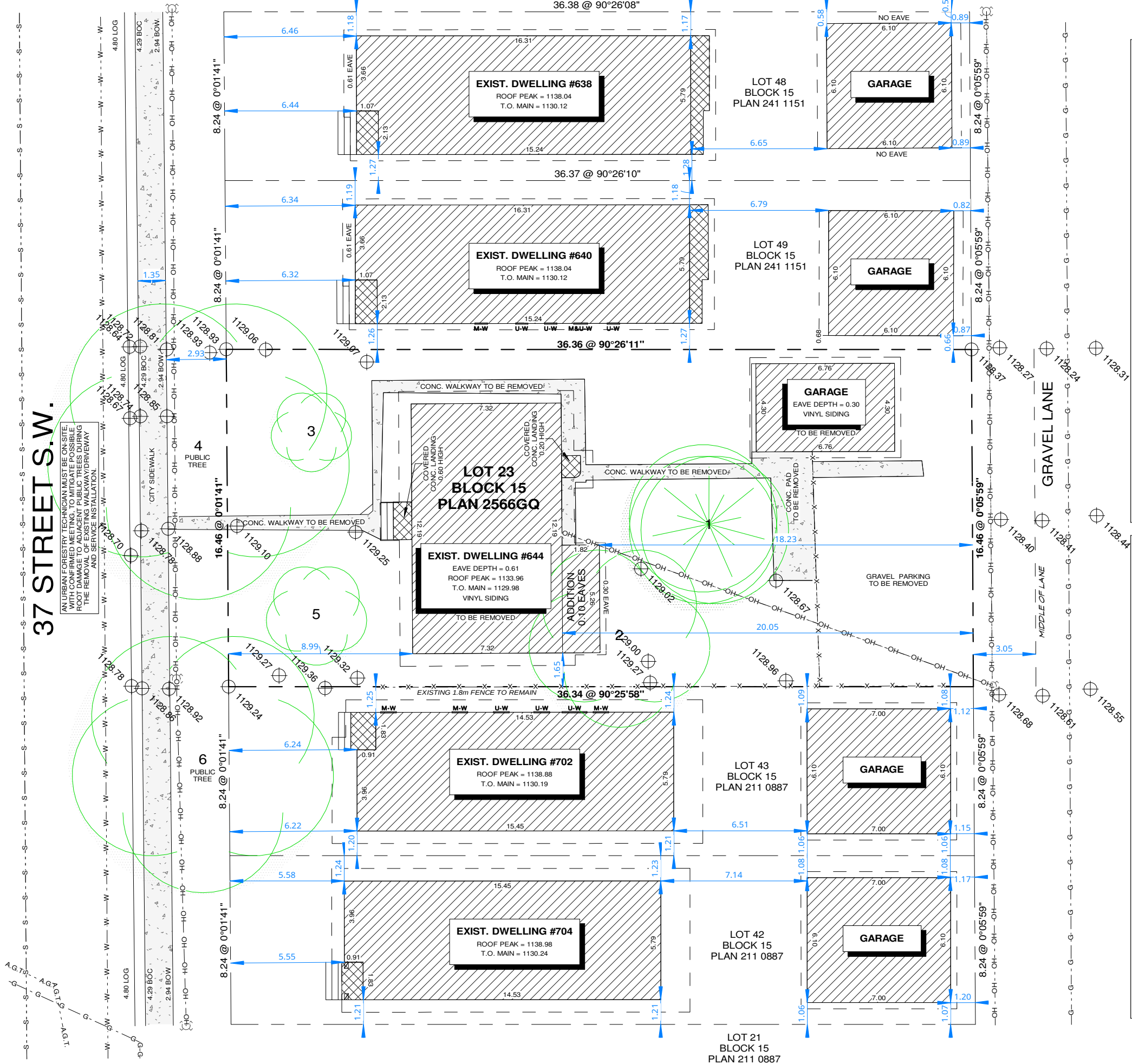




SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (SOUTH)

644 37 ST. SW (SOUTH), CALGARY, AB





37 STREET S.W.

AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE WITH CONFIRMED MEETING TO MITIGATE POSSIBLE ROOT DAMAGE TO ADJACENT PUBLIC TREES DURING THE REMOVAL OF EXISTING WALKWAY/DRIVEWAY AND SERVICE INSTALLATION.

TREE SCHEDULE				
TREE	TYPE	SPECIES	DIAMETER	CANOPY
6	DECIDUOUS	AMERICAN ELM	0.70 m	10.00 m
7	DECIDUOUS	ASPEN COLUMNAR	0.60 m	13.00 m
8	DECIDUOUS	ASPEN COLUMNAR	0.60 m	
9	DECIDUOUS	ASPEN COLUMNAR	0.60 m	
10	DECIDUOUS	ASPEN COLUMNAR	0.60 m	

TREE SCHEDULE				
TREE	TYPE	SPECIES	DIAMETER	CANOPY
1	CONIFEROUS	WHITE SPRUCE	0.50 m	8.00 m
2	DECIDUOUS	GREEN ASH	0.60 m	9.00 m
3	DECIDUOUS	GREEN ASH	0.16 m	4.00 m
4	DECIDUOUS	AMERICAN ELM	0.70 m	15.00 m
5	DECIDUOUS	GREEN ASH	0.30 m	5.00 m

