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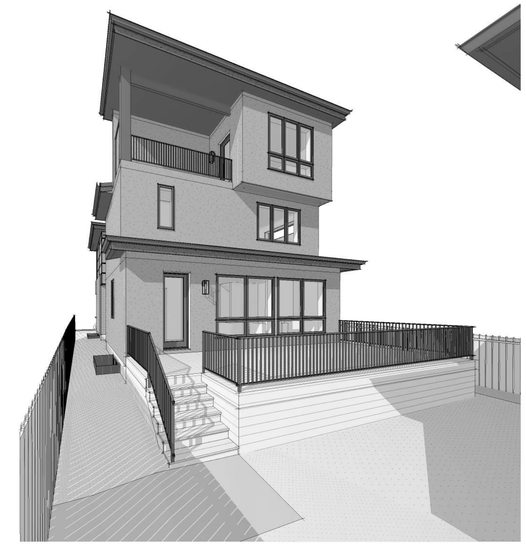

OCHO AVENIDA

923 8 AVE NE

PROJECT: OCHO AVENIDA

HOMES BY SORENSEN

Homes by Sorensen
www.homesbysorensen.ca

1870 45 St NW #101, Calgary, AB T3B 6A9

PROJECT:

OCHO AVENIDA

923 8 AVE NE

DRAWINGS MUST NOT BE SCALED.

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PRELIMINARY NOT FOR CONSTRUCTION

FLOOR AREAS:

BASEMENT:	1137.19 SF
AT GRADE DECK/ PATIO:	
MAIN FLOOR:	1137.19 SF
SECOND FLOOR:	1059.61 SF
THIRD FLOOR:	743.09 SF
COVERED DECKS:	
TOTAL ABOVE GRADE:	2939.89 SF
TOTAL:	4077.08 SF
DETACHED GARAGE:	785.09 SF
GARAGE SUITE:	786.06 SF

REVISIONS

COVER

SHEET NO.

A00

DATE: 2026-03-27

2026-03-31 8:28:48 AM

NOTE: ALL SMART TRIM TO BE SMOOTH

1 FRONT ELEVATION
1/4" = 1'-0"

NOTE: ALL SMART TRIM TO BE SMOOTH

2 REAR ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH LEGEND

1
PRODUCT: JAMES HARDIE 7" LAP SIDING
FINISH: **SELECT CEDARMILL**
COLOUR: GRAY SLATE

2
PRODUCT: JAMES HARDIE PANEL
FINISH: **SMOOTH**
COLOUR: IRON GRAY
ACCESSORIES: EASY TRIM REVEAL - BLACK

3
PRODUCT: 40 YEAR ASPHALT SHINGLE
TYPE: ARCHITECTURAL SHINGLE
COLOUR: ONYX BLACK

4
PRODUCT: LUX ARCHITECTURAL PRODUCTS
TYPE: LUX LAP V-GROOVE
COLOUR: IRONWOOD
SIZE: 6" PLANK

5
PRODUCT: ACRYLIC STUCCO
COLOUR: SHERWIN WILLIAMS - CITYSCAPE SW 7067
TYPE: **SMOOTH**

6
PRODUCT: F-TYPE LIMESTONE - SAWN FACE
COLOUR: LIGHT GREY - WARM UNDERTONE
MORTAR: STANDARD GREY
SUPPLIER: ASPEN BRICK & STONE
SIZE: RANDOM MIX OF 3" HEIGHT & 6" HEIGHT

NOTE: REFER TO RENDERING FOR PATTERN, NO SMALL SQUARE CUTS (REVIEW WITH MASON BEFORE INSTALL)

7
PRODUCT: BLACK ALUMINUM, FASCIA, EAVESTROUGH

8
PRODUCT: ACRYLIC STUCCO
COLOUR: SHERWIN WILLIAMS - TRICORN BLACK SW 6258
TYPE: **SMOOTH**

NOTE: STUCCO FASCIA LOCATIONS

ZONE 1 GLAZING CALCULATION:
WALL AREA: 303.69 SF
WINDOW AREA: 135.96 SF
PERCENTAGE OF GLAZING @ 5.38m = 44.7% (MAX. 72.81%)

ZONE 2 GLAZING CALCULATION:
WALL AREA: 228.25 SF
WINDOW AREA: 47.19 SF
PERCENTAGE OF GLAZING @ 5.99m = 20.7% (MAX. 88%)

ZONE 3 GLAZING CALCULATION:
WALL AREA: 140.19 SF
WINDOW AREA: 42.50 SF
PERCENTAGE OF GLAZING @ 5.04m = 30.3% (MAX. 64.48%)

