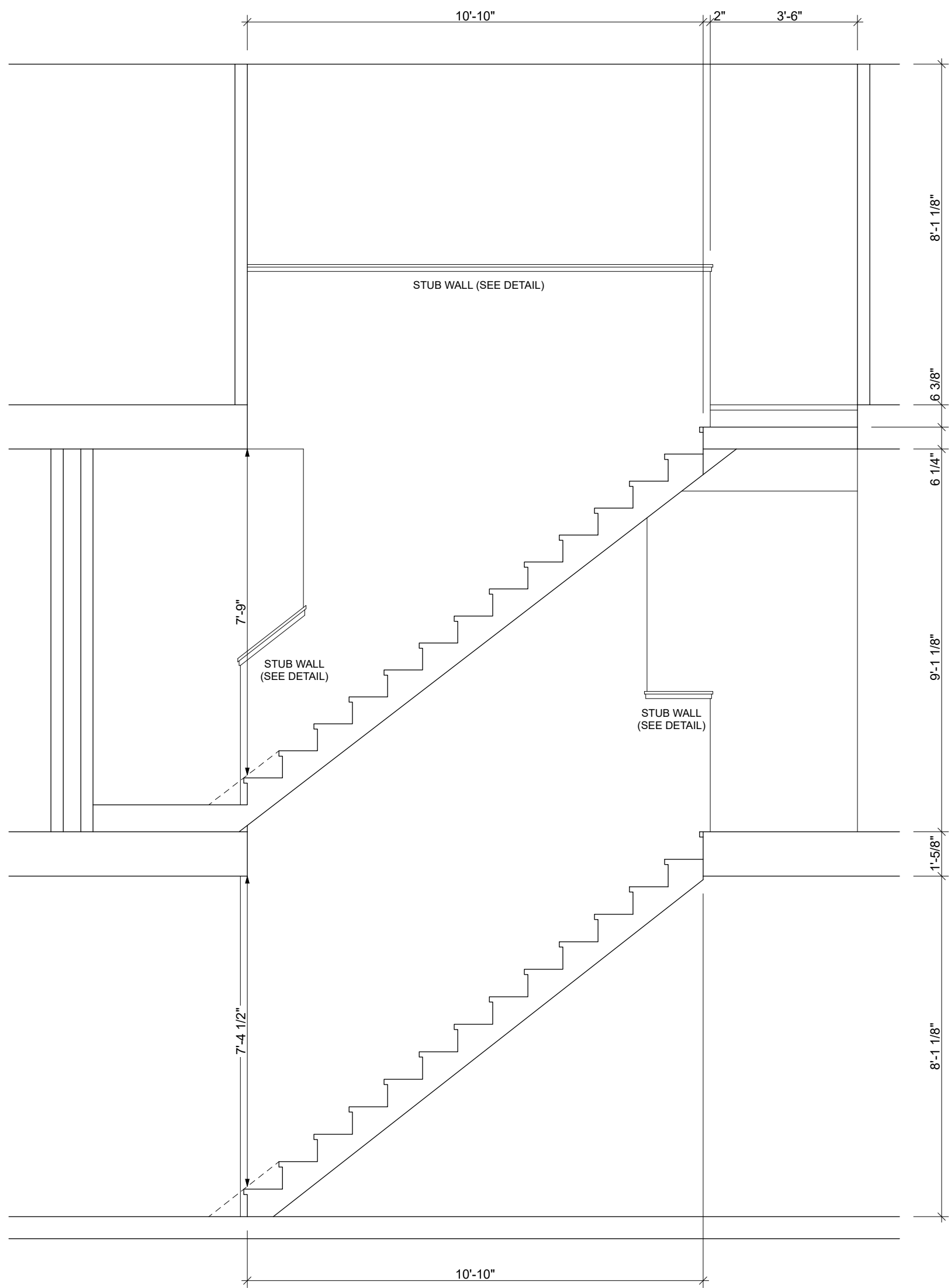
Blairmore
Job# S34-1105
Blairmore
25 Osprey Hill Place SW
Lot 16, Block 4

2. ALL DOORS AND HEADS TO BE SIZED BY SUPPLIER.
3. FINAL LOT GRADE MAY ALTER EXTERIOR APPEARANCE.
4. SPECIFICATIONS ALWAYS OVERRIDE DRAWINGS.
5. ALL DIMENSIONS ARE TAKEN TO FACE OF INTERIOR STUDS AND OUTSIDE FACE OF SHEATHING ON EXTERIOR WALLS AND OUTSIDE FACE OF CONCRETE WALLS.
6. ALL WORKMANSHIP TO BE A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE IN ACCORDANCE WITH APPLICABLE PROVINCIAL CODES.
7. PROVIDE FLASHINGS OVER ALL EXTERIOR DOORS, WINDOWS, OPENINGS AND CHANGE OF MATERIAL.
8. PROVIDE SELF CLOSER ON GARAGE / HOUSE DOOR COMPLETE WITH WEATHER STRIPPING.