ACTION		
REMOVE	REMOVE	REMOVE
REMOVE	REMOVE	REMOVE
TO REMAIN	TO REMAIN	TO REMAIN
REMOVE	REMOVE	REMOVE

ARC1

DESIGN BUILD

PHONE

(403)816-6342

EMAIL

info@arc1design.ca

DISCLAIMER

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ISSUED FOR

NO.	DESCRIPTION	DATE
1	DESIGN v1.13	06/05/2026

PROJECT NAME & ADDRESS

NAME SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (SOUTH)

ADDRESS 644 37 ST. SW (SOUTH) CALGARY, AB

LEGAL

LOT 23; BLOCK 15; PLAN 2566GQ

USE H-GO

PRINT DATE

6/5/2026 3:22:05 PM

DRAWING

BLOCK PLAN - EXISTING

DRAWN BY

SS

CHECKED BY

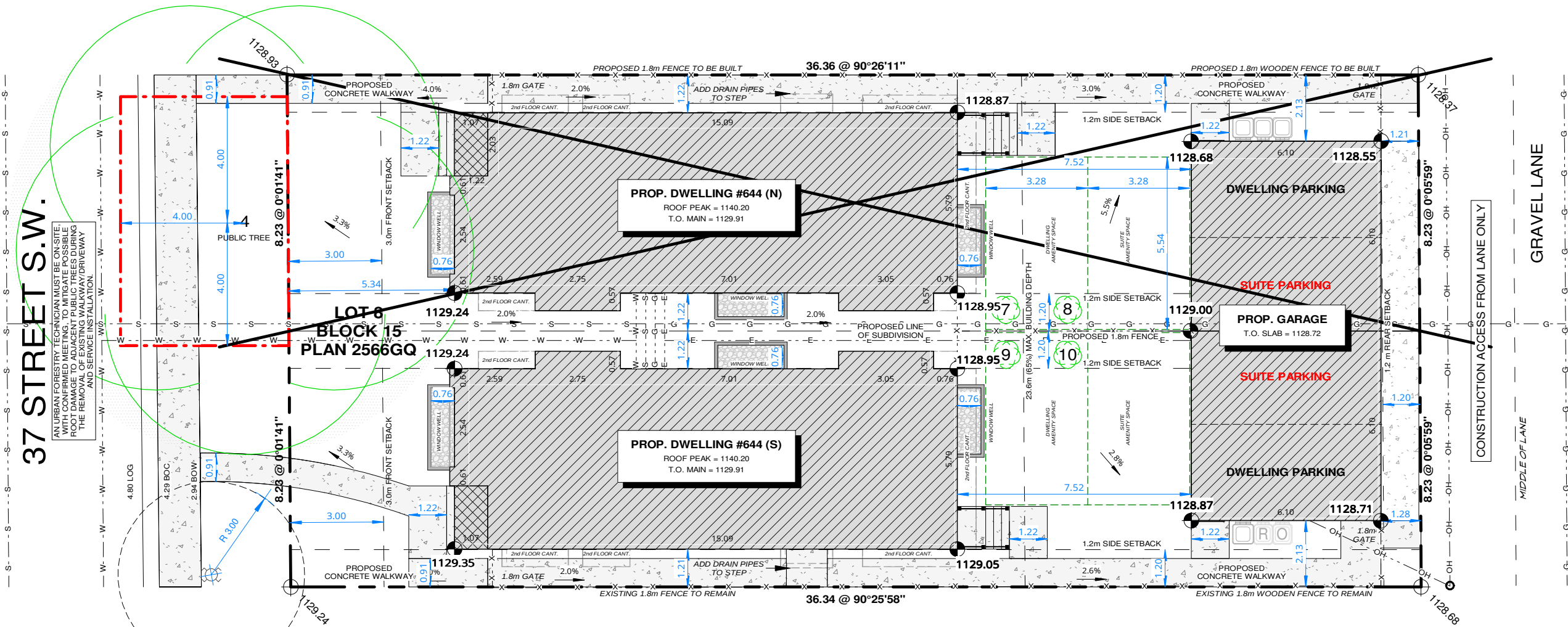
SS

SHEET

A03

SCALE

1 : 200



1 SITE PLAN - PROPOSED
1 : 150

TREE SCHEDULE						
TREE	TYPE	SPECIES	DIAMETER	CANOPY	HEIGHT	ACTION
1	CONIFEROUS	WHITE SPRUCE	0.50 m	8.00 m	14.00 m	REMOVE
2	DECIDUOUS	GREEN ASH	0.60 m	9.00 m	14.00 m	REMOVE
3	DECIDUOUS	GREEN ASH	0.16 m	4.00 m	9.00 m	REMOVE
4	DECIDUOUS	AMERICAN ELM	0.70 m	15.00 m	12.00 m	TO REMAIN
5	DECIDUOUS	GREEN ASH	0.30 m	5.00 m	9.00 m	REMOVE
6	DECIDUOUS	AMERICAN ELM	0.70 m	13.00 m	10.00 m	TO REMAIN
7	DECIDUOUS	ASPEN COLUMNAR	0.60 m			PLANT
8	DECIDUOUS	ASPEN COLUMNAR	0.60 m			PLANT
9	DECIDUOUS	ASPEN COLUMNAR	0.60 m			PLANT
10	DECIDUOUS	ASPEN COLUMNAR	0.60 m			PLANT