3 REAR ELEVATION - LIMITING DISTANCE
3/64" = 1'-0"

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REVISIONS

1	ISSUED FOR DP SUBMISSION	2026-03-27

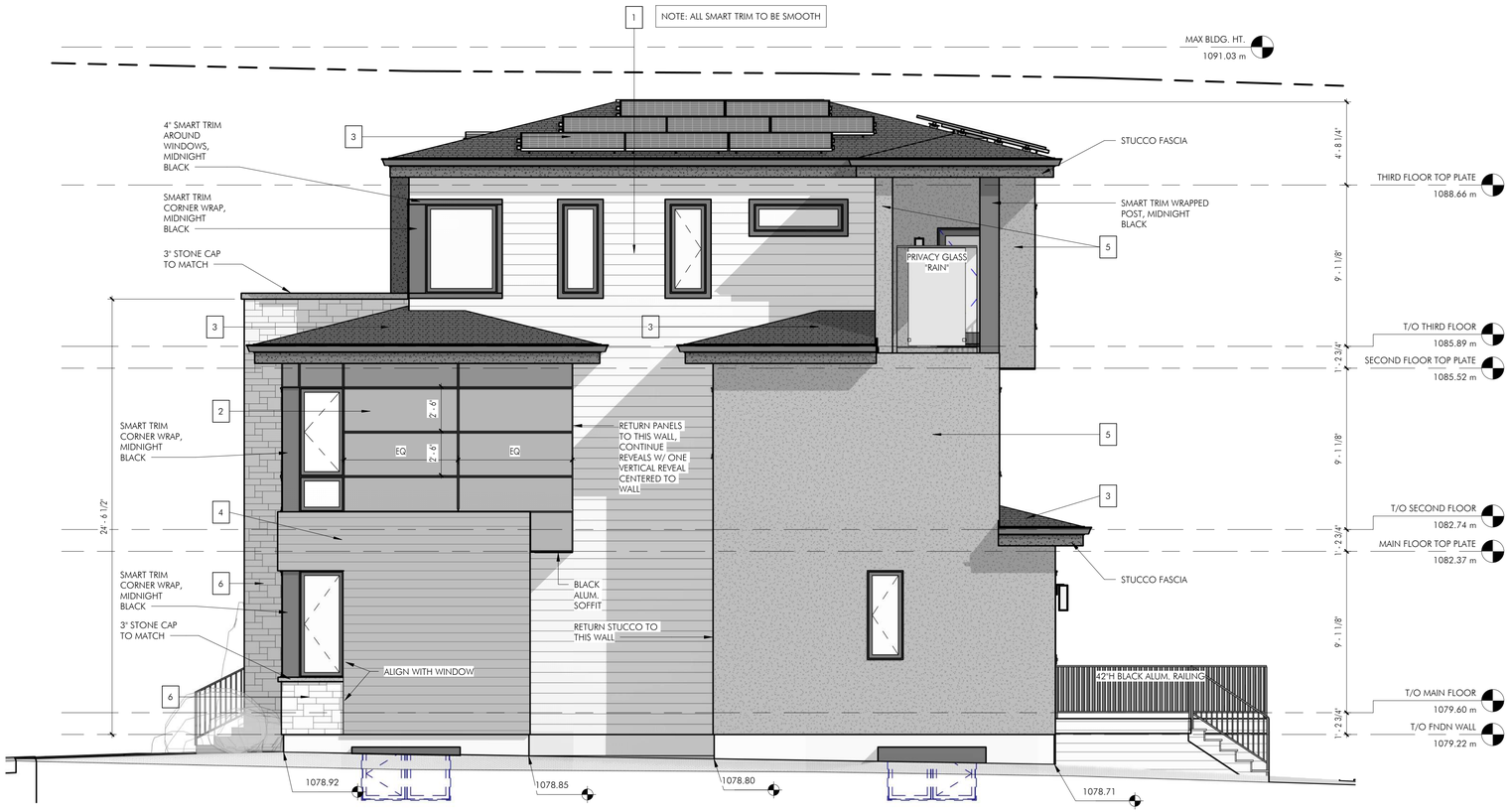
EXTERIOR ELEVATIONS

SHEET NO.
A3

DATE: 2026-03-27

PROJECT: OCHO AVENIDA

2026-03-31 8:28:56 AM



1 RIGHT ELEVATION
1/4" = 1'-0"

ZONE 1 GLAZING CALCULATION:
WALL AREA: 711.70 SF
WINDOW AREA: 14.67 SF
PERCENTAGE OF GLAZING @ 1.68m = 8.3% (MAX. 8.36%)

ZONE 2 GLAZING CALCULATION:
WALL AREA: 393.66 SF
WINDOW AREA: 47.51 SF
PERCENTAGE OF GLAZING @ 3.5m = 12.1% (MAX. 32.25%)

