

503 CANTRELL DRIVE SW

ISSUED FOR DEVELOPMENT PERMIT

APRIL 2026



1
A0.0
RENDERING
SCALE: NTS



1
A0.0
VICINITY PLAN
SCALE: NTS

BUILDING CODE REVIEW:

THE FOLLOWING NOTES PROVIDE INFORMATION HIGHLIGHTING BUILDING DESIGN CRITERIA. IT IS NOT INTENDED TO DESCRIBE ALL DESIGN & CONSTRUCTION REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE BUILDING CODE.

1. THE BUILDINGS ARE TO BE CONSTRUCTED UNDER PART 9 OF THE 2023 NATIONAL BUILDING CODE - ALBERTA EDITION.

2. MAJOR OCCUPANCIES: GROUP/DIV. C - RESIDENTIAL

3. BUILDING HEIGHT: PROPOSED 1 STORY ABOVE GRADE

EXISTING BASEMENT	1020 SQ. FT	(95 SQ. M)
EXISTING MAIN FLOOR	1173 SQ. FT	(109 SQ. M)
PROPOSED ADDITION BASEMENT	511 SQ. FT	(47.5 SQ. M)
PROPOSED ADDITION MAIN FLOOR	511 SQ. FT	(47.5 SQ. M)
PROPOSED NEW BASEMENT AREA	1531 SQ. FT	(142 SQ. M)
PROPOSED NEW MAIN FLOOR AREA	1684 SQ. FT	(156 SQ. M)

5. SIZE & CONSTRUCTION RELATIVE TO OCCUPANCY:

SPRINKLERED: NO
CONSTRUCTION: COMBUSTIBLE
STOREYS: 1

9.10.8.1 DOES NOT APPLY WHERE THERE IS NO DWELLING UNIT ABOVE DWELLING UNIT OR ABOVE OR BELOW ANOTHER MAJOR OCCUPANCY, I.E. FIRE RESISTANCE RATING OF FLOORS IS NOT REQUIRED. SEE 9.10.8.10

6. HEADROOM CLEARANCES: 6'-11" (2100mm) 9.9.3.4.(1)-MAINTAIN
MIN. 6'-11" (2100mm) ALONG EXIT PATH OF TRAVEL
EXITS: 6'-8 3/4" (2050mm) 9.8.2.2.(1).(a)
6'-6" (1980mm) 9.9.6.2.(2)

STAIRS AND STAIR LANDINGS:
DOORWAYS:

7. WIDTHS: MINIMUM 2'-10" (860mm) 9.5.4.1.
MINIMUM 2'-8" (810mm) 9.5.5.1
HALLWAYS: MINIMUM 2'-11 1/2" (900mm) 9.8.2.1
ENTRANCE:
STAIRS:

8. HANDRAIL & GUARDRAILS:

ONE HANDRAIL IS REQUIRED MIN 2'-10" (865mm) PER STAIR 9.8.7.4

GUARDRAILS ARE REQUIRED IF A DIFFERENCE OF ELEVATION MORE THAN 1'-11 1/2" (600mm) IS PRESENT. 9.8.8.1

9. EGRESS WINDOWS:

EACH BEDROOM SHALL HAVE ONE OUTSIDE WINDOW CONFORMING TO 9.9.10.1. WINDOW/DOOR SHALL PROVIDE AN UNOBSTRUCTED OPENING OF NOT LESS THAN 0.35m² IN AREA WITH NO DIMENSION LESS THAN 1'-3" (380mm).

10. DOORS & WINDOWS:

AS PER 9.7.3.3 FOR CALGARY (-30) WINDOWS AND DOORS ARE TO HAVE MAX. U VALUE GREATER THAN 2.0 & MIN. TEMP INDEX LESS THAN 68.

AS PER THE ABC 2014 9.7.6.1 WINDOWS, DOORS & SKYLIGHTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE AAMA/WDMA/CSA 101/I.S.2/A440 NAFS SPECIFICATION, AS WELL AS THE MANUFACTURES SPECIFICATIONS.