1. APPLICANT IS REQUIRED TO FOLLOW ENMAX GROUND DISTURBANCE GUIDELINES
2. ALL CONTRACTORS, PRIME OR SUB (EXCAVATING COMPANY) MUST CONTACT ENMAX HOT DIGS AT HOTDIGS@ENMAX.COM TO OBTAIN AN ENMAX PERMISSION LETTER PRIOR TO DISTURBING THE GROUND WITHIN 2 METERS OF ANY ENMAX AT-GRADE FACILITY
3. NO GRADE CHANGE IS ALLOWED WITHIN 3M OF ENMAX POLE TO AVOID AFFECTING POLE STABILITY. WHEN EXCAVATING NEAR POLES, WE REQUIRE POLE HOLDS TO BE COMPLETED WHEN ANY EXCAVATION IS GREATER THAN 300MM DEEP IN AN AREA OF 4 TIMES THE DIAMETER OF THE POLE. POLE HOLD OR TIE-BACK FROM ENMAX ACCREDITED CONTRACTORS MIGHT BE NEEDED TO MAINTAIN POLE STABILITY DURING CONSTRUCTION
5. APPLICANT IS REQUIRED TO NOTIFY ENMAX LINE INSPECTION AT LINEINSPECTION@ENMAX.COM OR CALL (403) 514-3117 FOR: A) INTENT TO EXCAVATE 5 DAYS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, B) LIMITS OF APPROACH (LOA) WHERE ANY WORKERS OR EQUIPMENT WILL BE WITHIN 7.0M OF EXISTING OVERHEAD EPC FACILITIES.

PARCEL COVERAGE - NORTH LOT (44.80%)

Comments	Area	Area (ft²)
PARCEL AREA		
NORTH LOT	299.1 m²	3,219.8 ft²
	299.1 m²	3,219.8 ft²

BUILDINGS

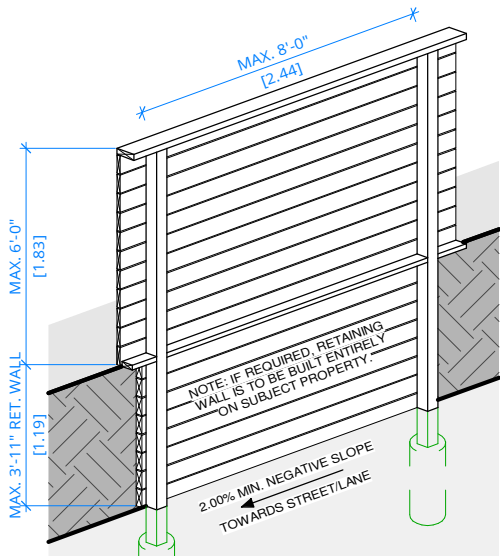
COVERED PORCH	2.2 m²	23.3 ft²
DWELLING	94.7 m²	1,019.3 ft²
GARAGE	37.2 m²	400.0 ft²
	134.0 m²	1,442.6 ft²

PARCEL COVERAGE - SOUTH LOT (44.82%)

Comments	Area	Area (ft²)
PARCEL AREA		
SOUTH LOT	299.0 m²	3,218.1 ft²
	299.0 m²	3,218.1 ft²

BUILDINGS

COVERED PORCH	2.2 m²	23.3 ft²
DWELLING	94.7 m²	1,019.3 ft²
GARAGE	37.2 m²	400.0 ft²
	134.0 m²	1,442.6 ft²



2 FENCE DETAIL w/ RET. WALL
3/16" = 1'-0"

ARC1

DESIGN BUILD

PHONE

(403)816-6342

EMAIL

info@arc1design.ca

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ISSUED FOR		
NO.	DESCRIPTION	DATE
1	DESIGN v1.13	06/05/2026

PROJECT NAME & ADDRESS

NAME SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (SOUTH)