2 RIGHT ELEVATION - LIMITING DISTANCE
3/64" = 1'-0"

EXTERIOR FINISH LEGEND

1

PRODUCT: JAMES HARDIE 7" LAP SIDING
FINISH: **SELECT CEDARMILL**
COLOUR: GRAY SLATE

2

PRODUCT: JAMES HARDIE PANEL
FINISH: **SMOOTH**
COLOUR: IRON GRAY
ACCESSORIES: EASY TRIM REVEAL - BLACK

3

PRODUCT: 40 YEAR ASPHALT SHINGLE
TYPE: ARCHITECTURAL SHINGLE
COLOUR: ONYX BLACK

4

PRODUCT: LUX ARCHITECTURAL PRODUCTS
TYPE: LUX LAP V-GROOVE
COLOUR: IRONWOOD
SIZE: 6" PLANK

5

PRODUCT: ACRYLIC STUCCO
COLOUR: SHERWIN WILLIAMS - CITYSCAPE SW 7067
TYPE: **SMOOTH**

6

PRODUCT: F-TYPE LIMESTONE - SAWN FACE
COLOUR: LIGHT GREY - WARM UNDERTONE
MORTAR: STANDARD GREY
SUPPLIER: ASPEN BRICK & STONE
SIZE: RANDOM MIX OF 3" HEIGHT & 6" HEIGHT

NOTE: REFER TO RENDERING FOR PATTERN, NO SMALL SQUARE CUTS (REVIEW WITH MASON BEFORE INSTALL)

7

PRODUCT: BLACK ALUMINUM, FASCIA, EAVESTROUGH

8

PRODUCT: ACRYLIC STUCCO
COLOUR: SHERWIN WILLIAMS - TRICORN BLACK SW 6258
TYPE: **SMOOTH**

NOTE: STUCCO FASCIA LOCATIONS

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REVISIONS

EXTERIOR ELEVATIONS

SHEET NO.
A4

DATE: 2026-03-27

PROJECT: OCHO AVENIDA

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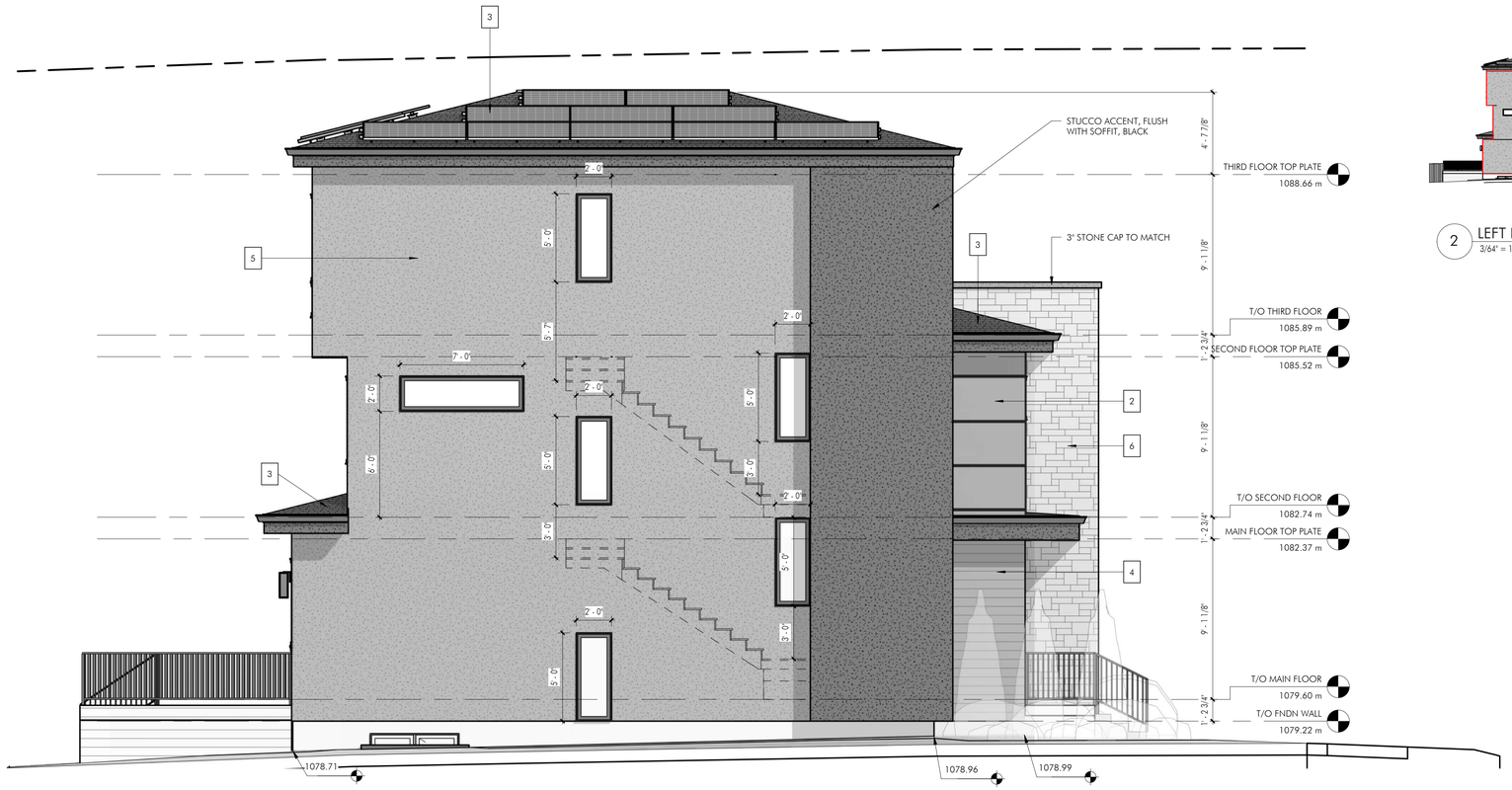
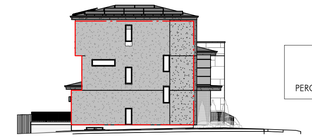