SYMBOLS LEGEND:



NORTH

D#

DOOR NUMBER

W#

WINDOW TYPE

00

DEMOLITION NOTE

00

KEYNOTE

00

REVISION

W#

WALL ASSEMBLY TYPE TAG

F#

FINISH TAG (INTERIOR OR EXTERIOR)

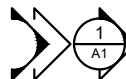


DETAIL / SECTION / ELEVATION NUMBER

WALL SECTION

SCALE: 3/4" = 1'-0"

SHEET NUMBER:



FILLED ARROW: SECTION

UNFILLED ARROW: ELEVATION

LANDUSE:

PLAN 731344; BLOCK 13; LOT 33

LANDUSE DISTRICT R-CG

SIDE SETBACK 1.2m
FRONT SETBACK 3.0m
REAR SETBACK 7.5m

DRAWING SHEETS:

ARCHITECTURAL:

A0.0 - COVER PAGE, CODE REVIEW & SYMBOL LEGEND
A1.0 - PROPOSED SITE PLAN
A1.1 - PROPOSED LANDSCAPE PLAN
A1.2 - SITE PHOTOS
A2.0 - EXISTING BASEMENT PLAN
A2.1 - EXISTING MAIN FLOOR PLAN
A2.2 - PROPOSED BASEMENT PLAN
A2.3 - PROPOSED MAIN FLOOR PLAN
A3.0 - ELEVATIONS
A3.1 - ELEVATIONS
A3.2 - ELEVATIONS



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THIS DRAWING MUST NOT BE SCALED.

REVISIONS:

NO	DATE	ISSUE
01	2026.04.01	ISSUED FOR DEVELOPMENT PERMIT

CONSULTANTS

CLIENT

PROJECT

ADDITION &
RENOVATION TO:

503 CANTRELL DR SW
CALGARY, AB

DATE: 2025.09.22
DRAWN/CHECKED: HR/MB

SCALE: AS NOTED
JOB NO: 2503

SHEET TITLE

COVER PAGE,
CODE REVIEW &
SYMBOLS LEGEND

A0.0

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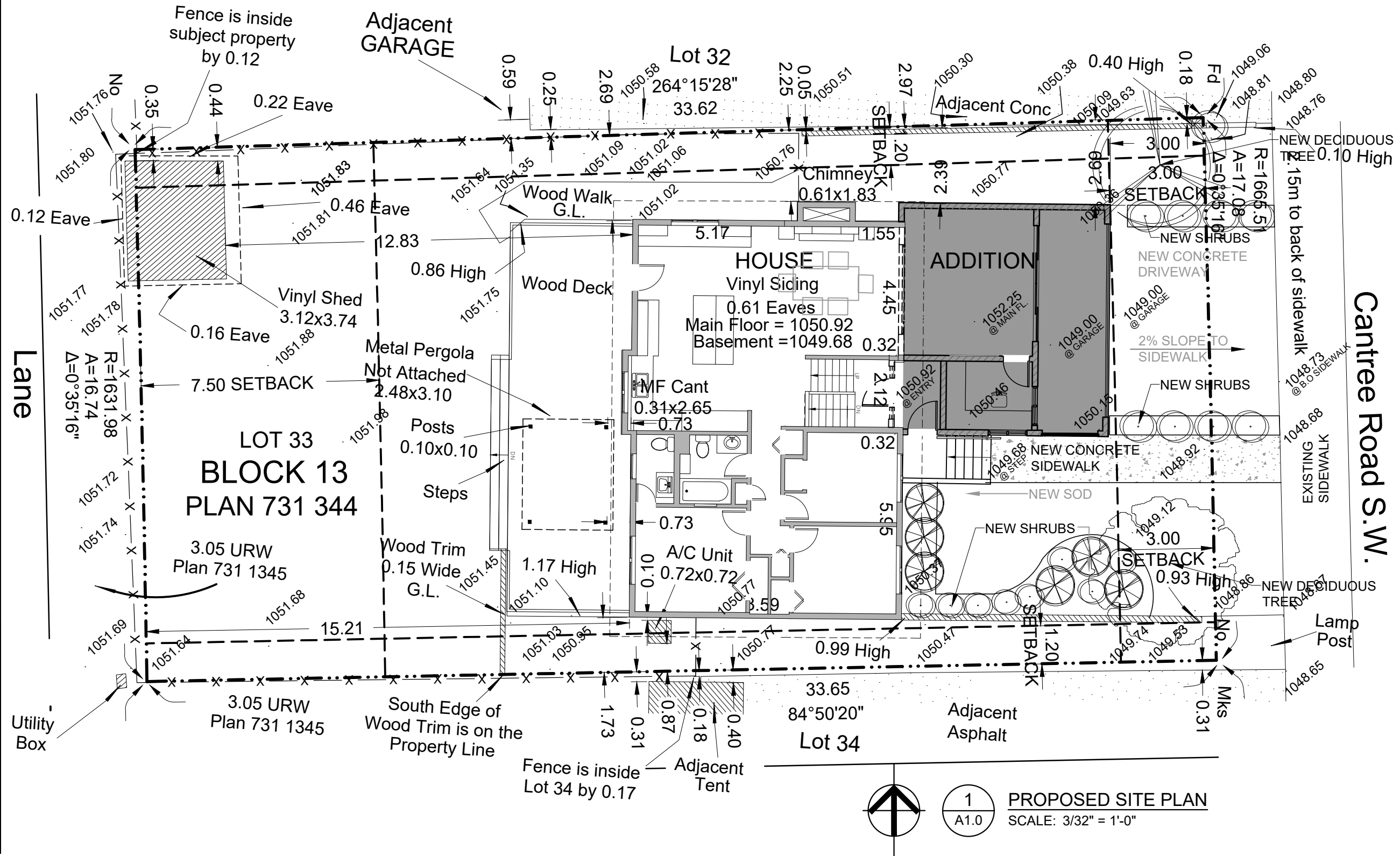
SCALE:
AS NOTED