ADDRESS 644 37 ST. SW (SOUTH)
CALGARY, AB

LEGAL LOT 23; BLOCK 15; PLAN 2566GQ

USE H-GO

PRINT DATE 6/5/2026 3:22:07 PM

DRAWING

SITE PLAN - PROPOSED

DRAWN BY VT

CHECKED BY SS

SHEET

A05

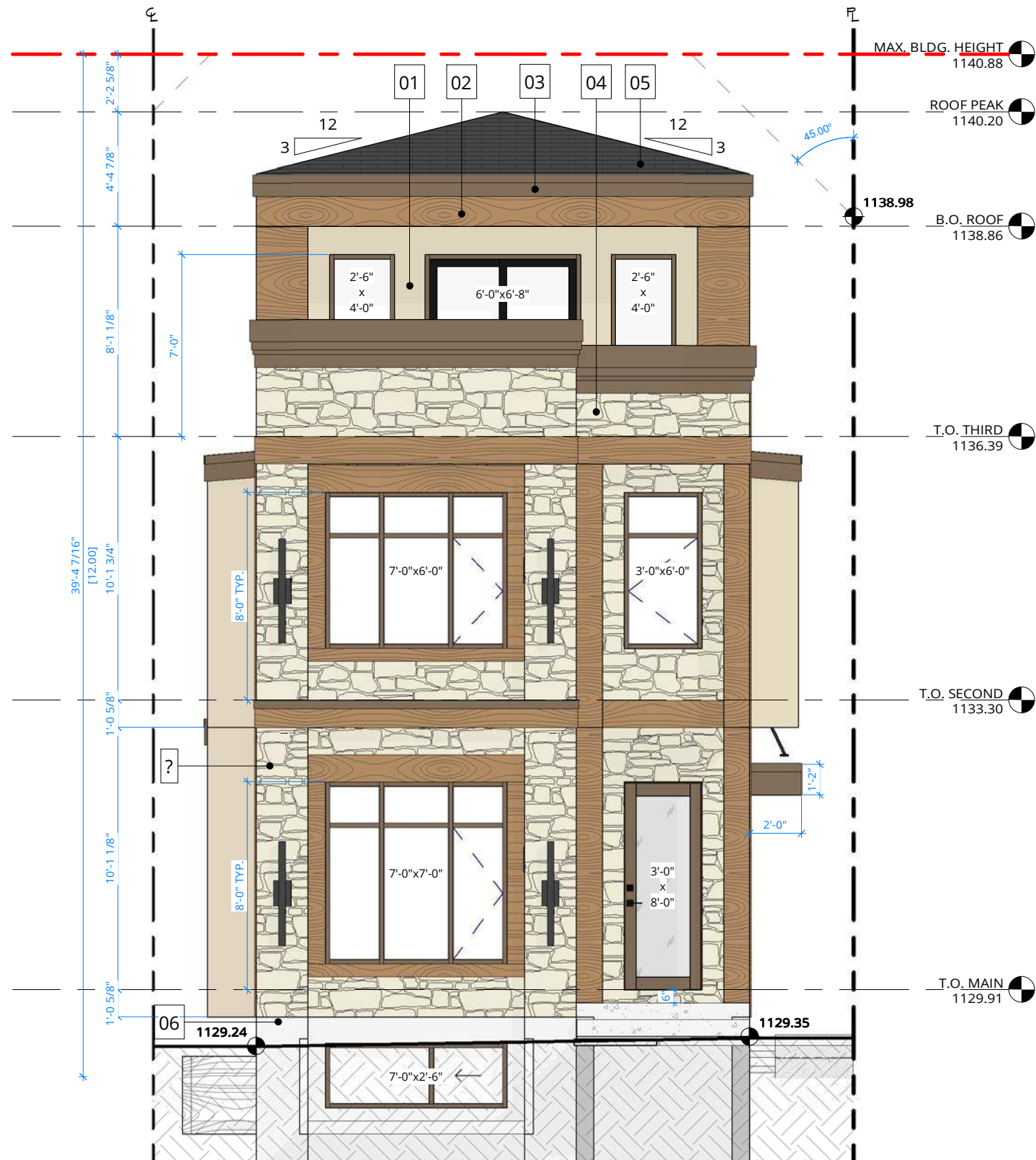
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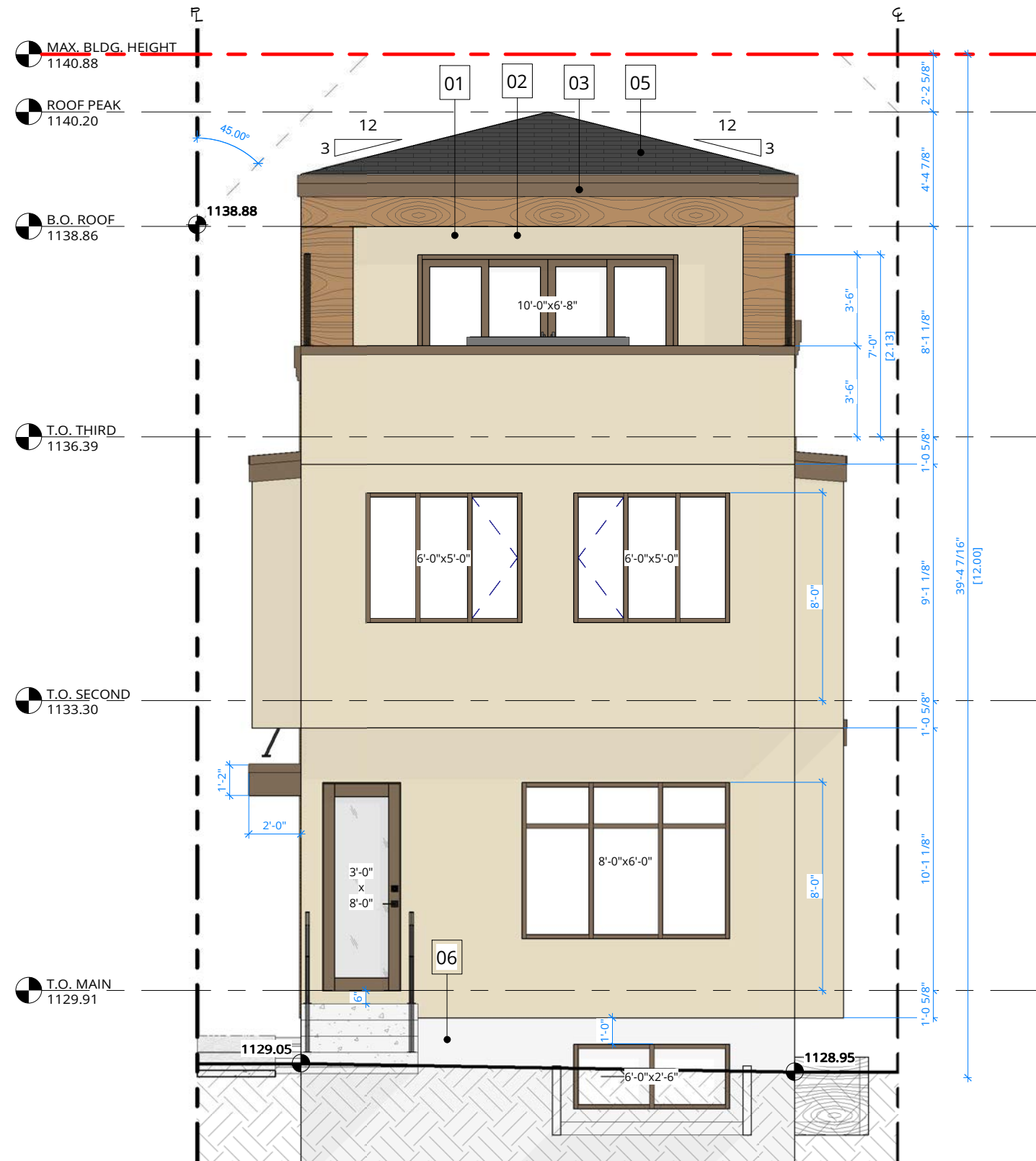
SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (SOUTH)