Blairmore
Job# S34-1105
Blairmore
25 Osprey Hill Place SW
Lot 16, Block 4



Blairmore - Interior Elevation 1



Blairmore - Stair Section



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GENERAL NOTES

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REVISIONS		

OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

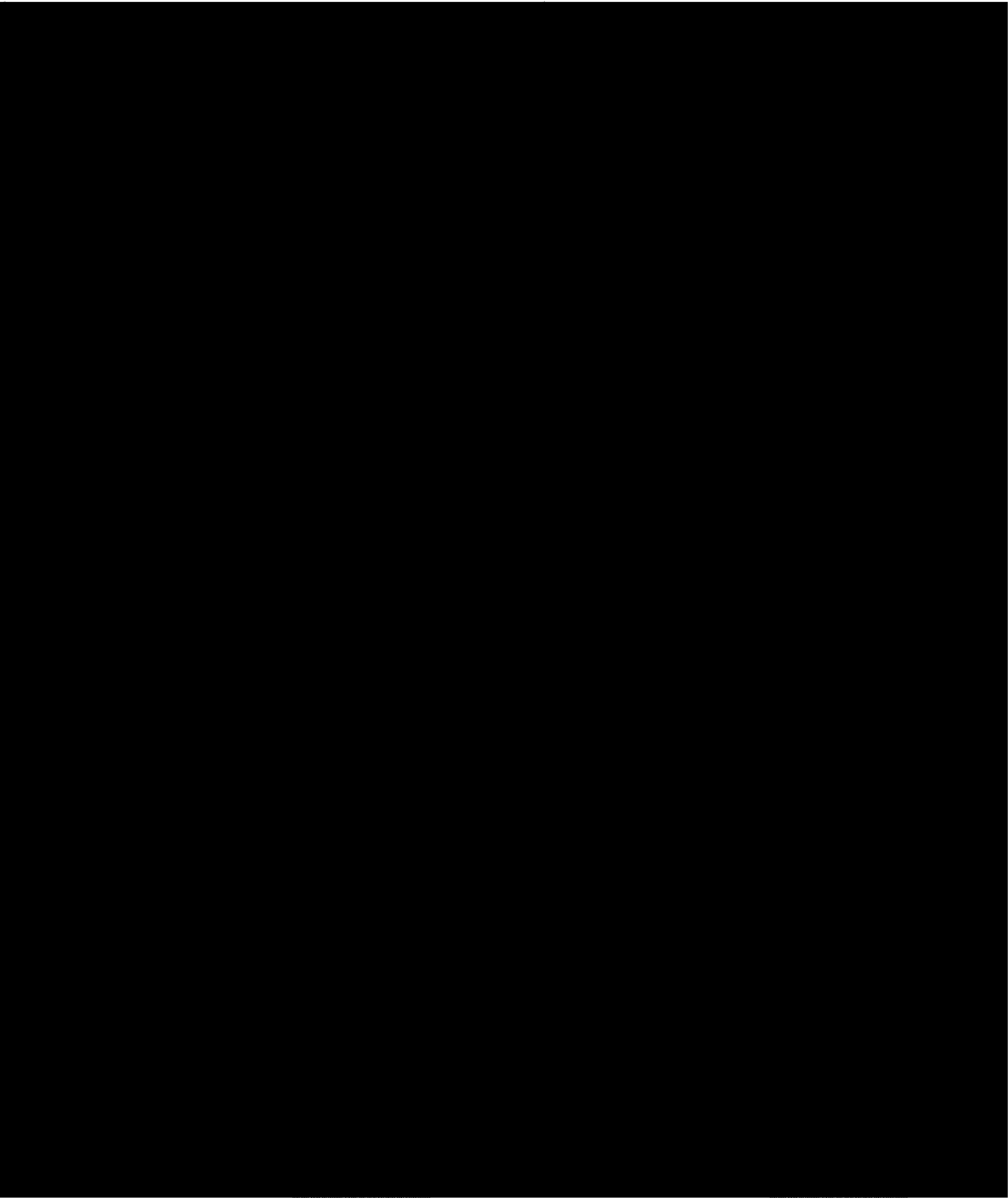
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PROJECT NUMBER	DRAWN BY
S34-1101 - S34-1105	SU