1 LEFT ELEVATION
1/4" = 1'-0"



ZONE 1 GLAZING CALCULATION:
WALL AREA: 1084.51 SF
WINDOW AREA: 64 SF
PERCENTAGE OF GLAZING @ 1.68m = 5.9% (MAX. 8.36%)

2 LEFT ELEVATION - LIMITING DISTANCE
3/64" = 1'-0"

EXTERIOR FINISH LEGEND

1
PRODUCT: JAMES HARDIE 7" LAP SIDING
FINISH: **SELECT CEDARMILL**
COLOUR: GRAY SLATE

2
PRODUCT: JAMES HARDIE PANEL
FINISH: **SMOOTH**
COLOUR: IRON GRAY
ACCESSORIES: EASY TRIM REVEAL - BLACK

3
PRODUCT: 40 YEAR ASPHALT SHINGLE
TYPE: ARCHITECTURAL SHINGLE
COLOUR: ONYX BLACK

4
PRODUCT: LUX ARCHITECTURAL PRODUCTS
TYPE: LUX LAP V-GROOVE
COLOUR: IRONWOOD
SIZE: 6" PLANK

5
PRODUCT: ACRYLIC STUCCO
COLOUR: SHERWIN WILLIAMS - CITYSCAPE SW 7067
TYPE: **SMOOTH**

6
PRODUCT: F-TYPE LIMESTONE - SAWN FACE
COLOUR: LIGHT GREY - WARM UNDERTONE
MORTAR: STANDARD GREY
SUPPLIER: ASPEN BRICK & STONE
SIZE: RANDOM MIX OF 3" HEIGHT & 6" HEIGHT

NOTE: REFER TO RENDERING FOR PATTERN, NO SMALL SQUARE CUTS (REVIEW WITH MASON BEFORE INSTALL)

7
PRODUCT: BLACK ALUMINUM, FASCIA, EAVESTROUGH

8
PRODUCT: ACRYLIC STUCCO
COLOUR: SHERWIN WILLIAMS - TRICORN BLACK SW 6258
TYPE: **SMOOTH**

NOTE: STUCCO FASCIA LOCATIONS

PROJECT: OCHO AVENIDA

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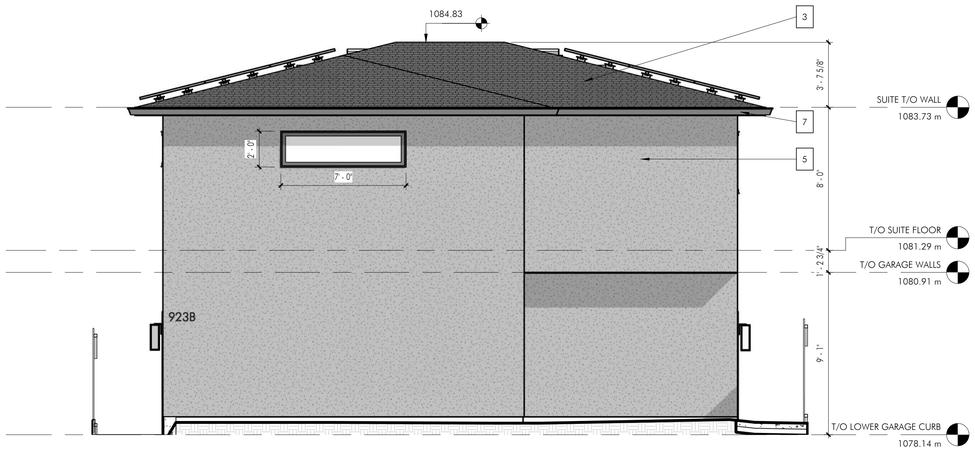
PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS

EXTERIOR ELEVATIONS

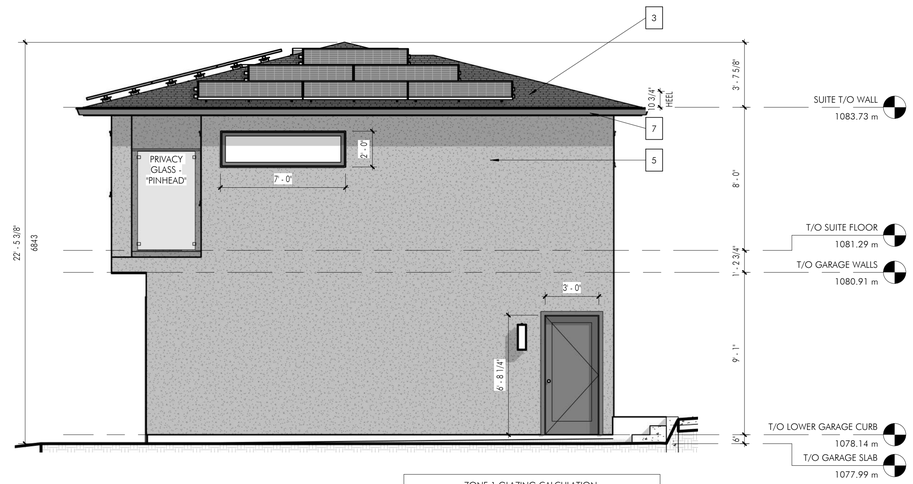
SHEET NO.
A5

DATE: 2026-03-27



1 GARAGE - FRONT ELEVATION
1/4" = 1'-0"

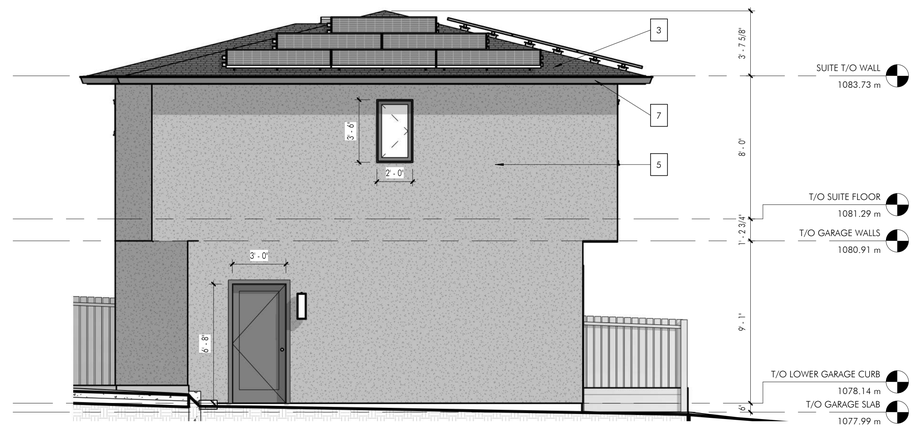
ZONE 1 GLAZING CALCULATION:
WALL AREA: 349.59 SF
WINDOW AREA: 14 SF
PERCENTAGE OF GLAZING @ 1.22m = 4% (MAX. 7%)



3 GARAGE - LEFT ELEVATION
1/4" = 1'-0"

ZONE 1 GLAZING CALCULATION:
WALL AREA: 455.66 SF
WINDOW AREA: 14 SF
PERCENTAGE OF GLAZING @ 1.22m = 3% (MAX. 7%)

2 GARAGE - REAR ELEVATION
1/4" = 1'-0"



4 GARAGE - RIGHT ELEVATION
1/4" = 1'-0"

ZONE 1 GLAZING CALCULATION:
WALL AREA: 429.67 SF
WINDOW AREA: 7.04 SF
PERCENTAGE OF GLAZING @ 1.22m = 1.6% (MAX. 7%)