644 37 ST. SW (SOUTH), CALGARY, AB





1 FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"

ARC1
DESIGN BUILD

PHONE (403)816-6342
EMAIL info@arc1design.ca

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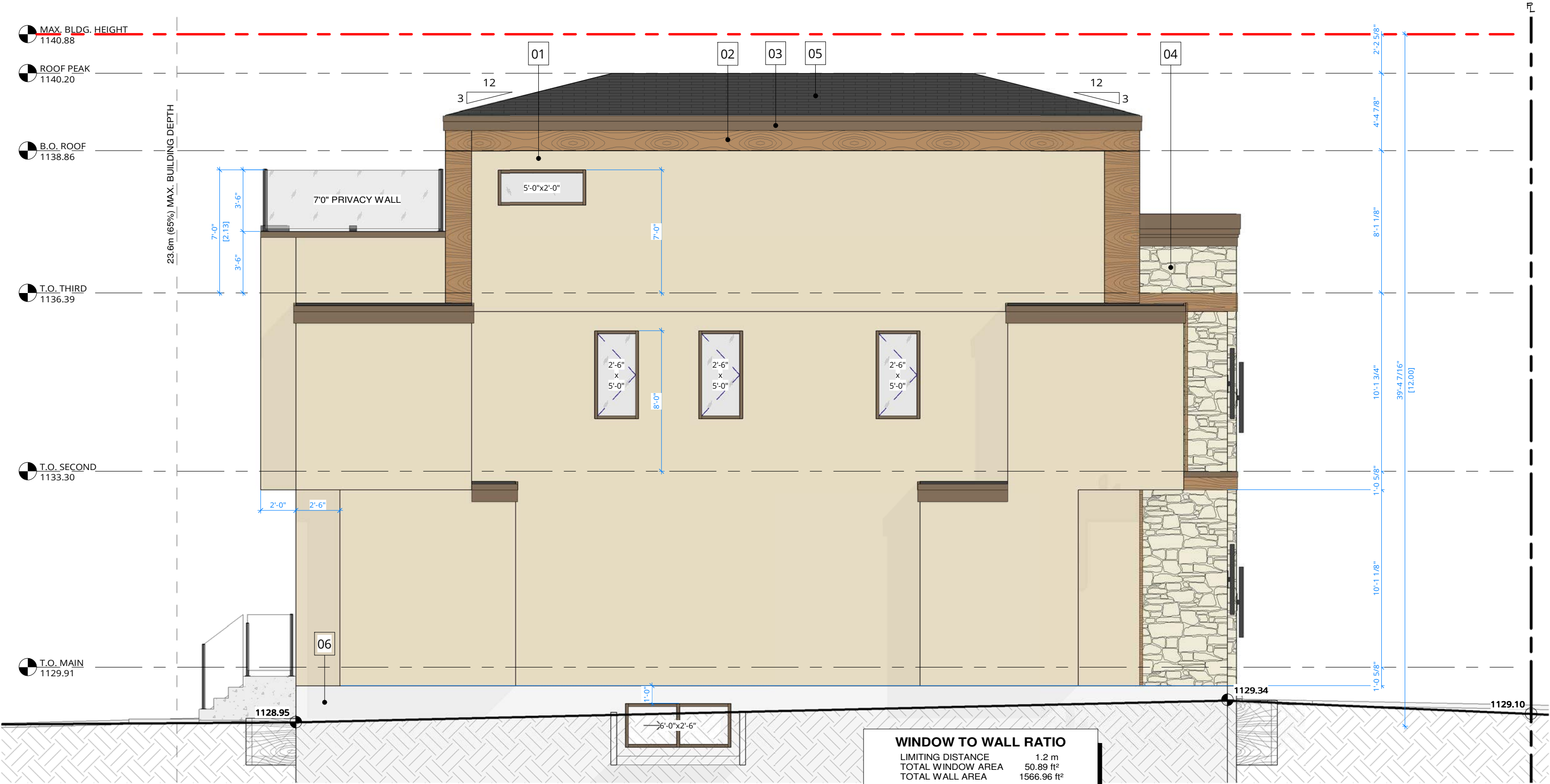
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EXTERIOR FINISHES	
TAG #	DESCRIPTION
01	STUCCO, DESERT SAND
02	TRIM, WOOD
03	TRIM, CHESTNUT
04	STONE, RUBBLE
05	ASPHALT SHINGLES, DARK GREY
06	<varies>