DRAWING TITLE

Sections

DRAWING NUMBER

A301

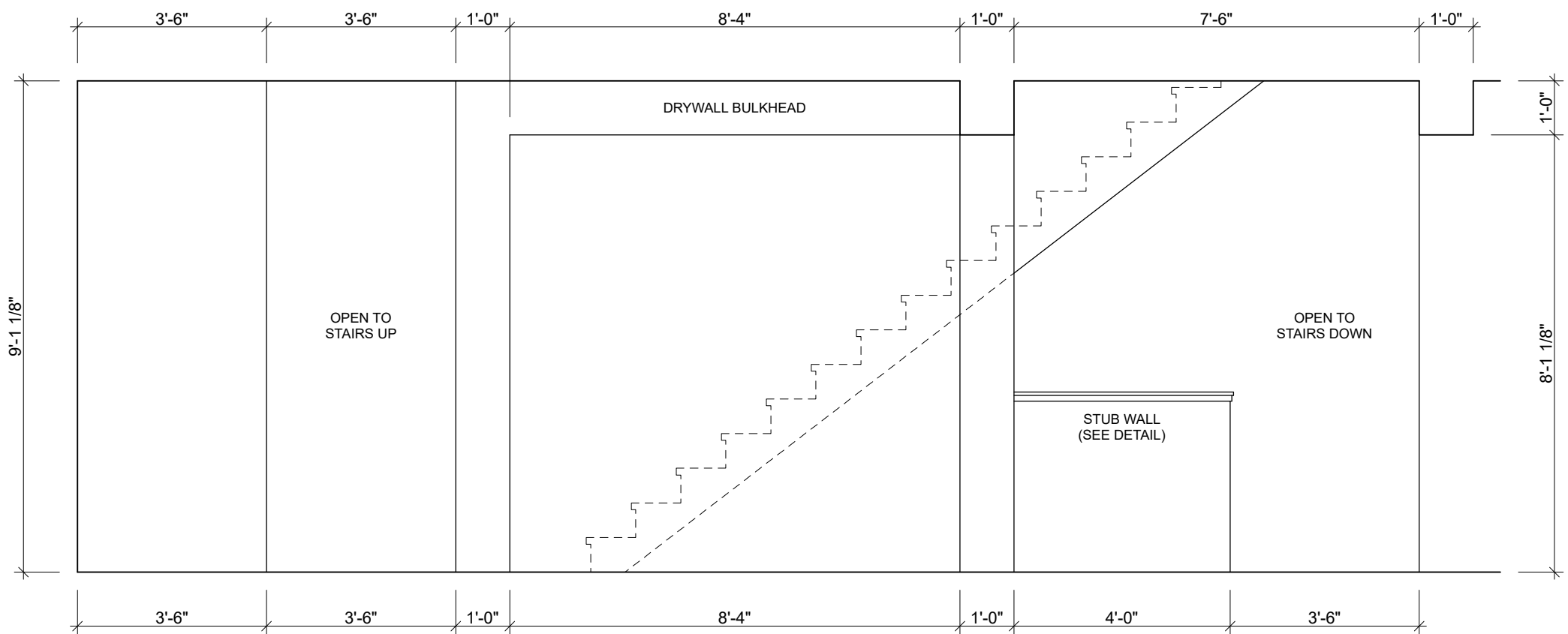


Job# S34-1102
Sparwood
13 Osprey Hill Place SW
Lot 19, Block 4

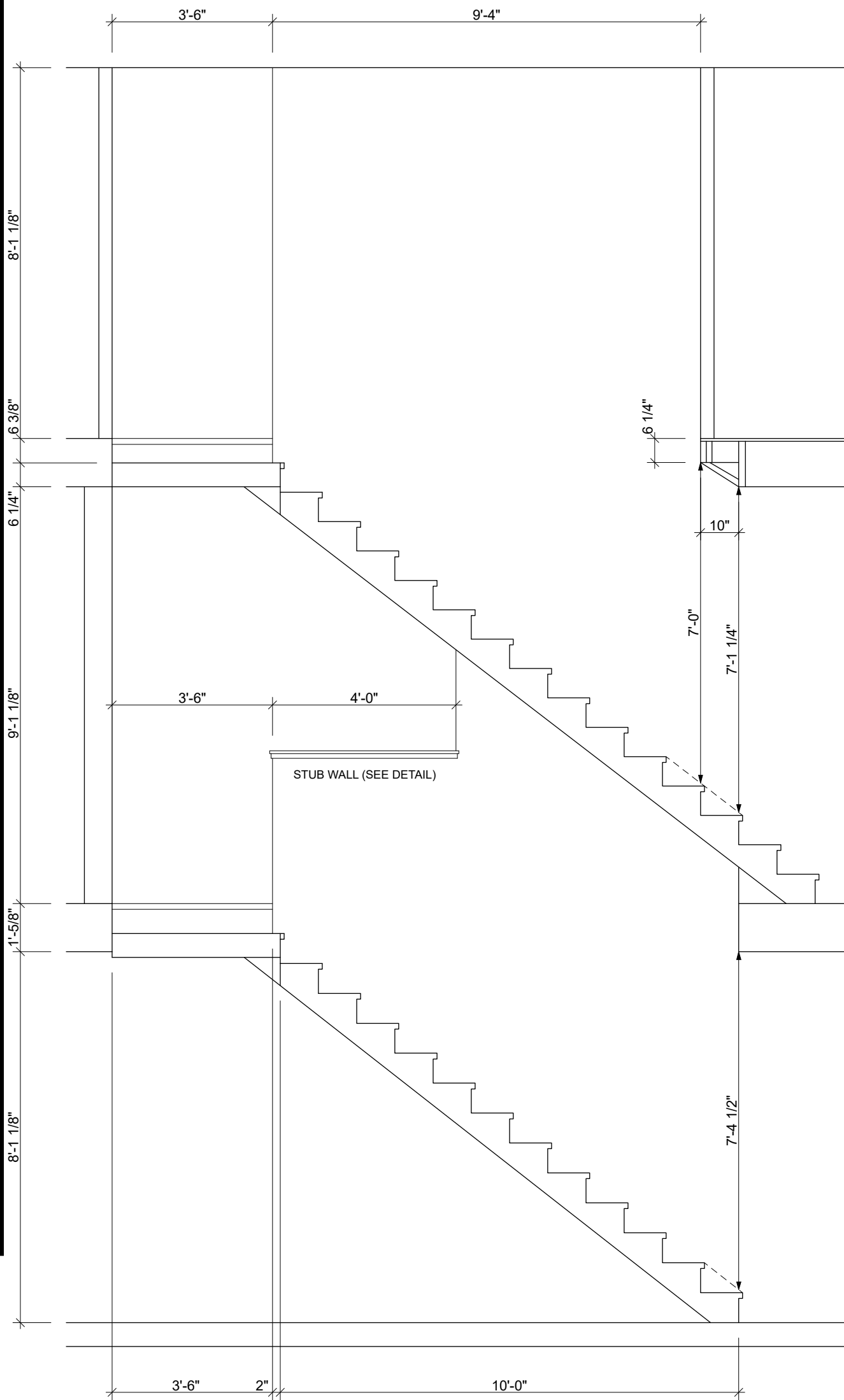
STUBS AND OUTSIDE FACE OF BREATHING ON EXTERIOR WALLS AND OUTSIDE FACE OF CONCRETE WALLS.
6. ALL WORKMANSHIP TO BE A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE IN ACCORDANCE WITH APPLICABLE PROVINCIAL CODES.