EXTERIOR FINISH LEGEND

1

PRODUCT: JAMES HARDIE 7" LAP SIDING
FINISH: **SELECT CEDARMILL**
COLOUR: GRAY SLATE

2

PRODUCT: JAMES HARDIE PANEL
FINISH: **SMOOTH**
COLOUR: IRON GRAY
ACCESSORIES: EASY TRIM REVEAL - BLACK

3

PRODUCT: 40 YEAR ASPHALT SHINGLE
TYPE: ARCHITECTURAL SHINGLE
COLOUR: ONYX BLACK

4

PRODUCT: LUX ARCHITECTURAL PRODUCTS
TYPE: LUX LAP V-GROOVE
COLOUR: IRONWOOD
SIZE: 6" PLANK

5

PRODUCT: ACRYLIC STUCCO
COLOUR: SHERWIN WILLIAMS - CITYSCAPE SW 7067
TYPE: **SMOOTH**

6

PRODUCT: F-TYPE LIMESTONE - SAWN FACE
COLOUR: LIGHT GREY - WARM UNDERTONE
MORTAR: STANDARD GREY
SUPPLIER: ASPEN BRICK & STONE
SIZE: RANDOM MIX OF 3" HEIGHT & 6" HEIGHT

NOTE: REFER TO RENDERING FOR PATTERN, NO SMALL SQUARE CUTS (REVIEW WITH MASON BEFORE INSTALL)

7

PRODUCT: BLACK ALUMINUM, FASCIA, EAVESTROUGH

8

PRODUCT: ACRYLIC STUCCO
COLOUR: SHERWIN WILLIAMS - TRICORN BLACK SW 6258
TYPE: **SMOOTH**

NOTE: STUCCO FASCIA LOCATIONS

PROJECT: OCHO AVENIDA

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PROJECT:
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923 8 AVE NE

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REVISIONS

GARAGE ELEVATIONS

SHEET NO.
G2

DATE: 2026-03-27

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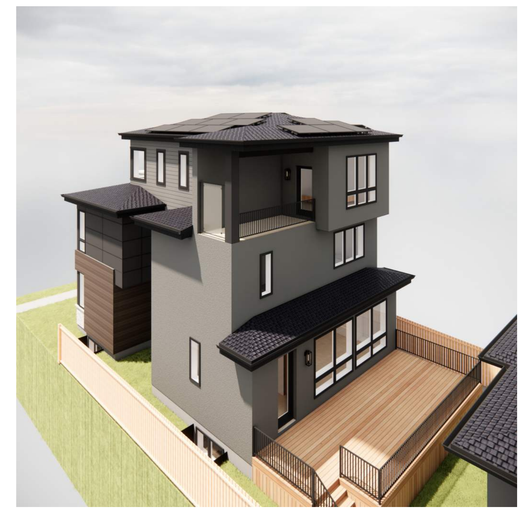