ISSUED FOR		
NO.	DESCRIPTION	DATE
1	DESIGN v1.13	06/05/2026

PROJECT NAME & ADDRESS
NAME SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (SOUTH)
ADDRESS 644 37 ST. SW (SOUTH) CALGARY, AB
LEGAL LOT 23; BLOCK 15; PLAN 2566GQ
USE H-GO
PRINT DATE 6/5/2026 3:22:18 PM

DRAWING
FRONT & REAR ELEVATION
DRAWN BY VT
CHECKED BY SS
SHEET
A16.S
SCALE 3/16" = 1'-0"

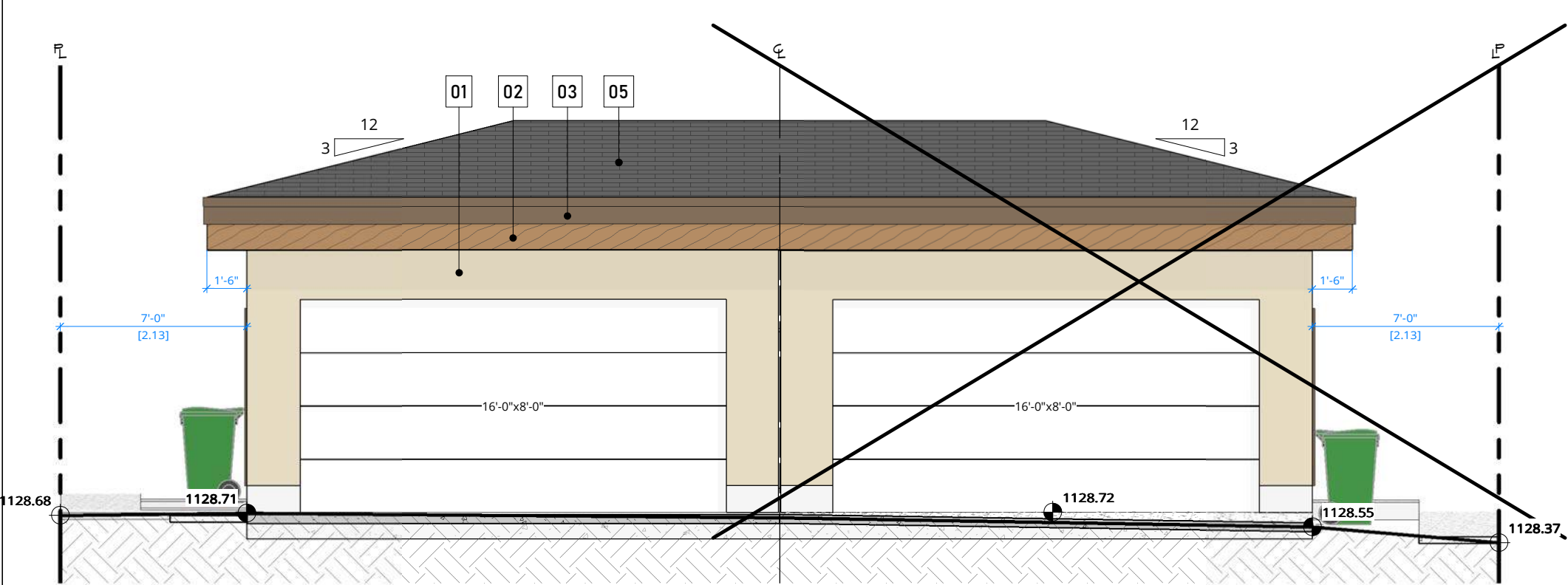


EXTERIOR FINISHES	
TAG #	DESCRIPTION
01	STUCCO, DESERT SAND
02	TRIM, WOOD
03	TRIM, CHESTNUT
04	STONE, RUBBLE
05	ASPHALT SHINGLES, DARK GREY
06	<varies>