JOB NO:
2503

SHEET TITLE

SITE PLAN

A1.0



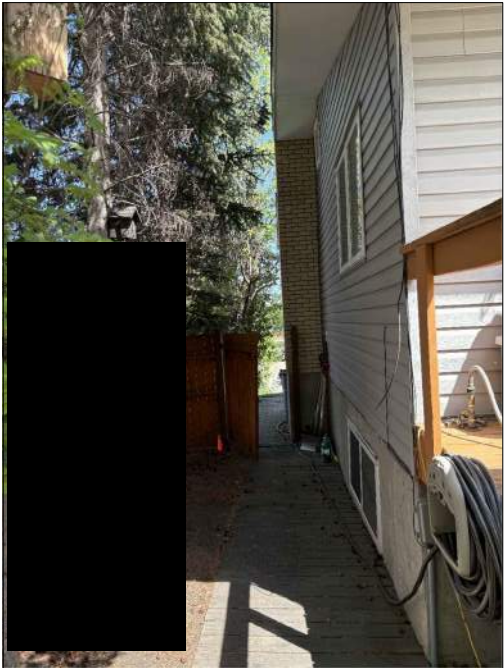
PROPOSED LANDSCAPE PLAN
SCALE: 3/32" = 1'-0"



1 FRONT VIEW LOOKING WEST
A1.2 SCALE: NTS



2 FRONT VIEW LOOKING WEST
A1.2 SCALE: NTS



3 VIEW ALONG NORTH PL
A1.2 SCALE: NTS



4 FRONT VIEW LOOKING NW
A1.2 SCALE: NTS



5 FRONT VIEW LOOKING SW
A1.2 SCALE: NTS



6 VIEW ALONG SOUTH PL
A1.2 SCALE: NTS



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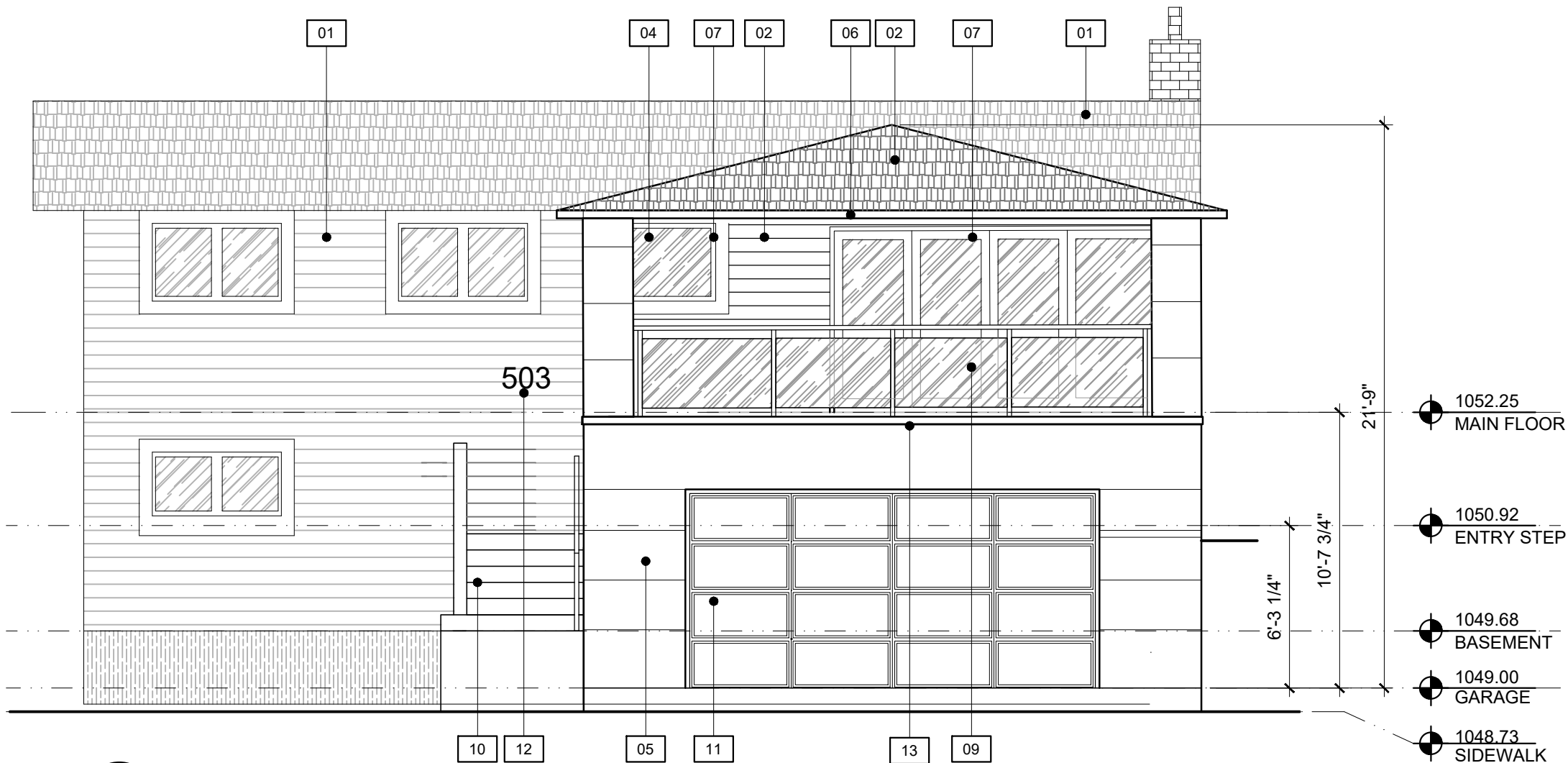
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SHEET TITLE

SITE PHOTOS



1 FRONT ELEVATION
A3.0 SCALE: 3/16" = 1'-0"

MATERIAL LEGEND:

- | | | | |
|----|---|----|---------------------------------|
| 01 | EXISTING SHINGLES TO REMAIN | 08 | NEW FRONT DOOR |
| 02 | NEW SHINGLES TO MATCH EXISTING | 09 | NEW GLASS GUARDRAIL |
| 03 | EXISTING VERTICAL SIDING COLOR: WHITE | 10 | NEW CONCRETE STEPS |
| 04 | NEW STUCCO WITH REVEALS COLOR: WHITE | 11 | NEW OVERHEAD DOOR COLOR: TBD |
| 05 | NEW STUCCO WITH REVEALS COLOR: CHARCOAL | 12 | NEW ADDRESS NUMBERS |
| 06 | EXISTING ALUMINUM FASCIA & EAVESTROUGH | 12 | NEW EXTERIOR LIGHT |
| 07 | NEW VINYL TRIPLE GLAZED WINDOWS | 13 | ALUMINUM BREAK SHAPE PROJECTION |

NOTES:

1. PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, ETC) & EXTEND 3" PAST OPENING EXTENTS.
2. METAL FLASHING TO MATCH ADJACENT FINISH
3. EXISTING DOWNSPOUTS TO REMAIN. PROVIDE NEW ON ADDITION AS REQUIRED.



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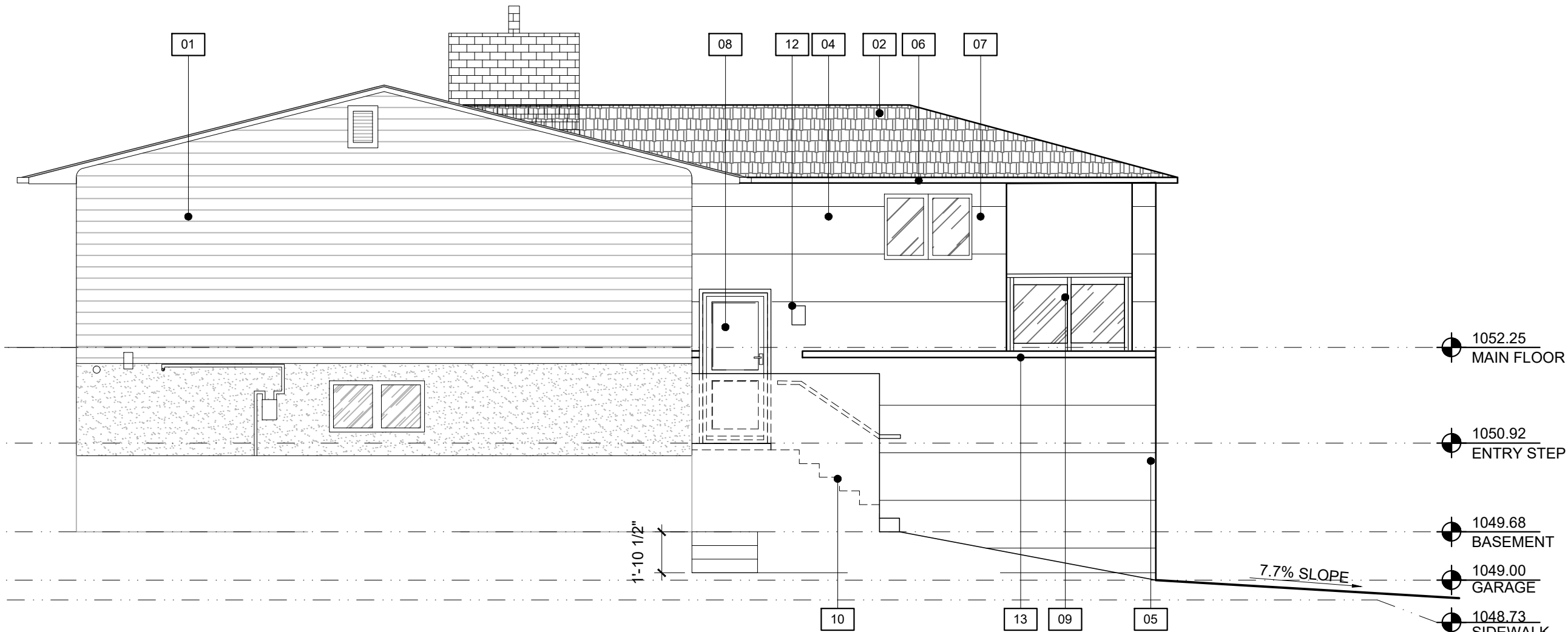
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SHEET TITLE