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Job# S34-1102
Sparwood
13 Osprey Hill Place SW
Lot 19, Block 4

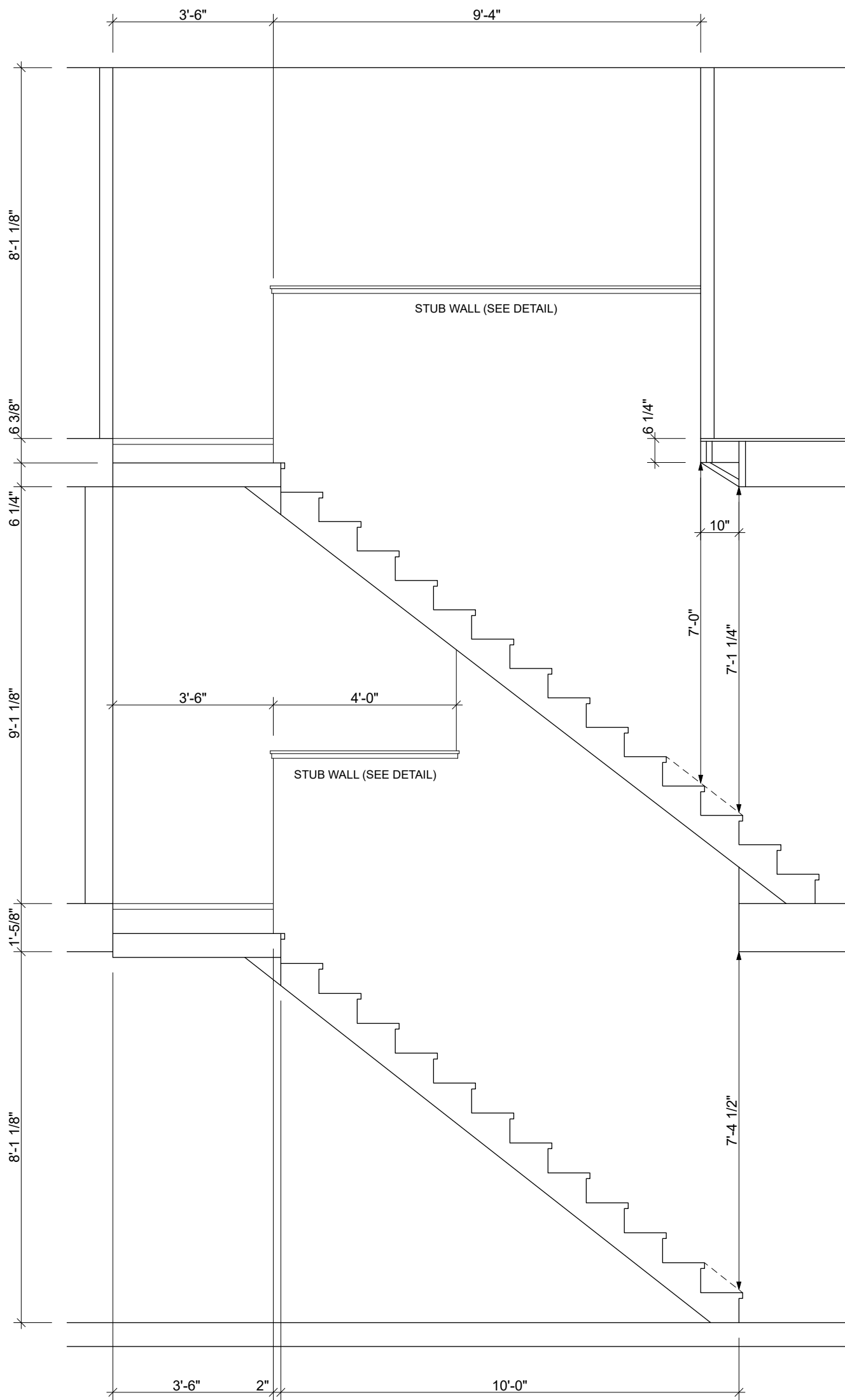
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7. PROVIDE FLASHINGS OVER ALL EXTERIOR DOORS, WINDOWS, OPENINGS AND CHANGE OF MATERIAL.
8. PROVIDE SELF CLOSER ON GARAGE / HOUSE DOOR COMPLETE WITH WEATHER STRIPPING.