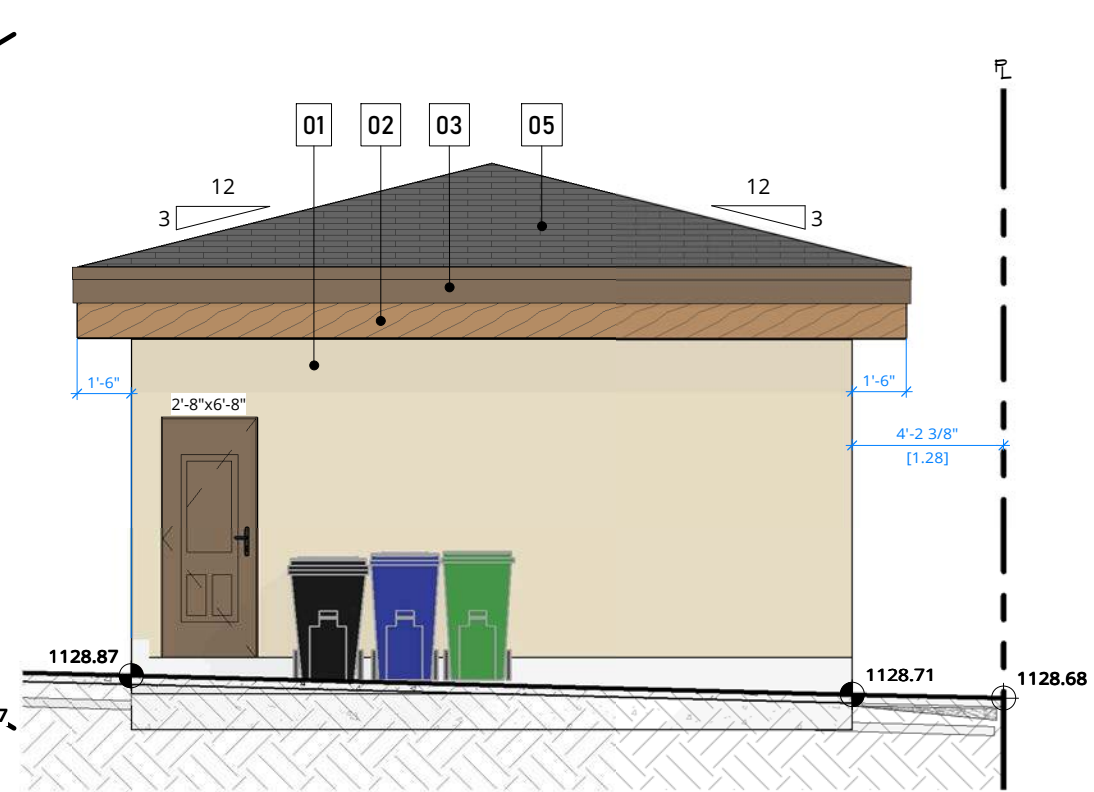
ISSUED FOR		
NO.	DESCRIPTION	DATE
1	DESIGN v1.13	06/05/2026

PROJECT NAME & ADDRESS	
NAME	SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (SOUTH)
ADDRESS	644 37 ST. SW (SOUTH) CALGARY, AB
LEGAL	LOT 23; BLOCK 15; PLAN 2566GQ
USE	H-GO
PRINT DATE	6/5/2026 3:22:20 PM

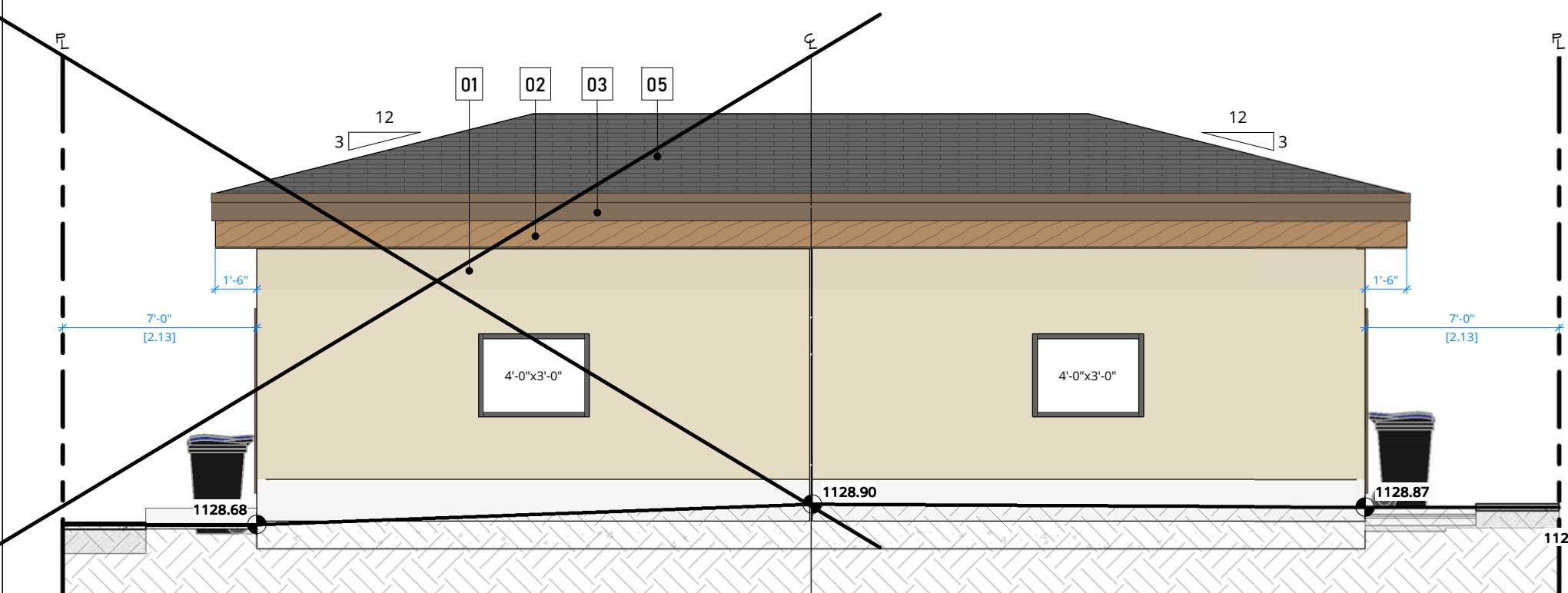
DRAWING	
LEFT ELEVATION	
DRAWN BY	VT
CHECKED BY	SS
SHEET	A17.S
SCALE	3/16" = 1'-0"