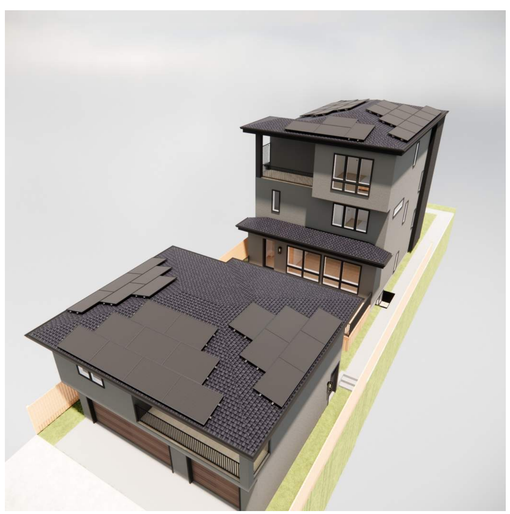

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REVISIONS

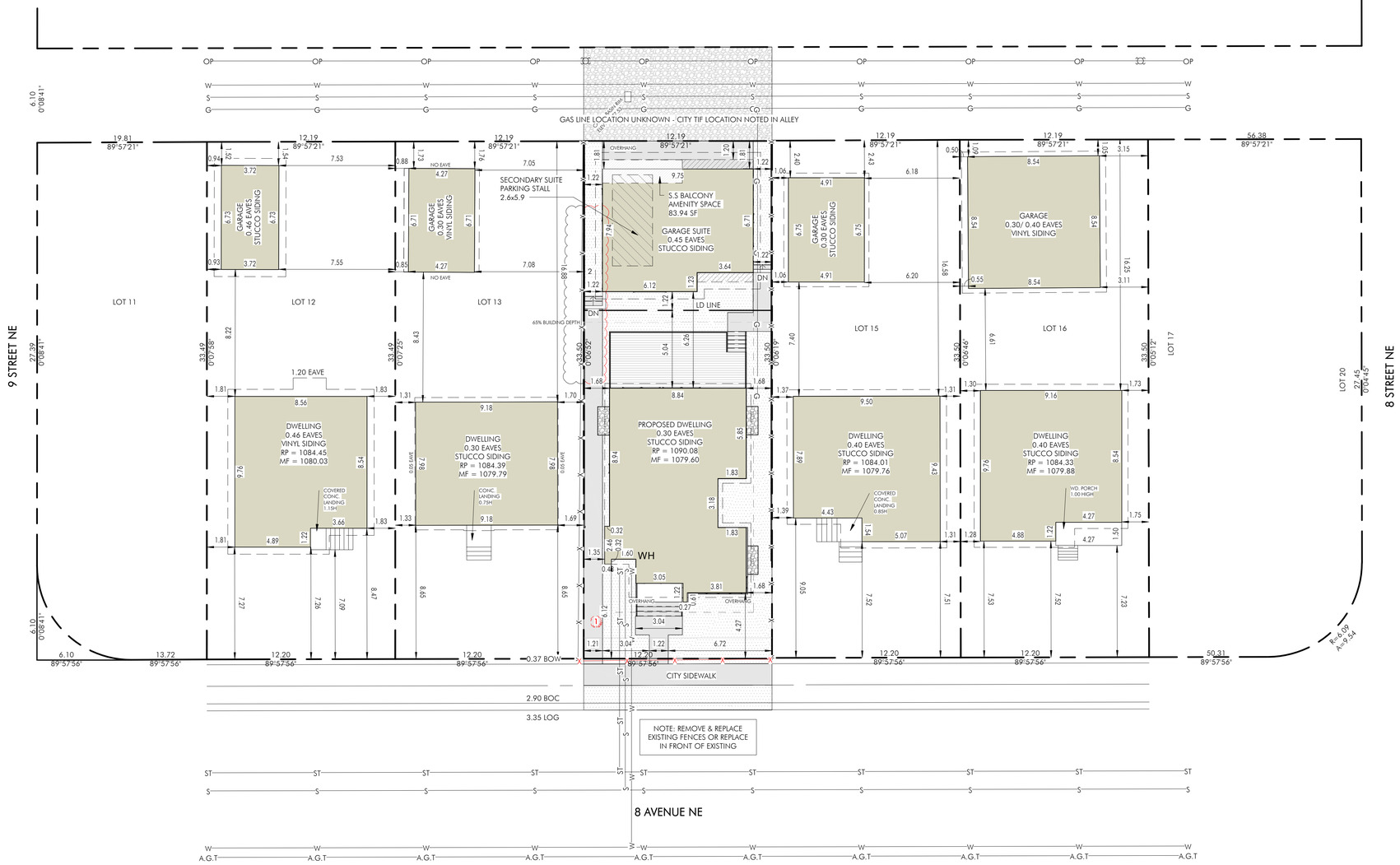
RENDERINGS

SHEET NO.

R1

DATE: 2026-03-27

PROJECT: OCHO AVENIDA



1 BLOCK PLAN
1 : 150

2 STREETSCAPE
1 : 150

SITE INFORMATION

ADDRESS:	923 8 AVE NE
LEGAL ADDRESS:	LOT 14 BLOCK 152 PLAN 8150AN
ZONING:	H-GO
LOT AREA:	4398.23 SF
HOUSE:	1147.94 SF
DETACHED GARAGE:	785.09 SF
LOT COVERAGE:	43.9%

FLOOR AREAS:

BASEMENT:	1137.19 SF
AT GRADE DECK/ PATIO:	
MAIN FLOOR:	1137.19 SF
SECOND FLOOR:	1059.61 SF
THIRD FLOOR:	743.09 SF
COVERED DECKS:	
TOTAL ABOVE GRADE:	2939.89 SF
TOTAL:	4077.08 SF
DETACHED GARAGE:	785.09 SF
GARAGE SUITE:	786.06 SF

LANDSCAPING LEGEND

BUILDING FOOTPRINT
COVERED AREA
MAIN FLOOR CANTILEVER
SECOND FLOOR CANTILEVER
SOD
CONCRETE - BROOM FINISH
CONCRETE - EXPOSED AGGREGATE
WASH ROCK/ GRAVEL
DECK
MULCH

TREES — DECIDUOUS — CONIFEROUS

SHRUB

OVERHEAD POWER
UNDERGROUND POWER
WATER LINE
SANITARY LINE
GAS LINE
6'-0" FENCE
GATE
PROPERTY LINE
SETBACKS
PROPOSED GEODETIC
EXISTING GEODETIC
STREET LAMP
POWER POLE