Sparwood / Coleman - Interior Elevation 1



Sparwood - Stair Section



Coleman - Stair Section



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REVISIONS		

OSPREY STREET TOWNS
Building 11

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

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Sections

DRAWING NUMBER

A302



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OSPREY STREET TOWNS Building 11	
LOTS 16-20 BLOCK 4 9-25 Osprey Hill Place SW	
CHECKED BY	SCALE 1/8" = 1'-0"
ISSUED	DATE
AC SUBMISSION	Mar 25, 2026
PROJECT NUMBER S34-1101 - S34-1105	DRAWN BY SU

LOTS 16-20 BLOCK 4
9-25 Osprey Hill Place SW

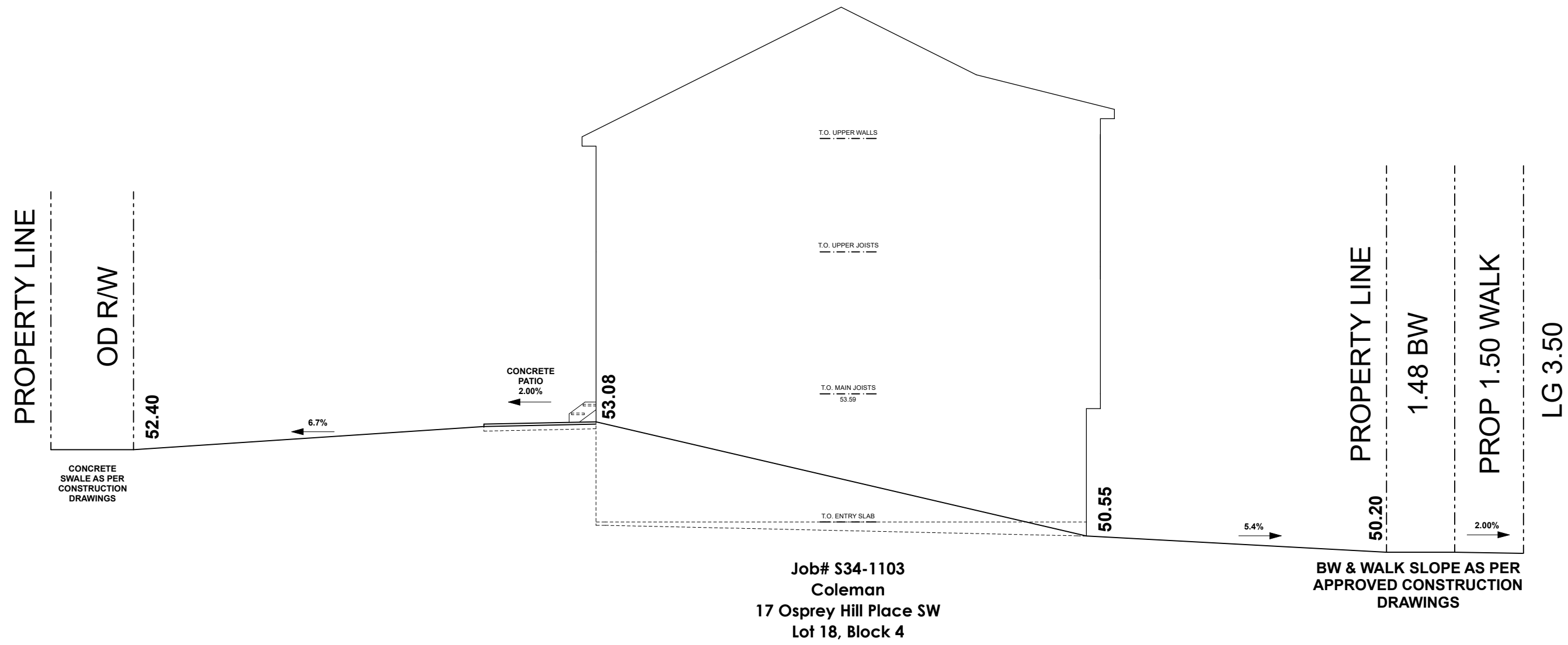
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ISSUED	DATE
AC SUBMISSION	Mar 25, 2026
PROJECT NUMBER S34-1101 - S34-1105	DRAWN BY SU
DRAWING TITLE	