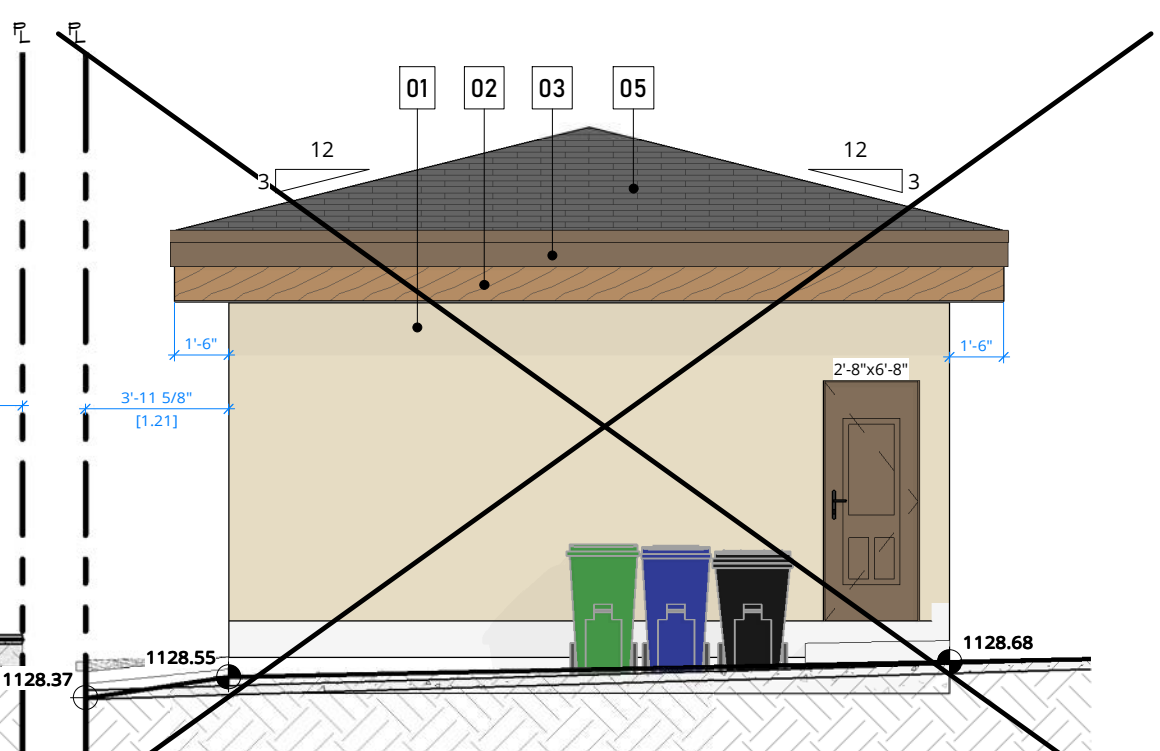
1 GARAGE - FRONT ELEVATION
3/16" = 1'-0"



2 GARAGE - LEFT ELEVATION
3/16" = 1'-0"



3 GARAGE - REAR ELEVATION
3/16" = 1'-0"



4 GARAGE - RIGHT ELEVATION
3/16" = 1'-0"

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NO.	DESCRIPTION	DATE
1	DESIGN v1.13	06/05/2026

PROJECT NAME & ADDRESS
NAME SPRUCE CLIFF, SINGLE DETACHED w/ SECONDARY SUITES (SOUTH)
ADDRESS 644 37 ST. SW (SOUTH) CALGARY, AB
LEGAL USE LOT 23; BLOCK 15; PLAN 2566GQ H-GO
PRINT DATE 6/5/2026 3:22:24 PM

DRAWING
GARAGE ELEVATIONS
DRAWN BY VT
CHECKED BY SS
SHEET
A26
SCALE 3/16" = 1'-0"