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REVISIONS

BLOCK PLAN & STREETSCAPE

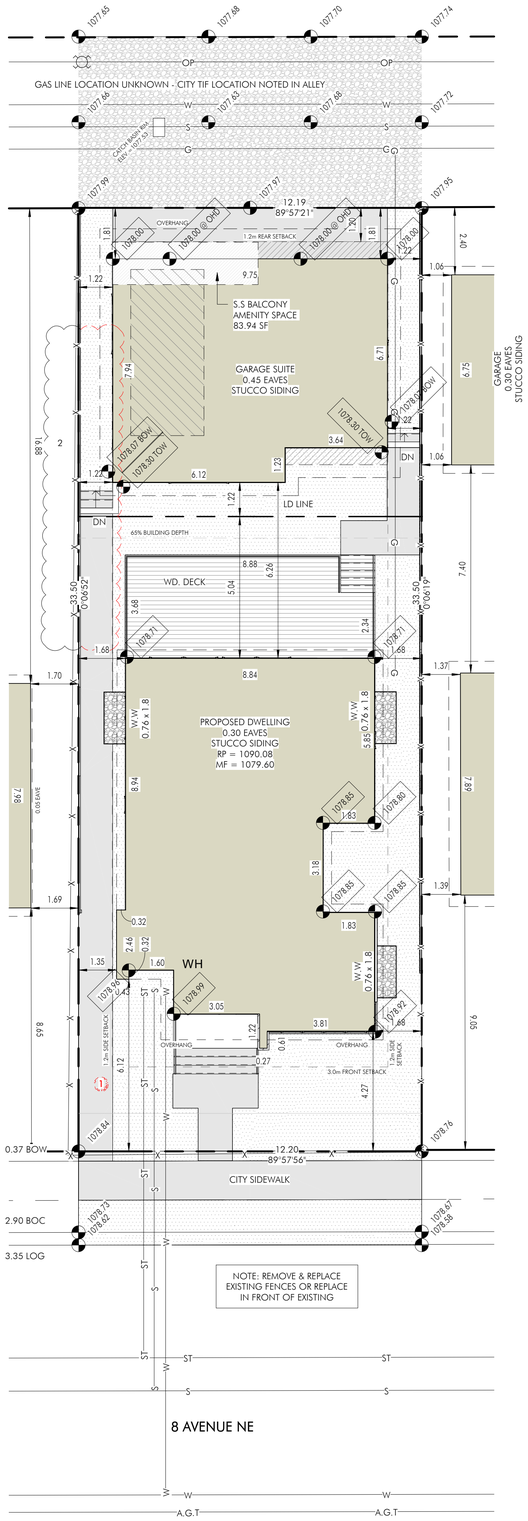
SHEET NO.
S1

DATE: 2026-03-27

TREE SCHEDULE

TREE NUMBER	TREE TYPE	SPECIES	TRUNK DIA.	CANOPY DIA.	HEIGHT	CITY TREE	EXISTING / PROPOSED	STATUS	COUNT
1	DECIDUOUS		0.47	0.70	1.70	NO	EXISTING	REMOVED	1
2	BUSH		-	2.50	3.20	NO	EXISTING	REMOVED	1

2026-03-26 3:06:53 PM



1 SITE PLAN
1 : 100

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FLOOR AREAS:

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MAIN FLOOR:	1137.19 SF
SECOND FLOOR:	1059.61 SF
THIRD FLOOR:	743.09 SF
COVERED DECKS:	
TOTAL ABOVE GRADE:	2939.89 SF
TOTAL:	4077.08 SF
DETACHED GARAGE:	785.09 SF
GARAGE SUITE:	786.06 SF

LANDSCAPING LEGEND

BUILDING FOOTPRINT
COVERED AREA
MAIN FLOOR CANTILEVER
SECOND FLOOR CANTILEVER
SOD
CONCRETE - BROOM FINISH
CONCRETE - EXPOSED AGGREGATE
WASH ROCK/ GRAVEL
DECK
MULCH

TREES — DECIDUOUS — CONIFEROUS

SHRUB — 4

OVERHEAD POWER — OP — OP — OP
UNDERGROUND POWER — P — P — P
WATER LINE — W — W — W
SANITARY LINE — S — S — S
GAS LINE — G — G — G
6'-0" FENCE — X — X
GATE — X — GATE — X
PROPERTY LINE
SETBACKS
PROPOSED GEODETIC — 52.34m
EXISTING GEODETIC — 52.34m
STREET LAMP
POWER POLE

PRELIMINARY NOT FOR CONSTRUCTION

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REVISIONS

SITE PLAN

SHEET NO.
S2

DATE: 2026-03-27

PROJECT: OCHO AVENIDA

TREE SCHEDULE

TREE NUMBER	TREE TYPE	SPECIES	TRUNK DIA.	CANOPY DIA.	HEIGHT	CITY TREE	EXISTING / PROPOSED	STATUS	COUNT
1	DECIDUOUS		0.47	0.70	1.70	NO	EXISTING	REMOVED	1
2	BUSH		-	2.50	3.20	NO	EXISTING	REMOVED	1