Grading Sections

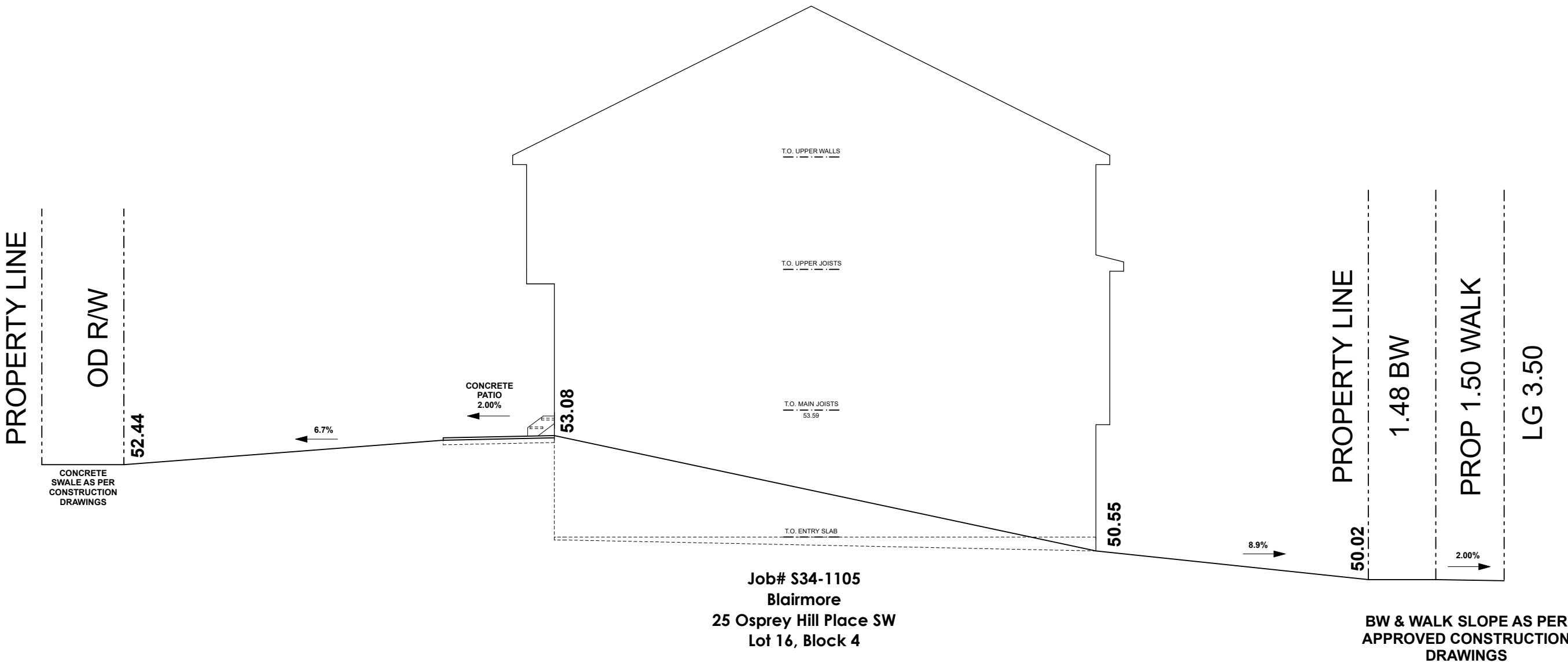
Grading Sections

DRAWING NUMBER

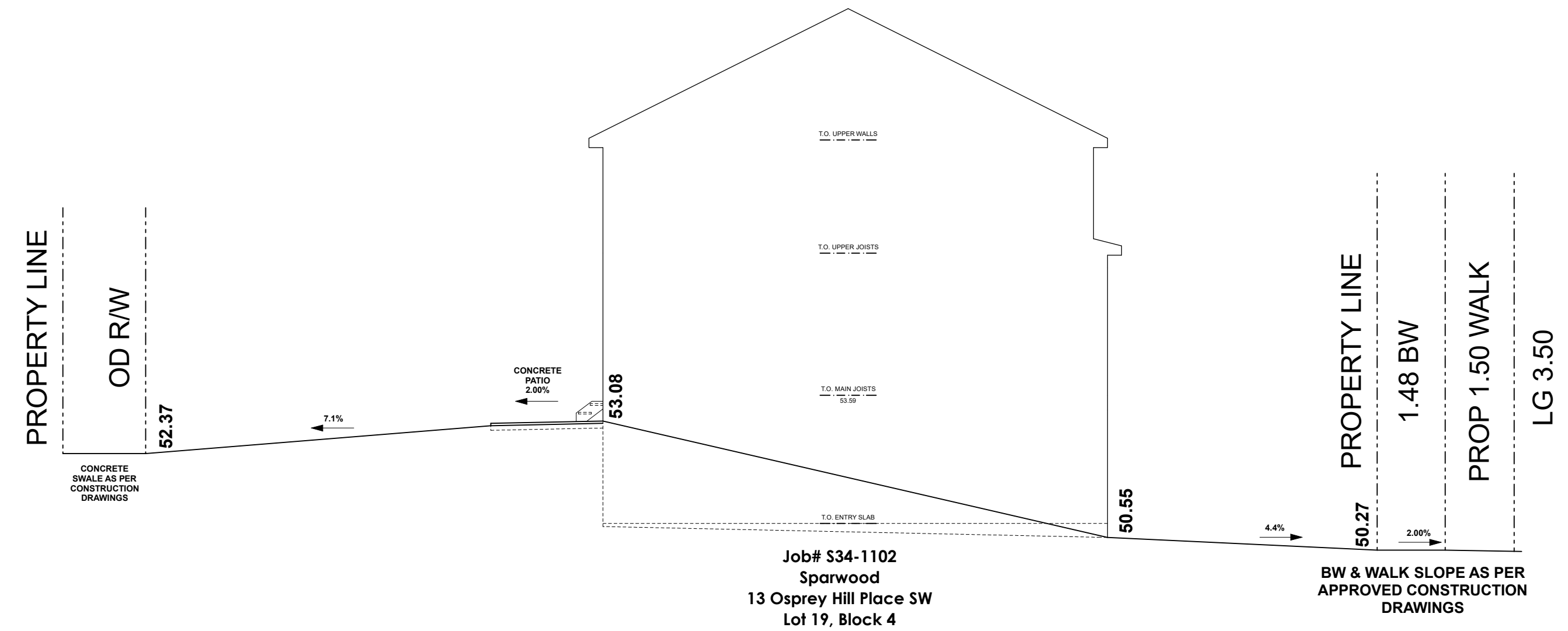