ELEVATIONS

A3.0



1 SOUTH ELEVATION
A3.1 SCALE: 3/16" = 1'-0"

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- | | | | |
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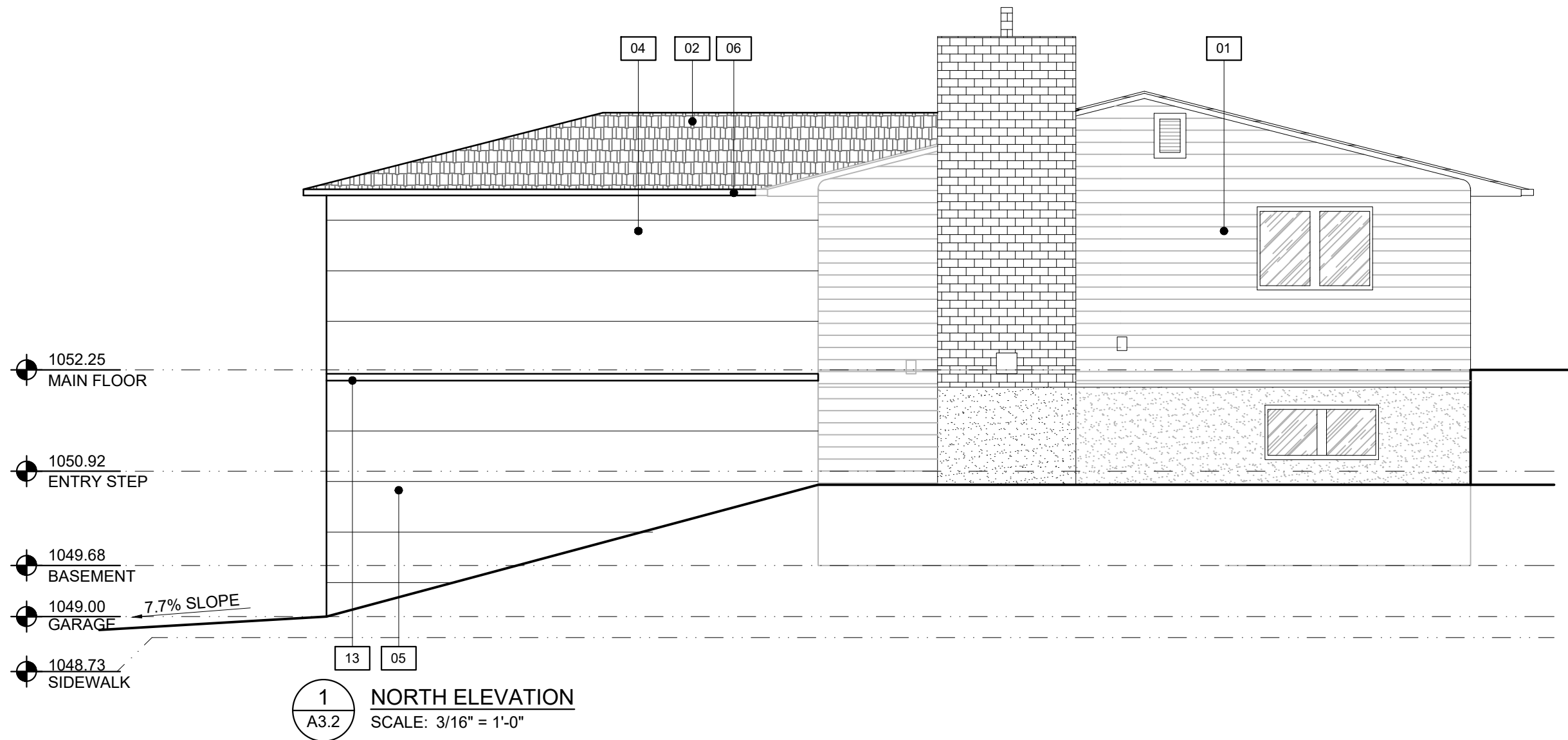
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SHEET TITLE

ELEVATIONS

A3.1



MATERIAL LEGEND:

- | | | | |
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ELEVATIONS

A3.2