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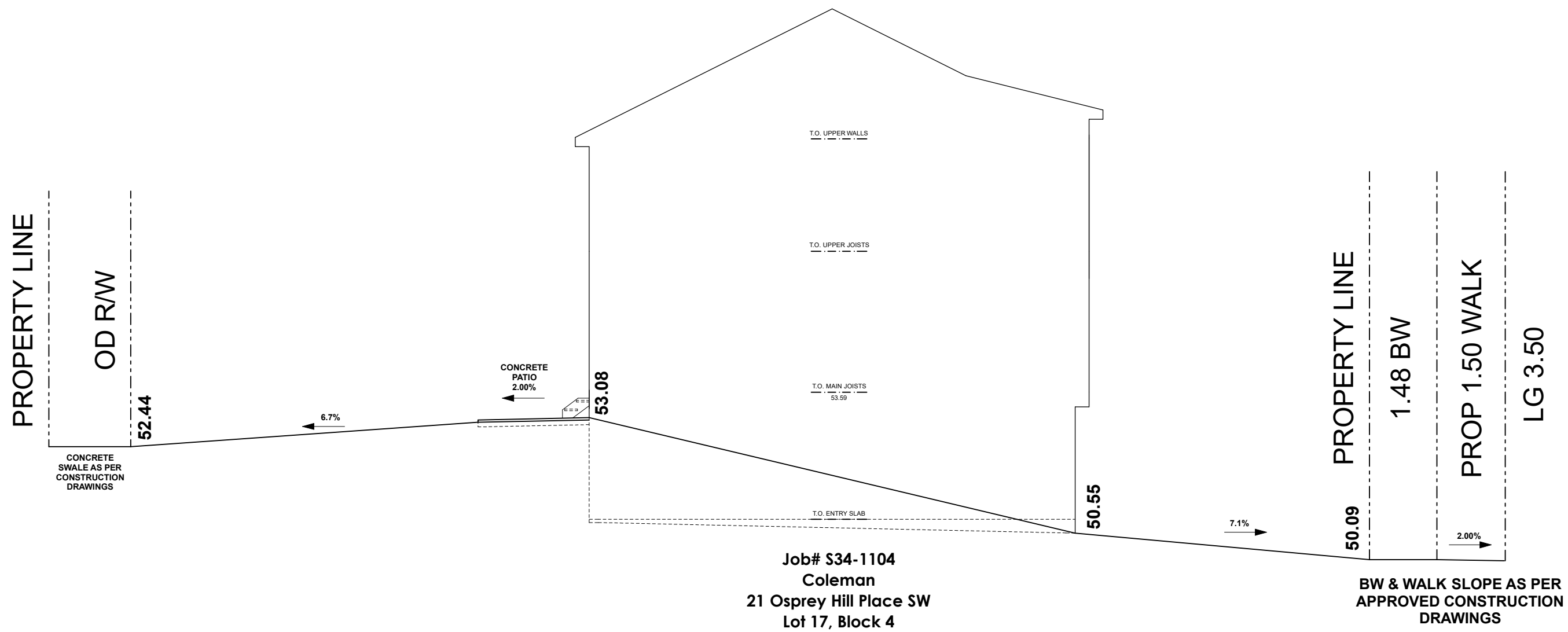
OSPREY HILL PLACE SW



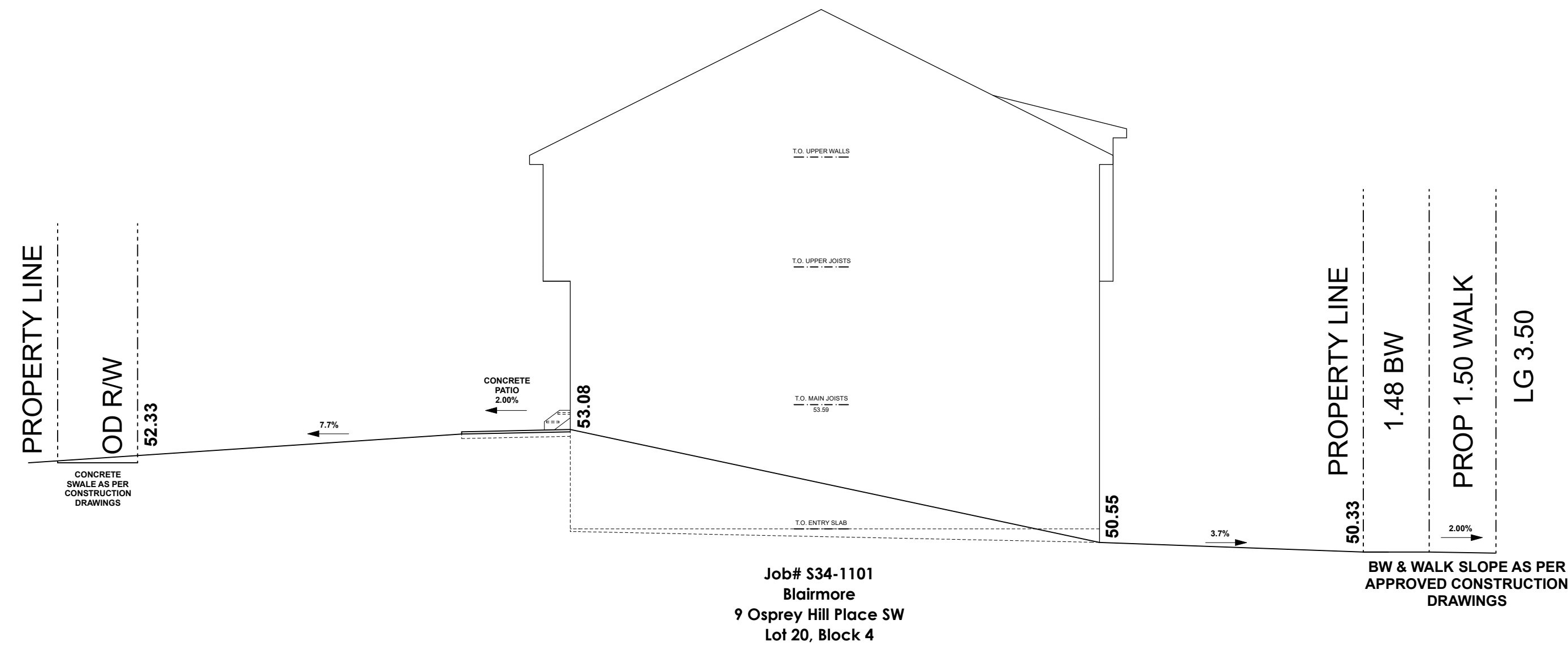
OSPREY HILL PLACE SW



OSPREY HILL PLACE SW



OSPREY HILL PLACE SW



OSPREY HILL PLACE SW